



AGENDA

Tuesday, March 5, 2024

**5:00 P.M. Closed Session
6:00 P.M. Welcome Reception
6:30 P.M. Open Session**

REGULAR MEETING

**CITY COUNCIL, AIRPORT COMMISSION,
MARINA ABRAMS B NON-PROFIT CORPORATION, PRESTON PARK
SUSTAINABLE COMMUNITY NON-PROFIT CORPORATION, SUCCESSOR
AGENCY OF THE FORMER MARINA REDEVELOPMENT AGENCY AND MARINA
GROUNDWATER SUSTAINABILITY AGENCY**

THIS MEETING WILL BE HELD IN PERSON AND VIRTUALLY (HYBRID).

Council Chambers
211 Hillcrest Avenue
Marina, California

AND

Zoom Meeting URL: <https://zoom.us/j/730251556>

Zoom Meeting Telephone Only Participation: 1-669-900-9128 - Webinar ID: 730 251 556

PARTICIPATION

You may participate in the City Council meeting in person or in real-time by calling Zoom Meeting via the weblink and phone number provided at the top of this agenda. Instructions on how to access, view and participate in remote meetings are provided by visiting the City's home page at <https://cityofmarina.org/>. Attendees can make oral comments during the meeting by using the "Raise Your Hand" feature in the webinar or by pressing *9 on your telephone keypad if joining by phone only.

The most effective method of communication with the City Council is by sending an email to marina@cityofmarina.org. Comments will be reviewed and distributed before the meeting if received by 5:00 p.m. on the day of the meeting. All comments received will become part of the record. Council will have the option to modify their action on items based on comments received.

AGENDA MATERIALS

Agenda materials, staff reports and background information related to regular agenda items are available on the City of Marina's website www.cityofmarina.org. Materials related to an item on this agenda submitted to the Council after distribution of the agenda packet will be made available on the City of Marina website www.cityofmarina.org subject to City staff's ability to post the documents before the meeting.

VISION STATEMENT

Marina will grow and mature from a small town bedroom community to a small city which is diversified, vibrant and through positive relationships with regional agencies, self-sufficient. The City will develop in a way that insulates it from the negative impacts of urban sprawl to become a desirable residential and business community in a natural setting. **(Resolution No. 2006-112 - May 2, 2006)**

MISSION STATEMENT

The City Council will provide the leadership in protecting Marina's natural setting while developing the City in a way that provides a balance of housing, jobs and business opportunities that will result in a community characterized by a desirable quality of life, including recreation and cultural opportunities, a safe environment and an economic viability that supports a high level of municipal services and infrastructure. **(Resolution No. 2006-112 - May 2, 2006)**

LAND ACKNOWLEDGEMENT

The City recognizes that it was founded and is built upon the traditional homelands and villages first inhabited by the Indigenous Peoples of this region - the Esselen and their ancestors and allies - and honors these members of the community, both past and present.

1. CALL TO ORDER 
2. ROLL CALL & ESTABLISHMENT OF QUORUM: (City Council, Airport Commissioners, Marina Abrams B Non-Profit Corporation, Preston Park Sustainable Communities Nonprofit Corporation, Successor Agency of the Former Redevelopment Agency Members and Marina Groundwater Sustainability Agency)

Jennifer McAdams, Brian McCarthy, Kathy Biala, Mayor Pro-Tem/Vice Chair Liesbeth Visscher, Mayor/Chair Bruce C. Delgado
3. PUBLIC COMMENT ON CLOSED SESSION ITEMS:
4. CLOSED SESSION:
 - a. Real Property Negotiation (Govt. Code Section 54956.8)
 - i. Property: Public Safety Building, Marina Airport and Preston Park Concessions.
Negotiating Party: Cuzio Internet
Negotiator(s): City Manager
Terms: Price and Terms

6:30 PM - RECONVENE OPEN SESSION AND REPORT ON ANY ACTIONS TAKEN IN CLOSED SESSION

SWEARING-IN: New Council Member, Jennifer McAdams.

ROLL CALL & ESTABLISHMENT OF QUORUM: (City Council, Airport Commissioners, Marina Abrams B Non-Profit Corporation, Preston Park Sustainable Communities Nonprofit Corporation, Successor Agency of the Former Redevelopment Agency Members and Marina Groundwater Sustainability Agency)

Jennifer McAdams, Brian McCarthy, Kathy Biala, Mayor Pro-Tem/Vice Chair Liesbeth Visscher, Mayor/Chair Bruce C. Delgado

5. MOMENT OF SILENCE & PLEDGE OF ALLEGIANCE (Please stand)
6. SPECIAL PRESENTATIONS:
 - a. Proclamations
 - i. American Red Cross Month
 - ii. Andres Rosas

b. Presentations

- i. Dr. Vanya Quiñones, President of Cal State Monterey Bay - University Updates
- ii. Monterey County Convention and Visitor Bureau-Annual Update

7. COUNCIL AND STAFF ANNOUNCEMENTS:

8. PUBLIC COMMENT: *Any member of the public may comment on any matter within the City Council's jurisdiction that is not on the agenda. This is the appropriate place to comment on items on the Consent Agenda. Action will not be taken on items not on the agenda. Comments are limited to a maximum of three (3) minutes. General public comment may be limited to thirty (30) minutes and/or continued to the end of the agenda. Any member of the public may comment on any matter listed on this agenda at the time the matter is being considered by the City Council. Whenever possible, written correspondence should be submitted to the Council in advance of the meeting, to provide adequate time for its consideration.*

9. CONSENT AGENDA FOR THE SUCCESSOR AGENCY TO THE FORMER MARINA REDEVELOPMENT AGENCY: *Background information has been provided to the Successor Agency of the former Redevelopment Agency on all matters listed under the Consent Agenda, and these items are considered to be routine and non-controversial. All items under the Consent Agenda are normally approved by one motion. Prior to such a motion being made, any member of the public or City Council may ask a question or make a comment about an agenda item and staff may provide a response. If discussion or a lengthy explanation is required, the Council may remove an item from the Consent Agenda for individual consideration. If an item is pulled for discussion, it will be placed at the end of Other Action Items Successor Agency to the former Marina Redevelopment Agency.*

10. CONSENT AGENDA: *These items are considered to be routine and non-controversial. All items under the Consent Agenda may be approved by one motion. Prior to such a motion being made, any member of City Council may ask a question or make a comment about an agenda item and staff may provide a response. If discussion or a lengthy explanation is required, Council may remove the item from the Consent Agenda and it will be placed at the end of Other Action Items.*

a. ACCOUNTS PAYABLE: *(Not a Project under CEQA per Article 20, Section 15378)*

- (1) Accounts Payable Check Numbers 104077-104145, totaling \$1,611,532.82.
Accounts Payable Successor Agency Check Number 121, totaling \$1,911.25.

b. MINUTES: *(Not a Project under CEQA per Article 20, Section 15378)*

- (1) February 21, 2024, Regular City Council Meeting
- (2) February 28, 2024, Special City Council Meeting

c. CLAIMS AGAINST THE CITY: None

d. AWARD OF BID: None

e. CALL FOR BIDS: None

f. **ADOPTION OF RESOLUTIONS:** *(Not a Project under CEQA per Article 20, Section 15378)*

- (1) Adopting Resolution No. 2024-, authorizing the City Manager or City Manager's designee to submit a Pro Housing Designation Program Application to the California Department of Housing and Community Development (HCD). *(This item is exempt from environmental review per §15378 of the CEQA guidelines).*

g. **APPROVAL OF AGREEMENTS:** *(Not a Project under CEQA per Article 20, Section 15378)*

- (1) Adopting Resolution No. 2024-, approving an amendment to the agreement between The City of Marina and Formation Environmental, LLC. to provide engineering services for the groundwater sustainability planning; and allocating and appropriating \$59,650 from the General Fund. *(This item is exempt from environmental review per §15378 of the CEQA guidelines)*

h. **ACCEPTANCE OF PUBLIC IMPROVEMENTS:** None

i. **MAPS:** None

j. **REPORTS: (RECEIVE AND FILE):** None

k. **FUNDING & BUDGET MATTERS:** None

l. **APPROVE ORDINANCES (WAIVE SECOND READING):** None

m. **APPROVE APPOINTMENTS:** None

11. **PUBLIC HEARINGS:** *In the Council's discretion, the applicant/proponent of an item may be given up to ten (10) minutes to speak. All other persons may be given up to three (3) minutes to speak on the matter.*

- a. Open a public hearing and consider adopting Resolution No. 2024-, approving the 226 Palm Specific Plan which establishes the development standards included in a Conditional Use Permit and Site and Architectural Design Review for a six (6) unit apartment building proposed at 226 Palm Avenue (APN 032-303-046) and find that this project is exempt from environmental review per Section 15332 (Infill Development Projects) of the California Environmental Quality Act (CEQA) Guidelines.

12. **OTHER ACTIONS ITEMS OF THE SUCCESSOR AGENCY TO THE FORMER MARINA REDEVELOPMENT AGENCY:** *Action listed for each Agenda item is that which is requested by staff. The Successor Agency may, at its discretion, take action on any items. Members of the public may be given up to three (3) minutes to speak.*

13. **OTHER ACTION ITEMS:** *Action listed for each Agenda item is that which is requested by staff. The City Council may, at its discretion, take action on any items. Members of the public may be given up to three (3) minutes to speak.*

Note: No additional major projects or programs should be undertaken without review of the impacts on existing priorities (Resolution No. 2006-79 – April 4, 2006).

- a. Receive a presentation from the Monterey Salinas Transit (MST) district on the Transit Oriented Development planning study.
- b. Discussion of increasing salary for Mayor and Councilmembers.

14. **COUNCIL & STAFF INFORMATIONAL REPORTS:**

- a. Monterey County Mayor's Association [Mayor Bruce Delgado]
- b. Council reports on meetings and conferences attended (Gov't Code Section 53232).

15. **ADJOURNMENT:**

CERTIFICATION

I, Anita Sharp, Deputy City Clerk, of the City of Marina, do hereby certify that a copy of the foregoing agenda was posted at City Hall and Council Chambers Bulletin Board at 211 Hillcrest Avenue, Monterey County Library Marina Branch at 190 Seaside Circle, City Bulletin Board at the corner of Reservation Road and Del Monte Boulevard on or before 6:30 p.m., Friday, March 1, 2024.

ANITA SHARP, DEPUTY CITY CLERK

City Council, Airport Commission and Redevelopment Agency meetings are recorded on tape and available for public review and listening at the Office of the City Clerk and kept for a period of 90 days after the formal approval of MINUTES.

City Council meetings may be viewed live on the meeting night and at 12:30 p.m. and 3:00 p.m. on Cable Channel 25 on the Sunday following the Regular City Council meeting date. In addition, Council meetings can be viewed at 6:30 p.m. every Monday, Tuesday and Wednesday. For more information about viewing the Council Meetings on Channel 25, you may contact Access Monterey Peninsula directly at 831-333-1267.

Agenda items and staff reports are public record and are available for public review on the City's website (www.cityofmarina.org), at the Monterey County Marina Library Branch at 190 Seaside Circle and at the Office of the City Clerk at 211 Hillcrest Avenue, Marina between the hours of 10:00 a.m. 5:00 p.m., on the Monday preceding the meeting.

Supplemental materials received after the close of the final agenda and through noon on the day of the scheduled meeting will be available for public review at the City Clerk's Office during regular office hours and in a 'Supplemental Binder' at the meeting.

ALL MEETINGS ARE OPEN TO THE PUBLIC. THE CITY OF MARINA DOES NOT DISCRIMINATE AGAINST PERSONS WITH DISABILITIES. Council Chambers are wheelchair accessible. Meetings are broadcast on cable channel 25 and recordings of meetings can be provided upon request. To request assistive listening devices, sign language interpreters, readers, large print agendas or other accommodations, please call (831) 884-1278 or e-mail: marina@cityofmarina.org. Requests must be made at least **48 hours** in advance of the meeting.

Upcoming 2024 Meetings of the City Council, Airport
Commission, Marina Abrams B Non-Profit Corporation,
Preston Park Sustainable Community Nonprofit Corporation,
Successor Agency of the Former Redevelopment Agency and
Marina Groundwater Sustainability Agency
Regular Meetings: 5:00 p.m. Closed Session;
6:30 p.m. Regular Open Sessions

Tuesday, March 19, 2024	**Wednesday, August 7, 2023 <i>Tuesday, August 20, 2024 (Cancelled)</i>
Tuesday, April 2, 2024	*Wednesday, September 4, 2024
Tuesday, April 16, 2024	Tuesday, September 17, 2024
Tuesday, May 7, 2024	Tuesday, October 1, 2024
Tuesday, May 21, 2024	Tuesday, October 15, 2024
Tuesday, June 4, 2024	***Wednesday, November 6, 2024
Tuesday, June 18, 2024	Tuesday, November 19, 2024
Tuesday, July 2, 2024	Tuesday, December 3, 2024
<i>Tuesday, July 16, 2024 (Cancelled)</i>	Tuesday, December 17, 2024

*** Regular Meeting rescheduled due to Monday Holiday**

**** Regular Meeting rescheduled due to National Night Out**

***** Regular Meeting rescheduled due to General Election Day**

C I T Y H A L L 2 0 2 4 H O L I D A Y S
(City Hall Closed)

Memorial Day ----- Monday, May 27, 2024
 Independence Day (City Offices Closed) ----- Thursday, July 4, 2024
 Labor Day ----- Monday, September 2, 2024
 Veterans Day (City Offices Closed)----- Monday, November 11, 2024
 Thanksgiving Day-----Thursday, November 28, 2024
 Thanksgiving Break----- Friday, November 29, 2024
 Winter Break----- Tuesday, December 24, 2024-Friday, December 31, 2024

2024 COMMISSION DATES

Upcoming 2024 Meetings of Planning Commission 2nd and 4th Thursday of every month. Meetings are held at the Council Chambers at 6:30 P.M.

March 14, 2024	June 13, 2024	September 12, 2024
March 28, 2024	June 27, 2024	September 26, 2024
April 11, 2024	July 11, 2024	October 10, 2024
April 25, 2024	July 25, 2024	October 24, 2024
May 11, 2024		November 14, 2024
May 23, 2024	August 8, 2024	November 28, 2024 (Cancelled)
	August 22, 2024	December 12, 2024

Upcoming 2024 Meetings of Public Works Commission
3rd Thursday of every month. Meetings are held at the Council Chambers at 6:30 P.M.

March 21, 2024
April 18, 2024
May 16, 2024

June 20, 2024
July 18, 2024
August 15, 2024

September 19, 2024
October 17, 2024
November 21, 2024
December 19, 2024

Upcoming 2024 Meetings of Recreation & Cultural Services Commission
1st Wednesday of every quarter month. Meetings are held at the Council Chambers at 6:30 P.M.

March 6, 2024

June 5, 2024

September 11, 2024

December 4, 2024

Upcoming 2024 Meetings of Marina Tree Committee
2nd Wednesday of every quarter month as needed. Meetings are held at the Council Chambers at 6:30 P.M.

April 13, 2024

July 13, 2024

October 12, 2024



Proclamation

American Red Cross Month

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WHEREAS, During American Red Cross Month in March, we recognize the compassion of people in Marina and reaffirm our commitment to care for one another in times of crisis.

WHEREAS, this generous spirit is woven into the fabric of our community and advances the humanitarian legacy of American Red Cross founder Clara Barton — one of the most honored women in our country's history — who nobly dedicated herself to alleviating suffering.

WHEREAS, the contributions of local Red Cross volunteers (134 in the county) give hope to the most vulnerable in their darkest hours. Last year in Monterey County, volunteers helped 53 households affected by 39 home fires by addressing their urgent needs like food and lodging, as well as providing recovery support. In addition, they installed 783 smoke alarms, collected 1,560 blood donations, provided first aid and CPR training to 3,243 residents, helped the families of 1,355 students prepare for disasters through our Pillowcase Project, and assisted 272 families of our armed forces.

WHEREAS, we hereby recognize this month of March in honor of all those who lead with their hearts to serve people in need, and we ask everyone to join in this commitment to strengthen our community.

NOW, THEREFORE, I, Bruce Delgado, Mayor of Marina, by virtue of the authority vested in me by the laws of Marina and California, do hereby proclaim March 2024 as Red Cross Month. I encourage all citizens of Marina to reach out and support its humanitarian mission.

Dated this 5TH day of March 2024



Bruce C. Delgado, Mayor



Proclamation

Recognizing Sergeant Andres Rosas Marina Police Department

WHEREAS, Sergeant Andres Rosas has well and faithfully served the City of Marina for 24 years, and;

WHEREAS, Sergeant Rosas was appointed as a Reserve Public Safety Officer with the Marina Department of Public Safety in August of 2000, a full-time Public Safety Officer on March 30, 2001, and then transferred to the position of Police Officer in 2007 when the Marina Police Department was first created as a standalone police agency, and;

WHEREAS, Sergeant Rosas was promoted to the rank of Corporal in 2014, and the rank of Sergeant in 2016, and has served the department as a School Resource Officer, Bicycle Patrol Officer, Gang Investigation Officer, Directed Enforcement Officer, Field Training Officer, Field Training Supervisor, Traffic Sergeant, Firearms Instructor, Public Information Officer, and Taser Instructor; and, has been a member of the Monterey Peninsula Special Response Unit's Hostage Negotiators where he attained the position of Team Commander, and;

WHEREAS, Sergeant Rosas was recognized as the Reserve Public Safety Officer of the Year in 2001 and the Public Safety Officer of the Year in 2006, and has consistently performed his duties in an exemplary manner, providing outstanding service to members of the Police Department, other City Departments, and to the public, and;

NOW THEREFORE, this Council does hereby confer its highest commendation for the manner in which Sergeant Rosas has performed his duties as a member of the Police Department, with special thanks for his professionalism and dedication to duty over the course of his career with the City of Marina. We wish Sergeant Rosas all the best as he moves on in his future endeavors,

IT IS HEREBY ORDERED that the City Clerk cause this Proclamation to be engrossed so that it can be presented to Sergeant Rosas as an expression of the Council's appreciation for his dedicated service to the City of Marina.

Adopted this 5th day of March 2024



Bruce C. Delgado, Mayor



Accounts Payable by G/L Distribution Report

Payment Date Range 02/23/24 - 02/23/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 120 - City Mgr/HR/Risk										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6300.305 - Prof Svc HR - Citywide Recruit/Background										
11869 - Agile Occupational Medicine PC	EM012812	Agile Occupational Medicine - Pre Emp Px	Paid by EFT # 4299		02/05/2024	02/15/2024	02/15/2024		02/23/2024	572.00
Account 6300.305 - Prof Svc HR - Citywide Recruit/Background Totals							Invoice Transactions	1		\$572.00
Account 6380.120 - Utilities Comm Mobile & Pager										
10603 - Verizon Wireless	9956307765	Monthly Verizon Bill- 308174766 (01/11-02/10/24)	Paid by EFT # 4304		02/10/2024	02/20/2024	02/20/2024		02/23/2024	227.73
Account 6380.120 - Utilities Comm Mobile & Pager Totals							Invoice Transactions	1		\$227.73
Account 6400.230 - Material & Suppl Fuel - Gas and Diesel										
10416 - Monterey County Petroleum-Sturdy Oil Co.	0242583-IN	Regular Ethenol	Paid by Check # 104091		01/29/2024	02/02/2024	02/02/2024		02/23/2024	23.76
Account 6400.230 - Material & Suppl Fuel - Gas and Diesel Totals							Invoice Transactions	1		\$23.76
Account 6500.700 - Training & Travel Training & Travel										
10739 - League of CA Cities-Monterey Bay Division	8331	January 25, 2024 Division Dinner	Paid by Check # 104089		02/12/2024	02/12/2024	02/12/2024		02/23/2024	50.00
Account 6500.700 - Training & Travel Training & Travel Totals							Invoice Transactions	1		\$50.00
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	4		\$873.49
Division 000 - Non-Div Totals							Invoice Transactions	4		\$873.49
Department 120 - City Mgr/HR/Risk Totals							Invoice Transactions	4		\$873.49
Department 125 - I. T.										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6360.342 - Maint & Repairs IT - System Annual Maint										
10905 - Taygeta Scientific, Inc.	001124	Contract Increase	Paid by Check # 104100		02/16/2024	02/16/2024	02/16/2024		02/23/2024	1,500.00
Account 6360.342 - Maint & Repairs IT - System Annual Maint Totals							Invoice Transactions	1		\$1,500.00
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	1		\$1,500.00
Division 000 - Non-Div Totals							Invoice Transactions	1		\$1,500.00
Department 125 - I. T. Totals							Invoice Transactions	1		\$1,500.00



Accounts Payable by G/L Distribution Report

Payment Date Range 02/23/24 - 02/23/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 130 - Finance										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6380.120 - Utilities Comm Mobile & Pager										
10603 - Verizon Wireless	9956307765	Monthly Verizon Bill-308174766 (01/11-02/10/24)	Paid by EFT # 4304		02/10/2024	02/20/2024	02/20/2024		02/23/2024	141.19
Account 6380.120 - Utilities Comm Mobile & Pager Totals							Invoice Transactions	1		\$141.19
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	1		\$141.19
Division 000 - Non-Div Totals							Invoice Transactions	1		\$141.19
Department 130 - Finance Totals							Invoice Transactions	1		\$141.19
Department 190 - Citywide Non-Dept										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6360.570 - Maint & Repairs Other Svc Agr										
10129 - Cintas Corporation	4183708018	Mat Service City Hall	Paid by Check # 104083		02/16/2024	02/16/2024	02/16/2024		02/23/2024	52.05
Account 6360.570 - Maint & Repairs Other Svc Agr Totals							Invoice Transactions	1		\$52.05
Account 6380.150 - Utilities Comm Phone System										
10758 - AT & T CALNET3	21262290	CALNET3-9391023436 (239-461-6578)	Paid by Check # 104079		02/13/2024	02/16/2024	02/16/2024		02/23/2024	64.10
10758 - AT & T CALNET3	21271627	CALNET3-9391023491 (884-9654)	Paid by Check # 104079		02/15/2024	02/20/2024	02/20/2024		02/23/2024	90.35
10758 - AT & T CALNET3	21271626	CALNET3-9391023490 (884-9568)	Paid by Check # 104079		02/15/2024	02/20/2024	02/20/2024		02/23/2024	55.59
10758 - AT & T CALNET3	21271619	CALNET3-9391023482 (884-0985)	Paid by Check # 104079		02/15/2024	02/20/2024	02/20/2024		02/23/2024	29.35
10758 - AT & T CALNET3	21271621	CALNET3-9391023485 (884-2573)	Paid by Check # 104079		02/15/2024	02/20/2024	02/20/2024		02/23/2024	30.46
Account 6380.150 - Utilities Comm Phone System Totals							Invoice Transactions	5		\$269.85
Account 6380.500 - Utilities Water & Sewer										
10349 - Marina Coast Water District	000056017 021524	208-A Palm Ave	Paid by Check # 104090		02/15/2024	02/13/2024	02/13/2024		02/23/2024	84.08
10349 - Marina Coast Water District	000056018 021524	208 Palm Ave	Paid by Check # 104090		02/15/2024	02/15/2024	02/15/2024		02/23/2024	159.50
10349 - Marina Coast Water District	000056025 021524	327 Reindollar Ave	Paid by Check # 104090		02/15/2024	02/15/2024	02/15/2024		02/23/2024	71.92
10349 - Marina Coast Water District	000056020 021524	304 Hillcrest Ave	Paid by Check # 104090		02/15/2024	02/15/2024	02/15/2024		02/23/2024	138.26
Account 6380.500 - Utilities Water & Sewer Totals							Invoice Transactions	4		\$453.76
Account 6400.565 - Material & Suppl Office Supplies										
10540 - Sierra Springs & Alhambra	7266038 021624	Water Cooler Rentals and Replacement Water	Paid by Check # 104097		02/16/2024	02/16/2024	02/16/2024		02/23/2024	126.90



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Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 190 - Citywide Non-Dept										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6400.565 - Material & Suppl Office Supplies										
10734 - Office Depot-Public Works Dept.	351198964001	Coffee Pot/Supplies Corp Yard	Paid by Check # 104093		01/31/2024	02/15/2024	02/15/2024		02/23/2024	532.04
Account 6400.565 - Material & Suppl Office Supplies Totals										Invoice Transactions 2
										\$658.94
Account 6400.635 - Material & Suppl Postage Shipping										
10509 - Reserve Account - Pitney Bowes	02-14-24	Postage Meter Refill	Paid by Check # 104095		02/14/2024	02/12/2024	02/12/2024		02/23/2024	1,500.00
Account 6400.635 - Material & Suppl Postage Shipping Totals										Invoice Transactions 1
										\$1,500.00
Account 6600.010 - Other Charges Alarm										
10239 - First Alarm	804295	Alarm Monitoring - 3200 Del Monte Blvd.	Paid by EFT # 4301		02/15/2024	02/16/2024	02/16/2024		02/23/2024	176.04
10239 - First Alarm	801886	Alarm Monitoring - 211 Hillcrest Ave	Paid by EFT # 4301		02/15/2024	02/16/2024	02/16/2024		02/23/2024	109.62
10981 - Sentry Alarm Systems of America, Inc.	2242712	Audio/Visual Room Alarm Monitoring - Sports Center - March-May 2024	Paid by Check # 104096		02/15/2024	02/12/2024	02/12/2024		02/23/2024	285.00
Account 6600.010 - Other Charges Alarm Totals										Invoice Transactions 3
										\$570.66
Sub-Division 00 - Non-Subdiv Totals										Invoice Transactions 16
										\$3,505.26
Division 000 - Non-Div Totals										Invoice Transactions 16
										\$3,505.26
Department 190 - Citywide Non-Dept Totals										Invoice Transactions 16
										\$3,505.26
Department 210 - Police										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6380.150 - Utilities Comm Phone System										
10758 - AT & T CALNET3	21271650	CALNET3-9391023435 (237-267-6922)	Paid by Check # 104079		02/15/2024	02/20/2024	02/20/2024		02/23/2024	171.47
Account 6380.150 - Utilities Comm Phone System Totals										Invoice Transactions 1
										\$171.47
Account 6380.500 - Utilities Water & Sewer										
10349 - Marina Coast Water District	014874000 013124	289 12th Street	Paid by Check # 104090		01/31/2024	02/02/2024	02/02/2024		02/23/2024	130.86
10349 - Marina Coast Water District	01-31-24	Acct #014874 000	Paid by Check # 104090		01/31/2024	02/13/2024	02/13/2024		02/23/2024	130.86
Account 6380.500 - Utilities Water & Sewer Totals										Invoice Transactions 2
										\$261.72



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Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 210 - Police										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6400.230 - Material & Suppl Fuel - Gas and Diesel										
10416 - Monterey County Petroleum-Sturdy Oil Co.	0242583-IN	Regular Ethenol	Paid by Check # 104091		01/29/2024	02/02/2024	02/02/2024		02/23/2024	902.80
Account 6400.230 - Material & Suppl Fuel - Gas and Diesel Totals							Invoice Transactions	1		\$902.80
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	4		\$1,335.99
Division 000 - Non-Div Totals							Invoice Transactions	4		\$1,335.99
Department 210 - Police Totals							Invoice Transactions	4		\$1,335.99
Department 250 - Fire										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6360.342 - Maint & Repairs IT - System Annual Maint										
10875 - Green Willow Group LLC - KipTraq	22961	Kip Traq Annual Subscription, 2022, 2023 & 2024	Paid by Check # 104086		02/16/2024	02/16/2024	02/16/2024		02/23/2024	1,800.00
Account 6360.342 - Maint & Repairs IT - System Annual Maint Totals							Invoice Transactions	1		\$1,800.00
Account 6400.230 - Material & Suppl Fuel - Gas and Diesel										
10416 - Monterey County Petroleum-Sturdy Oil Co.	0242583-IN	Regular Ethenol	Paid by Check # 104091		01/29/2024	02/02/2024	02/02/2024		02/23/2024	71.27
Account 6400.230 - Material & Suppl Fuel - Gas and Diesel Totals							Invoice Transactions	1		\$71.27
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	2		\$1,871.27
Division 000 - Non-Div Totals							Invoice Transactions	2		\$1,871.27
Department 250 - Fire Totals							Invoice Transactions	2		\$1,871.27
Department 310 - Public Works										
Division 311 - Buildings & Grounds										
Sub-Division 00 - Non-Subdiv										
Account 6360.065 - Maint & Repairs Bdg NonFlagship										
10560 - Suburban Propane	1602-516441	Propane Exchange	Paid by Check # 104099		02/23/2024	02/15/2024	02/15/2024		02/23/2024	987.32
Account 6360.065 - Maint & Repairs Bdg NonFlagship Totals							Invoice Transactions	1		\$987.32
Account 6360.445 - Maint & Repairs Maint - Perc Ponds										
10090 - California Department of Forestry and Fire Pr.	0000001562908	Gabilan Camp Reimbursement	Paid by Check # 104081		02/09/2024	02/13/2024	02/13/2024		02/23/2024	681.24
Account 6360.445 - Maint & Repairs Maint - Perc Ponds Totals							Invoice Transactions	1		\$681.24



Accounts Payable by G/L Distribution Report

Payment Date Range 02/23/24 - 02/23/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 310 - Public Works										
Division 311 - Buildings & Grounds										
Sub-Division 00 - Non-Subdiv										
Account 6360.690 - Maint & Repairs Supplies										
10728 - Ace Hardware-Public Works	087447	Fasteners	Paid by Check # 104077		01/30/2024	02/02/2024	02/02/2024		02/23/2024	48.27
10728 - Ace Hardware-Public Works	087528	Brush	Paid by Check # 104077		02/09/2024	02/13/2024	02/13/2024		02/23/2024	7.64
10728 - Ace Hardware-Public Works	087532	Fasteners	Paid by Check # 104077		02/09/2024	02/13/2024	02/13/2024		02/23/2024	37.90
10728 - Ace Hardware-Public Works	087550	Supplies	Paid by Check # 104077		02/12/2024	02/13/2024	02/13/2024		02/23/2024	26.19
10728 - Ace Hardware-Public Works	087513	Supplies	Paid by Check # 104077		02/08/2024	02/13/2024	02/13/2024		02/23/2024	28.38
10728 - Ace Hardware-Public Works	087521	Supplies	Paid by Check # 104077		02/08/2024	02/13/2024	02/13/2024		02/23/2024	26.20
Account 6360.690 - Maint & Repairs Supplies Totals							Invoice Transactions		6	\$174.58
Account 6380.500 - Utilities Water & Sewer										
10349 - Marina Coast Water District	000056100 013124	9th Street (Irrigation) Parcels L&M	Paid by Check # 104090		01/31/2024	02/02/2024	02/02/2024		02/23/2024	177.74
10349 - Marina Coast Water District	000056099 013124	9th Street West of 2nd Avenue	Paid by Check # 104090		01/31/2024	02/02/2024	02/02/2024		02/23/2024	177.74
10349 - Marina Coast Water District	000056103 013124	2840 Fifth Ave	Paid by Check # 104090		01/31/2024	02/13/2024	02/13/2024		02/23/2024	4.83
10349 - Marina Coast Water District	000056001 021524	209-13 Cypress Ave	Paid by Check # 104090		02/15/2024	02/13/2024	02/13/2024		02/23/2024	106.93
10349 - Marina Coast Water District	000056019 021524	211 Hillcrest Ave	Paid by Check # 104090		02/15/2024	02/15/2024	02/15/2024		02/23/2024	1,079.00
Account 6380.500 - Utilities Water & Sewer Totals							Invoice Transactions		5	\$1,546.24
Account 6400.230 - Material & Suppl Fuel - Gas and Diesel										
10416 - Monterey County Petroleum-Sturdy Oil Co.	0242583-IN	Regular Ethenol	Paid by Check # 104091		01/29/2024	02/02/2024	02/02/2024		02/23/2024	35.63
Account 6400.230 - Material & Suppl Fuel - Gas and Diesel Totals							Invoice Transactions		1	\$35.63
Account 6400.800 - Material & Suppl Uniform										
10043 - Aramark Uniform Service	5110396993	PW Uniforms	Paid by Check # 104078		02/02/2024	02/02/2024	02/02/2024		02/23/2024	179.44
10043 - Aramark Uniform Service	5110406377	PW Uniforms	Paid by Check # 104078		02/16/2024	02/15/2024	02/15/2024		02/23/2024	330.74
Account 6400.800 - Material & Suppl Uniform Totals							Invoice Transactions		2	\$510.18
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions		16	\$3,935.19
Division 311 - Buildings & Grounds Totals							Invoice Transactions		16	\$3,935.19



Accounts Payable by G/L Distribution Report

Payment Date Range 02/23/24 - 02/23/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 310 - Public Works										
Division 313 - Vehicle Maint										
Sub-Division 00 - Non-Subdiv										
Account 6360.850 - Maint & Repairs Vehicle										
11975 - Southern Tire Mart LLC	7350006748	Tires Unit 824	Paid by Check # 104098		01/17/2024	02/13/2024	02/13/2024		02/23/2024	275.04
Account 6360.850 - Maint & Repairs Vehicle Totals							Invoice Transactions	1		\$275.04
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	1		\$275.04
Division 313 - Vehicle Maint Totals							Invoice Transactions	1		\$275.04
Department 310 - Public Works Totals							Invoice Transactions	17		\$4,210.23
Department 410 - Planning										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6330.100 - Fee Agr Costs - Planning										
10171 - CSG Consultants	55142	Marina Station	Paid by EFT # 4300		02/08/2024	02/15/2024	02/15/2024		02/23/2024	41,852.50
10508 - Regional Government Services	16233	Marina Dunes Misc December	Paid by EFT # 4303		12/31/2023	02/15/2024	02/15/2024		02/23/2024	2,920.29
10508 - Regional Government Services	16234	Marina Planning December 2023	Paid by EFT # 4303		12/31/2023	02/15/2024	02/15/2024		02/23/2024	748.85
Account 6330.100 - Fee Agr Costs - Planning Totals							Invoice Transactions	3		\$45,521.64
Account 6380.120 - Utilities Comm Mobile & Pager										
10603 - Verizon Wireless	9956307765	Monthly Verizon Bill-308174766 (01/11-02/10/24)	Paid by EFT # 4304		02/10/2024	02/20/2024	02/20/2024		02/23/2024	103.23
Account 6380.120 - Utilities Comm Mobile & Pager Totals							Invoice Transactions	1		\$103.23
Account 6400.230 - Material & Suppl Fuel - Gas and Diesel										
10416 - Monterey County Petroleum-Sturdy Oil Co.	0242583-IN	Regular Ethanol	Paid by Check # 104091		01/29/2024	02/02/2024	02/02/2024		02/23/2024	23.76
Account 6400.230 - Material & Suppl Fuel - Gas and Diesel Totals							Invoice Transactions	1		\$23.76
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	5		\$45,648.63
Division 000 - Non-Div Totals							Invoice Transactions	5		\$45,648.63
Department 410 - Planning Totals							Invoice Transactions	5		\$45,648.63



Accounts Payable by G/L Distribution Report

Payment Date Range 02/23/24 - 02/23/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 420 - Engineering										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6300.175 - Prof Svc Eng Svc- Rev Funded Plan Check										
10171 - CSG Consultants	55157	Sea Haven Inspections Phase 4	Paid by EFT # 4300		02/08/2024	02/12/2024	02/12/2024		02/23/2024	11,055.00
Account 6300.175 - Prof Svc Eng Svc- Rev Funded Plan Check Totals							Invoice Transactions	1		\$11,055.00
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	1		\$11,055.00
Division 000 - Non-Div Totals							Invoice Transactions	1		\$11,055.00
Department 420 - Engineering Totals							Invoice Transactions	1		\$11,055.00
Department 430 - Building Inspection										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6300.070 - Prof Svc Building Plan Check & Inspection										
10171 - CSG Consultants	B240089	Building Plan Review Services 01/01/24-01/31/24	Paid by EFT # 4300		02/01/2024	02/13/2024	02/13/2024		02/23/2024	2,530.28
Account 6300.070 - Prof Svc Building Plan Check & Inspection Totals							Invoice Transactions	1		\$2,530.28
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	1		\$2,530.28
Division 000 - Non-Div Totals							Invoice Transactions	1		\$2,530.28
Department 430 - Building Inspection Totals							Invoice Transactions	1		\$2,530.28
Department 510 - Recreation & Culture										
Division 100 - Admin										
Sub-Division 00 - Non-Subdiv										
Account 6400.230 - Material & Suppl Fuel - Gas and Diesel										
10416 - Monterey County Petroleum-Sturdy Oil Co.	0242583-IN	Regular Ethenol	Paid by Check # 104091		01/29/2024	02/02/2024	02/02/2024		02/23/2024	59.40
Account 6400.230 - Material & Suppl Fuel - Gas and Diesel Totals							Invoice Transactions	1		\$59.40
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	1		\$59.40
Division 100 - Admin Totals							Invoice Transactions	1		\$59.40
Department 510 - Recreation & Culture Totals							Invoice Transactions	1		\$59.40
Fund 100 - General Fund Totals							Invoice Transactions	53		\$72,730.74



Accounts Payable by G/L Distribution Report

Payment Date Range 02/23/24 - 02/23/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 220 - Gas Tax										
Department 000 - Non-Dept										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6380.300 - Utilities Gas & Electric										
10463 - Pacific Gas & Electric	Feb 2024 827-8	PG&E - 0423929827-8	Paid by Check # 104094		02/13/2024	02/16/2024	02/16/2024		02/23/2024	223.44
10463 - Pacific Gas & Electric	Feb 2024 535-3	PG&E - 6161832535-3	Paid by Check # 104094		02/13/2024	02/16/2024	02/16/2024		02/23/2024	432.47
10463 - Pacific Gas & Electric	Feb 2024 851-0	PG&E - 3440977851-0	Paid by Check # 104094		02/14/2024	02/20/2024	02/20/2024		02/23/2024	221.99
Account 6380.300 - Utilities Gas & Electric Totals							Invoice Transactions 3			<u>\$877.90</u>
Account 6380.500 - Utilities Water & Sewer										
10349 - Marina Coast Water District	000056036 013124	2nd Ave/Divarty & Intergarrison	Paid by Check # 104090		01/31/2024	02/02/2024	02/02/2024		02/23/2024	159.97
10349 - Marina Coast Water District	000056037 013124	2nd Ave	Paid by Check # 104090		01/31/2024	02/02/2024	02/02/2024		02/23/2024	177.74
10349 - Marina Coast Water District	000056049 013124	Imjin Rd (Irrigation/Backflow Accts)	Paid by Check # 104090		01/31/2024	02/02/2024	02/02/2024		02/23/2024	177.74
10349 - Marina Coast Water District	000056095 013124	2nd Ave	Paid by Check # 104090		01/31/2024	02/02/2024	02/02/2024		02/23/2024	177.74
10349 - Marina Coast Water District	000056016 021524	Resev Rd & Seacrest Ave-Next to Fire Hyd	Paid by Check # 104090		02/15/2024	02/13/2024	02/13/2024		02/23/2024	36.77
10349 - Marina Coast Water District	000056007 021524	Calif Ave/North of 3rd	Paid by Check # 104090		02/15/2024	02/13/2024	02/13/2024		02/23/2024	92.55
10349 - Marina Coast Water District	000056022 021524	Reser/Marina Auto Stereo/Irrigation	Paid by Check # 104090		02/15/2024	02/15/2024	02/15/2024		02/23/2024	36.77
10349 - Marina Coast Water District	000056027 021524	Calif Ave at Reindollar	Paid by Check # 104090		02/15/2024	02/15/2024	02/15/2024		02/23/2024	38.22
10349 - Marina Coast Water District	000056024 021524	Del Monte/Palm	Paid by Check # 104090		02/15/2024	02/15/2024	02/15/2024		02/23/2024	92.55
10349 - Marina Coast Water District	000056021 021524	Reservation Rd/By 290- 308 Reservation	Paid by Check # 104090		02/15/2024	02/15/2024	02/15/2024		02/23/2024	36.77
Account 6380.500 - Utilities Water & Sewer Totals							Invoice Transactions 10			<u>\$1,026.82</u>
Account 6400.230 - Material & Suppl Fuel - Gas and Diesel										
10416 - Monterey County Petroleum-Sturdy Oil Co.	0242583-IN	Regular Ethenol	Paid by Check # 104091		01/29/2024	02/02/2024	02/02/2024		02/23/2024	35.64
Account 6400.230 - Material & Suppl Fuel - Gas and Diesel Totals							Invoice Transactions 1			<u>\$35.64</u>
Account 6400.740 - Material & Suppl Special Dept Suppl										
10540 - Sierra Springs & Alhambra	14225799 021324	209 Cypress Ave	Paid by Check # 104097		02/13/2024	02/15/2024	02/15/2024		02/23/2024	125.91
Account 6400.740 - Material & Suppl Special Dept Suppl Totals							Invoice Transactions 1			<u>\$125.91</u>



Accounts Payable by G/L Distribution Report

Payment Date Range 02/23/24 - 02/23/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 220 - Gas Tax										
Department 000 - Non-Dept										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6400.750 - Material & Suppl Street Material (non-capitalize)										
10261 - Graniterock/Pavex Construction	2142079	Cold Mix/Supplies	Paid by EFT # 4302		02/10/2024	02/15/2024	02/15/2024		02/23/2024	877.90
Account 6400.750 - Material & Suppl Street Material (non-capitalize) Totals									Invoice Transactions 1	<u>\$877.90</u>
Account 6400.800 - Material & Suppl Uniform										
10043 - Aramark Uniform Service	5110396994	PW Shop Supplies	Paid by Check # 104078		02/02/2024	02/02/2024	02/02/2024		02/23/2024	62.36
Account 6400.800 - Material & Suppl Uniform Totals									Invoice Transactions 1	<u>\$62.36</u>
Sub-Division 00 - Non-Subdiv Totals									Invoice Transactions 17	<u>\$3,006.53</u>
Division 000 - Non-Div Totals									Invoice Transactions 17	<u>\$3,006.53</u>
Department 000 - Non-Dept Totals									Invoice Transactions 17	<u>\$3,006.53</u>
Fund 220 - Gas Tax Totals									Invoice Transactions 17	<u>\$3,006.53</u>



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Payment Date Range 02/23/24 - 02/23/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 223 - FORA Dissolution										
Department 000 - Non-Dept										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6300.570 - Prof Svc Other										
11152 - California Dept. of Tax & Fee Administration	12-31-22	Late fee applied for 2022	Paid by Check # 104082		12/31/2022	02/13/2024	02/13/2024		02/23/2024	14.79
Account 6300.570 - Prof Svc Other Totals							Invoice Transactions	1		\$14.79
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	1		\$14.79
Division 000 - Non-Div Totals							Invoice Transactions	1		\$14.79
Department 000 - Non-Dept Totals							Invoice Transactions	1		\$14.79
Fund 223 - FORA Dissolution Totals							Invoice Transactions	1		\$14.79



Accounts Payable by G/L Distribution Report

Payment Date Range 02/23/24 - 02/23/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 422 - Capital Projects - Measure X										
Department 000 - Non-Dept										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6300.570 - Prof Svc Other										
11847 - BKF Engineers	23120857	Residential Street Reconstruction	Paid by Check # 104080		12/11/2023	02/13/2024	02/13/2024		02/23/2024	81,621.00
11847 - BKF Engineers	23121142	Marina Pavement Management Program	Paid by Check # 104080		12/15/2023	02/13/2024	02/13/2024		02/23/2024	4,626.50
11847 - BKF Engineers	24011030-Add	Remaining Balance for Residential Street Reconstruction	Paid by Check # 104080		01/25/2024	02/15/2024	02/15/2024		02/23/2024	72.91
Account 6300.570 - Prof Svc Other Totals							Invoice Transactions	3		\$86,320.41
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	3		\$86,320.41
Division 000 - Non-Div Totals							Invoice Transactions	3		\$86,320.41
Department 000 - Non-Dept Totals							Invoice Transactions	3		\$86,320.41
Fund 422 - Capital Projects - Measure X Totals							Invoice Transactions	3		\$86,320.41



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Payment Date Range 02/23/24 - 02/23/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 460 - Airport Capital Projects										
Department 000 - Non-Dept										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6300.570 - Prof Svc Other										
11199 - WALD, RUHNKE & DOST ARCHITECTS, LLP	2305302	Bldg 533 Interior Improvements 2004	Paid by Check # 104101		01/31/2024	02/29/2024	02/16/2024		02/23/2024	6,823.75
Account 6300.570 - Prof Svc Other Totals							Invoice Transactions 1		\$6,823.75	
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions 1		\$6,823.75	
Division 000 - Non-Div Totals							Invoice Transactions 1		\$6,823.75	
Department 000 - Non-Dept Totals							Invoice Transactions 1		\$6,823.75	
Fund 460 - Airport Capital Projects Totals							Invoice Transactions 1		\$6,823.75	



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Payment Date Range 02/23/24 - 02/23/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 462 - City Capital Projects										
Department 000 - Non-Dept										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6300.570 - Prof Svc Other										
10171 - CSG Consultants	55133	Imjin Widening	Paid by EFT # 4300		02/08/2024	02/12/2024	02/12/2024		02/23/2024	11,440.00
11084 - EMC Planning Group	22-003-18	22-003 Marina Local Coastal Program Update (GP-094)	Paid by Check # 104085		01/31/2024	02/13/2024	02/13/2024		02/23/2024	14,480.71
10268 - Harris & Associates	60491	Imjin Parkway Improvement Plan	Paid by Check # 104087		12/05/2023	02/13/2024	02/13/2024		02/23/2024	19,483.15
10316 - Kimley-Horn & Associates	26966023	Imjin Parkway PS&E	Paid by Check # 104088		12/31/2023	02/13/2024	02/13/2024		02/23/2024	19,322.50
Account 6300.570 - Prof Svc Other Totals							Invoice Transactions	4		\$64,726.36
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	4		\$64,726.36
Division 000 - Non-Div Totals							Invoice Transactions	4		\$64,726.36
Department 000 - Non-Dept Totals							Invoice Transactions	4		\$64,726.36
Fund 462 - City Capital Projects Totals							Invoice Transactions	4		\$64,726.36



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Payment Date Range 02/23/24 - 02/23/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 555 - Marina Airport										
Department 000 - Non-Dept										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6300.025 - Prof Svc Airport Master Plan										
10150 - Coffman Associates	19GS04-19	Marina Pen & Ink Hydrogen Facility and storage	Paid by Check # 104084		01/31/2024	02/29/2024	02/13/2024		02/23/2024	10,328.00
Account 6300.025 - Prof Svc Airport Master Plan Totals									Invoice Transactions 1	\$10,328.00
Account 6360.570 - Maint & Repairs Other Svc Agr										
11921 - MSI FUEL MANAGEMENT, INC.	5824	Maintenance Call for QTPod M4000	Paid by Check # 104092		02/15/2024	02/23/2024	02/16/2024		02/23/2024	1,518.60
Account 6360.570 - Maint & Repairs Other Svc Agr Totals									Invoice Transactions 1	\$1,518.60
Account 6380.120 - Utilities Comm Mobile & Pager										
10603 - Verizon Wireless	9956307765	Monthly Verizon Bill-308174766 (01/11-02/10/24)	Paid by EFT # 4304		02/10/2024	02/20/2024	02/20/2024		02/23/2024	51.59
Account 6380.120 - Utilities Comm Mobile & Pager Totals									Invoice Transactions 1	\$51.59
Account 6380.300 - Utilities Gas & Electric										
10463 - Pacific Gas & Electric	Jan-Feb 288-5	781 Neeson Rd Bldg 520 (7175660288-5)	Paid by Check # 104094		02/09/2024	02/26/2024	02/20/2024		02/23/2024	723.62
10463 - Pacific Gas & Electric	Jan-Feb 608-2	3260 Imjijn Rd Bldg 514 (7383993608-2)	Paid by Check # 104094		02/09/2024	02/26/2024	02/20/2024		02/23/2024	1,611.28
10463 - Pacific Gas & Electric	Jan-Feb 767-2	751 Neeson Rd (2652040767-2)	Paid by Check # 104094		02/20/2024	02/20/2024	02/20/2024		02/23/2024	111.00
10463 - Pacific Gas & Electric	Jan-Feb 694-1	721 Neeson Rd Bldg 533 (7269284694-1)	Paid by Check # 104094		02/09/2024	02/26/2024	02/20/2024		02/23/2024	958.95
10463 - Pacific Gas & Electric	Jan-Feb 451-7	3271 Imjin Rd (8600650451-7)	Paid by Check # 104094		02/08/2024	02/26/2024	02/20/2024		02/23/2024	659.03
10463 - Pacific Gas & Electric	Jan-Feb 347-0	3263 Imjin Rd. (6258961347-0)	Paid by Check # 104094		02/08/2024	02/26/2024	02/20/2024		02/23/2024	883.99
10463 - Pacific Gas & Electric	Jan-Feb 103-6	3200 Imjin Rd (8030427103-6)	Paid by Check # 104094		02/08/2024	02/26/2024	02/20/2024		02/23/2024	5,322.19
10463 - Pacific Gas & Electric	Dec-Jan 767-2	751 Neeson Rd (2652040767-2)	Paid by Check # 104094		01/10/2024	02/29/2024	02/20/2024		02/23/2024	102.71
Account 6380.300 - Utilities Gas & Electric Totals									Invoice Transactions 8	\$10,372.77
Account 6400.230 - Material & Suppl Fuel - Gas and Diesel										
10416 - Monterey County Petroleum-Sturdy Oil Co.	0242583-IN	Regular Ethenol	Paid by Check # 104091		01/29/2024	02/02/2024	02/02/2024		02/23/2024	35.64
Account 6400.230 - Material & Suppl Fuel - Gas and Diesel Totals									Invoice Transactions 1	\$35.64
Sub-Division 00 - Non-Subdiv Totals									Invoice Transactions 12	\$22,306.60
Division 000 - Non-Div Totals									Invoice Transactions 12	\$22,306.60
Department 000 - Non-Dept Totals									Invoice Transactions 12	\$22,306.60
Fund 555 - Marina Airport Totals									Invoice Transactions 12	\$22,306.60
Grand Totals									Invoice Transactions 91	\$255,929.18



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Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 110 - City Council										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6120.100 - Workers Comp Ins WC Ins										
10375 - MBASIA-Monterey Bay Area Self Insurance Authority	240101-07	EAP/Worker's Comp/Prop/Liab. Premium Allocation	Paid by Check # 104132		12/27/2023	02/21/2024	02/21/2024		03/01/2024	4,756.00
Account 6120.100 - Workers Comp Ins WC Ins Totals							Invoice Transactions	1		\$4,756.00
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	1		\$4,756.00
Division 000 - Non-Div Totals							Invoice Transactions	1		\$4,756.00
Department 110 - City Council Totals							Invoice Transactions	1		\$4,756.00
Department 120 - City Mgr/HR/Risk										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6120.100 - Workers Comp Ins WC Ins										
10375 - MBASIA-Monterey Bay Area Self Insurance Authority	240101-07	EAP/Worker's Comp/Prop/Liab. Premium Allocation	Paid by Check # 104132		12/27/2023	02/21/2024	02/21/2024		03/01/2024	28,540.00
Account 6120.100 - Workers Comp Ins WC Ins Totals							Invoice Transactions	1		\$28,540.00
Account 6300.305 - Prof Svc HR - Citywide Recruit/Background										
11869 - Agile Occupational Medicine PC	EM014158	Agile Occupational Medicine - Pre Emp Px	Paid by EFT # 4319		02/20/2024	02/26/2024	02/26/2024		03/01/2024	177.00
Account 6300.305 - Prof Svc HR - Citywide Recruit/Background Totals							Invoice Transactions	1		\$177.00
Account 6300.310 - Prof Svc HR - Labor Relation& Negotiation										
10335 - Liebert Cassidy Whitmore	260836	LCW - Professional Services	Paid by EFT # 4324		01/31/2024	02/27/2024	02/27/2024		03/01/2024	174.00
Account 6300.310 - Prof Svc HR - Labor Relation& Negotiation Totals							Invoice Transactions	1		\$174.00
Account 6300.570 - Prof Svc Other										
10335 - Liebert Cassidy Whitmore	260837	LCW - Professional Services	Paid by EFT # 4324		01/31/2024	02/27/2024	02/27/2024		03/01/2024	10,997.00
10335 - Liebert Cassidy Whitmore	260834	LCW - Professional Services	Paid by EFT # 4324		01/31/2024	02/27/2024	02/27/2024		03/01/2024	655.50
10335 - Liebert Cassidy Whitmore	260833	LCW - Professional Services	Paid by EFT # 4324		01/31/2024	02/27/2024	02/27/2024		03/01/2024	621.00
10335 - Liebert Cassidy Whitmore	260832	LCW - Professional Services	Paid by EFT # 4324		01/31/2024	02/27/2024	02/27/2024		03/01/2024	1,483.50
10335 - Liebert Cassidy Whitmore	260835	LCW - Professional Services	Paid by EFT # 4324		01/31/2024	02/27/2024	02/27/2024		03/01/2024	1,588.00
11843 - Stallard Panebianco P.C.	141	Stallard Panebianco P.C.	Paid by Check # 104140		02/16/2024	02/21/2024	02/21/2024		03/01/2024	15,481.00
Account 6300.570 - Prof Svc Other Totals							Invoice Transactions	6		\$30,826.00



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Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 120 - City Mgr/HR/Risk										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6400.565 - Material & Suppl Office Supplies										
10732 - Office Depot-General Account	354939080-1	Office Depot	Paid by Check # 104135		02/15/2024	02/21/2024	02/21/2024		03/01/2024	344.97
10732 - Office Depot-General Account	355049929001	Office Depot	Paid by Check # 104135		02/13/2024	02/26/2024	02/26/2024		03/01/2024	174.97
Account 6400.565 - Material & Suppl Office Supplies Totals							Invoice Transactions	2		\$519.94
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	11		\$60,236.94
Division 000 - Non-Div Totals							Invoice Transactions	11		\$60,236.94
Department 120 - City Mgr/HR/Risk Totals							Invoice Transactions	11		\$60,236.94
Department 130 - Finance										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6120.100 - Workers Comp Ins WC Ins										
10375 - MBASIA-Monterey Bay Area Self Insurance Authority	240101-07	EAP/Worker's Comp/Prop/Liab. Premium Allocation	Paid by Check # 104132		12/27/2023	02/21/2024	02/21/2024		03/01/2024	28,540.00
Account 6120.100 - Workers Comp Ins WC Ins Totals							Invoice Transactions	1		\$28,540.00
Account 6300.216 - Prof Svc Fin - Accounting Services										
10511 - Richard B. Standridge	24-04	Service 02/09-02/22/24	Paid by EFT # 4328		02/23/2024	02/26/2024	02/26/2024		03/01/2024	2,446.25
Account 6300.216 - Prof Svc Fin - Accounting Services Totals							Invoice Transactions	1		\$2,446.25
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	2		\$30,986.25
Division 000 - Non-Div Totals							Invoice Transactions	2		\$30,986.25
Department 130 - Finance Totals							Invoice Transactions	2		\$30,986.25
Department 150 - City Attorney										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6300.450 - Prof Svc Legal - City Attorney Other Svc										
11718 - Noland, Hamerly, Etienne & Hoss	242150	Legal Service - Jan.- Feb 2024	Paid by Check # 104134		02/22/2024	02/22/2024	02/22/2024		03/01/2024	3,881.38
Account 6300.450 - Prof Svc Legal - City Attorney Other Svc Totals							Invoice Transactions	1		\$3,881.38
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	1		\$3,881.38
Division 000 - Non-Div Totals							Invoice Transactions	1		\$3,881.38
Department 150 - City Attorney Totals							Invoice Transactions	1		\$3,881.38



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Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 190 - Citywide Non-Dept										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6150.200 - Medical Dental										
10737 - Premier Access Insurance-Premium Payment	03-01-24.	Dental Claim (03.2024)	Paid by Check # 104145		03/01/2024	03/01/2024	03/01/2024		03/01/2024	(1,424.62)
Account 6150.200 - Medical Dental Totals									Invoice Transactions 1	(\$1,424.62)
Account 6150.500 - Medical Vision										
10607 - Vision Service Plan	2024-00001084	VSP Adjustment (03/2024)	Paid by Check # 104144		03/01/2024	03/01/2024	03/01/2024		03/01/2024	170.18
Account 6150.500 - Medical Vision Totals									Invoice Transactions 1	\$170.18
Account 6380.130 - Utilities Comm Otternet										
10174 - CSUMB	613807	2023-2024 Annual Network Service Fee - OtterNet	Paid by Check # 104117		07/31/2023	02/20/2024	02/20/2024		03/01/2024	10,000.00
Account 6380.130 - Utilities Comm Otternet Totals									Invoice Transactions 1	\$10,000.00
Account 6380.300 - Utilities Gas & Electric										
10463 - Pacific Gas & Electric	Feb 2024 683-2	PG&E 6217294683-2	Paid by Check # 104136		02/16/2024	02/26/2024	02/26/2024		03/01/2024	199.96
10463 - Pacific Gas & Electric	Feb 2024 172-2	PG&E - 5618207172-2	Paid by Check # 104136		02/18/2024	02/26/2024	02/26/2024		03/01/2024	1,066.81
10463 - Pacific Gas & Electric	Feb 2024 795-7	PG&E - 4467294795-7	Paid by Check # 104136		02/21/2024	02/26/2024	02/26/2024		03/01/2024	566.39
Account 6380.300 - Utilities Gas & Electric Totals									Invoice Transactions 3	\$1,833.16
Account 6600.340 - Other Charges Insur - Liability										
10375 - MBASIA-Monterey Bay Area Self Insurance Authority	240101-07	EAP/Worker's Comp/Prop/Liab. Premium Allocation	Paid by Check # 104132		12/27/2023	02/21/2024	02/21/2024		03/01/2024	329,932.50
Account 6600.340 - Other Charges Insur - Liability Totals									Invoice Transactions 1	\$329,932.50
Sub-Division 00 - Non-Subdiv Totals									Invoice Transactions 7	\$340,511.22
Division 000 - Non-Div Totals									Invoice Transactions 7	\$340,511.22
Department 190 - Citywide Non-Dept Totals									Invoice Transactions 7	\$340,511.22
Department 210 - Police										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6120.100 - Workers Comp Ins WC Ins										
10375 - MBASIA-Monterey Bay Area Self Insurance Authority	240101-07	EAP/Worker's Comp/Prop/Liab. Premium Allocation	Paid by Check # 104132		12/27/2023	02/21/2024	02/21/2024		03/01/2024	313,938.00
Account 6120.100 - Workers Comp Ins WC Ins Totals									Invoice Transactions 1	\$313,938.00
Account 6300.570 - Prof Svc Other										
10868 - Ergometrics & Applied Pers. Research	145193	Acct #266402	Paid by Check # 104119		01/31/2024	02/09/2024	02/09/2024		03/01/2024	850.62



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Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 210 - Police										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6300.570 - Prof Svc Other										
10456 - Shred-it USA - Stericycle, Inc.	8005904135	Cust #1000200361	Paid by Check # 104139		01/18/2024	01/24/2024	01/24/2024		03/01/2024	247.01
Account 6300.570 - Prof Svc Other Totals Invoice Transactions 2										<u>\$1,097.63</u>
Account 6360.570 - Maint & Repairs Other Svc Agr										
10239 - First Alarm	800010	Cust #9537	Paid by EFT # 4323		01/22/2024	01/24/2024	01/24/2024		03/01/2024	272.50
10239 - First Alarm	804296	Cust #9537	Paid by EFT # 4323		02/15/2024	02/15/2024	02/09/2024		03/01/2024	210.99
10239 - First Alarm	801523	Cust #9537	Paid by EFT # 4323		02/05/2024	02/09/2024	02/09/2024		03/01/2024	35.00
10334 - Lexis Nexis Risk Solutions	1308841-20240131	Billing ID #1308841	Paid by Check # 104130		01/31/2024	02/09/2024	02/09/2024		03/01/2024	150.00
10981 - Sentry Alarm Systems of America, Inc.	2240324	Cust #1840	Paid by Check # 104138		01/15/2024	01/24/2024	01/24/2024		03/01/2024	150.00
10981 - Sentry Alarm Systems of America, Inc.	2240323	Cust #1840	Paid by Check # 104138		01/15/2024	01/24/2024	01/24/2024		03/01/2024	540.90
Account 6360.570 - Maint & Repairs Other Svc Agr Totals Invoice Transactions 6										<u>\$1,359.39</u>
Account 6360.680 - Maint & Repairs Radio Equip										
10331 - Stommell Inc. / LEHR	SI98104	Cust #51724	Paid by EFT # 4330		01/23/2024	01/24/2024	01/24/2024		03/01/2024	885.47
Account 6360.680 - Maint & Repairs Radio Equip Totals Invoice Transactions 1										<u>\$885.47</u>
Account 6360.850 - Maint & Repairs Vehicle										
11941 - Humboldt Petroleum, Inc.	INV-112083	Acct #13680	Paid by Check # 104124		01/31/2024	02/09/2024	02/09/2024		03/01/2024	51.00
11941 - Humboldt Petroleum, Inc.	INV-105177	Acct #13680	Paid by Check # 104124		12/15/2023	02/09/2024	02/09/2024		03/01/2024	59.50
Account 6360.850 - Maint & Repairs Vehicle Totals Invoice Transactions 2										<u>\$110.50</u>
Account 6380.120 - Utilities Comm Mobile & Pager										
10603 - Verizon Wireless	9954500260	Acct #272493672-00001	Paid by EFT # 4332		01/18/2024	01/30/2024	01/30/2024		03/01/2024	97.79
Account 6380.120 - Utilities Comm Mobile & Pager Totals Invoice Transactions 1										<u>\$97.79</u>
Account 6380.150 - Utilities Comm Phone System										
10053 - AT & T	01-13-2023	Acct #325820676	Paid by Check # 104110		01/13/2024	02/05/2024	02/05/2024		03/01/2024	197.30
10758 - AT & T CALNET3	000021127512	BAN #9391023478	Paid by Check # 104111		01/15/2024	01/30/2024	01/30/2024		03/01/2024	57.15
10057 - Avaya, Inc.	2734773261	Acct #0100828859	Paid by EFT # 4321		01/04/2024	01/30/2024	01/30/2024		03/01/2024	12.49



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Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 210 - Police										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6380.150 - Utilities Comm Phone System										
10057 - Avaya, Inc.	2221803853	Acct #100828859	Paid by EFT # 4321		02/04/2024	02/09/2024	02/09/2024		03/01/2024	12.49
10374 - Maynard Group Inc.	IN2043630	Acct #AC3746	Paid by EFT # 4325		02/01/2024	02/05/2024	02/05/2024		03/01/2024	668.86
Account 6380.150 - Utilities Comm Phone System Totals									Invoice Transactions 5	\$948.29
Account 6380.300 - Utilities Gas & Electric										
10463 - Pacific Gas & Electric	01-10-24	Acct #2652040767-2	Paid by Check # 104136		01/10/2024	01/30/2024	01/30/2024		03/01/2024	102.71
Account 6380.300 - Utilities Gas & Electric Totals									Invoice Transactions 1	\$102.71
Account 6400.230 - Material & Suppl Fuel - Gas and Diesel										
11941 - Humboldt Petroleum, Inc.	122046	Acct #13680	Paid by Check # 104124		01/15/2024	01/24/2024	01/24/2024		03/01/2024	76.50
11941 - Humboldt Petroleum, Inc.	121201	13680	Paid by Check # 104124		12/31/2023	01/24/2024	01/24/2024		03/01/2024	34.00
11941 - Humboldt Petroleum, Inc.	120358	Acct #13680	Paid by Check # 104124		12/15/2023	01/24/2024	01/24/2024		03/01/2024	59.50
Account 6400.230 - Material & Suppl Fuel - Gas and Diesel Totals									Invoice Transactions 3	\$170.00
Account 6400.350 - Material & Suppl IT-Computer & Hardware (non-cap)										
10897 - TechRx Technology Services	11503	HP EliteDesk (Police Chief)	Paid by EFT # 4331		01/31/2024	02/09/2024	02/09/2024		03/01/2024	2,226.31
Account 6400.350 - Material & Suppl IT-Computer & Hardware (non-cap) Totals									Invoice Transactions 1	\$2,226.31
Account 6400.565 - Material & Suppl Office Supplies										
10498 - Quill Corporation	36753002	Acct # 7474999	Paid by Check # 104137		01/18/2024	01/30/2024	01/30/2024		03/01/2024	24.02
10498 - Quill Corporation	36479766	Acct # 7474999	Paid by Check # 104137		01/04/2024	01/30/2024	01/30/2024		03/01/2024	179.10
10498 - Quill Corporation	36508900	Acct # 7474999	Paid by Check # 104137		01/05/2024	01/30/2024	01/30/2024		03/01/2024	31.67
10498 - Quill Corporation	36508923	Acct # 7474999	Paid by Check # 104137		01/05/2024	01/30/2024	01/30/2024		03/01/2024	32.76
10498 - Quill Corporation	36753497	Acct # 7474999	Paid by Check # 104137		01/18/2024	02/05/2024	02/05/2024		03/01/2024	174.54
Account 6400.565 - Material & Suppl Office Supplies Totals									Invoice Transactions 5	\$442.09
Account 6400.635 - Material & Suppl Postage Shipping										
10235 - FedEx	8-382-82226	Acct #3995-9218-6	Paid by Check # 104120		01/19/2024	01/30/2024	01/30/2024		03/01/2024	28.03
10235 - FedEx	8-389-30257	Acct #3995-9218-6	Paid by Check # 104120		01/26/2024	02/05/2024	02/05/2024		03/01/2024	51.46
Account 6400.635 - Material & Suppl Postage Shipping Totals									Invoice Transactions 2	\$79.49



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Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 210 - Police										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6400.720 - Material & Suppl Safety Equip										
10330 - LC Action	460763	Cust #862	Paid by Check # 104129		01/15/2024	01/24/2024	01/24/2024		03/01/2024	151.69
10330 - LC Action	460761	Cust #862	Paid by Check # 104129		01/15/2024	01/24/2024	01/24/2024		03/01/2024	192.60
Account 6400.720 - Material & Suppl Safety Equip Totals									Invoice Transactions 2	\$344.29
Account 6600.455 - Other Charges Leased Parking										
10253 - George T. Powell	03012024	Parking Rental Fees	Paid by Check # 104121		03/01/2024	02/26/2024	02/26/2024		03/01/2024	1,047.00
Account 6600.455 - Other Charges Leased Parking Totals									Invoice Transactions 1	\$1,047.00
Account 6600.485 - Other Charges Medical Svc - Investigations										
10193 - California Department of Justice	704915	Cust #110312	Paid by Check # 104112		01/04/2024	01/30/2024	01/30/2024		03/01/2024	145.00
Account 6600.485 - Other Charges Medical Svc - Investigations Totals									Invoice Transactions 1	\$145.00
Account 6600.850 - Other Charges K9 / Animal Supplies & Vet Svc										
11791 - Carey Harold Lindgre Lindgren's Canine Consultation Services	01-30-2024	Monthly Maintenance K-9 Training - Jan 2024	Paid by Check # 104131		01/30/2024	02/09/2024	02/09/2024		03/01/2024	250.00
Account 6600.850 - Other Charges K9 / Animal Supplies & Vet Svc Totals									Invoice Transactions 1	\$250.00
Sub-Division 00 - Non-Subdiv Totals									Invoice Transactions 35	\$323,243.96
Division 000 - Non-Div Totals									Invoice Transactions 35	\$323,243.96
Department 210 - Police Totals									Invoice Transactions 35	\$323,243.96
Department 250 - Fire										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6120.100 - Workers Comp Ins WC Ins										
10375 - MBASIA-Monterey Bay Area Self Insurance Authority	240101-07	EAP/Worker's Comp/Prop/Liab. Premium Allocation	Paid by Check # 104132		12/27/2023	02/21/2024	02/21/2024		03/01/2024	214,049.00
Account 6120.100 - Workers Comp Ins WC Ins Totals									Invoice Transactions 1	\$214,049.00
Account 6300.570 - Prof Svc Other										
10841 - Carmel Fire Protection Associates - Art Black	124002	Plan review & inspection for Tony's Grill, 250 Reservation Rd #B	Paid by Check # 104113		01/24/2024	02/26/2024	02/26/2024		03/01/2024	215.00
10841 - Carmel Fire Protection Associates - Art Black	124072	Plan review & inspection for Ross, 117 General Stillwell	Paid by Check # 104113		02/17/2024	02/26/2024	02/26/2024		03/01/2024	215.00
Account 6300.570 - Prof Svc Other Totals									Invoice Transactions 2	\$430.00



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Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 250 - Fire										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6360.070 - Maint & Repairs Bdg Public Safety										
11238 - Custom Marine Covers - Tammy Dzuro	6551	2 Desk drapes for C. Vega & M. Sweeney	Paid by Check # 104118		02/20/2024	02/22/2024	02/22/2024		03/01/2024	352.88
Account 6360.070 - Maint & Repairs Bdg Public Safety Totals							Invoice Transactions		1	\$352.88
Account 6360.570 - Maint & Repairs Other Svc Agr										
10129 - Cintas Corporation	4179349072	Shop towels	Paid by Check # 104115		01/05/2024	02/22/2024	02/22/2024		03/01/2024	138.05
Account 6360.570 - Maint & Repairs Other Svc Agr Totals							Invoice Transactions		1	\$138.05
Account 6360.850 - Maint & Repairs Vehicle										
11238 - Custom Marine Covers - Tammy Dzuro	6525	Hose bed cover repair	Paid by Check # 104118		01/08/2024	02/22/2024	02/22/2024		03/01/2024	57.62
Account 6360.850 - Maint & Repairs Vehicle Totals							Invoice Transactions		1	\$57.62
Account 6400.740 - Material & Suppl Special Dept Suppl										
10927 - Ace Hardware - Fire Dept.	087690	Cleaning and Misc. Supplies	Paid by Check # 104105		02/28/2024	02/26/2024	02/26/2024		03/01/2024	120.03
11578 - Ana Maria Cordero	24002	Spanish Language Test for Ivo Jiminez	Paid by Check # 104108		01/20/2024	02/26/2024	02/26/2024		03/01/2024	135.00
Account 6400.740 - Material & Suppl Special Dept Suppl Totals							Invoice Transactions		2	\$255.03
Account 6400.795 - Material & Suppl Turnout Equip-Structure Fires										
10780 - Allstar Fire Equipment Inc.	253367	Leather shield for helmets for M. Sweeney & A. Goncalves	Paid by EFT # 4320		01/31/2024	02/22/2024	02/22/2024		03/01/2024	161.08
Account 6400.795 - Material & Suppl Turnout Equip-Structure Fires Totals							Invoice Transactions		1	\$161.08
Account 6600.455 - Other Charges Leased Parking										
10253 - George T. Powell	03012024	Parking Rental Fees	Paid by Check # 104121		03/01/2024	02/26/2024	02/26/2024		03/01/2024	353.00
Account 6600.455 - Other Charges Leased Parking Totals							Invoice Transactions		1	\$353.00
Account 6600.490 - Other Charges Membership Prof Orgs										
10399 - Monterey County Fire Chiefs Association	02-26-24	Membership Renewal for D. McCoun, C. Vega, M. Sweeney, A Goncalv	Paid by Check # 104133		02/26/2024	02/26/2024	02/26/2024		03/01/2024	150.00
Account 6600.490 - Other Charges Membership Prof Orgs Totals							Invoice Transactions		1	\$150.00
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions		11	\$215,946.66
Division 000 - Non-Div Totals							Invoice Transactions		11	\$215,946.66
Department 250 - Fire Totals							Invoice Transactions		11	\$215,946.66



Accounts Payable by G/L Distribution Report

Payment Date Range 03/01/24 - 03/01/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 310 - Public Works										
Division 311 - Buildings & Grounds										
Sub-Division 00 - Non-Subdiv										
Account 6120.100 - Workers Comp Ins WC Ins										
10375 - MBASIA-Monterey Bay Area Self Insurance Authority	240101-07	EAP/Worker's Comp/Prop/Liab. Premium Allocation	Paid by Check # 104132		12/27/2023	02/21/2024	02/21/2024		03/01/2024	104,646.00
Account 6120.100 - Workers Comp Ins WC Ins Totals							Invoice Transactions	1		\$104,646.00
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	1		\$104,646.00
Division 311 - Buildings & Grounds Totals							Invoice Transactions	1		\$104,646.00
Division 313 - Vehicle Maint										
Sub-Division 00 - Non-Subdiv										
Account 6120.100 - Workers Comp Ins WC Ins										
10375 - MBASIA-Monterey Bay Area Self Insurance Authority	240101-07	EAP/Worker's Comp/Prop/Liab. Premium Allocation	Paid by Check # 104132		12/27/2023	02/21/2024	02/21/2024		03/01/2024	14,270.00
Account 6120.100 - Workers Comp Ins WC Ins Totals							Invoice Transactions	1		\$14,270.00
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	1		\$14,270.00
Division 313 - Vehicle Maint Totals							Invoice Transactions	1		\$14,270.00
Department 310 - Public Works Totals							Invoice Transactions	2		\$118,916.00
Department 410 - Planning										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6120.100 - Workers Comp Ins WC Ins										
10375 - MBASIA-Monterey Bay Area Self Insurance Authority	240101-07	EAP/Worker's Comp/Prop/Liab. Premium Allocation	Paid by Check # 104132		12/27/2023	02/21/2024	02/21/2024		03/01/2024	28,540.00
Account 6120.100 - Workers Comp Ins WC Ins Totals							Invoice Transactions	1		\$28,540.00
Account 6300.570 - Prof Svc Other										
10508 - Regional Government Services	15967	Contracted Services for Marina Dunes Borelli October 2023	Paid by EFT # 4327		10/31/2023	02/23/2024	02/23/2024		03/01/2024	166.41
10515 - Rincon Consultants, Inc.	54719	Marina Grant Support and Prohousing	Paid by EFT # 4329		02/20/2024	02/20/2024	02/20/2024		03/01/2024	3,508.75
Account 6300.570 - Prof Svc Other Totals							Invoice Transactions	2		\$3,675.16
Account 6300.610 - Prof Svc Planning - Consultant										
10515 - Rincon Consultants, Inc.	54855	Marina on-call GIS Services 2023	Paid by EFT # 4329		02/21/2024	02/22/2024	02/22/2024		03/01/2024	551.25
Account 6300.610 - Prof Svc Planning - Consultant Totals							Invoice Transactions	1		\$551.25
Account 6330.100 - Fee Agr Costs - Planning										
10316 - Kimley-Horn & Associates	27257492	Marina Station Traffic	Paid by Check # 104128		01/31/2024	02/23/2024	02/23/2024		03/01/2024	17,773.00
Account 6330.100 - Fee Agr Costs - Planning Totals							Invoice Transactions	1		\$17,773.00



Accounts Payable by G/L Distribution Report

Payment Date Range 03/01/24 - 03/01/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 410 - Planning										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6400.565 - Material & Suppl Office Supplies										
10732 - Office Depot-General Account	352835631001	Code Enforcement Desk	Paid by Check # 104135		01/29/2024	02/20/2024	02/20/2024		03/01/2024	961.39
10732 - Office Depot-General Account	354077224001	Bookcase for CDD	Paid by Check # 104135		02/06/2024	02/20/2024	02/20/2024		03/01/2024	170.86
Account 6400.565 - Material & Suppl Office Supplies Totals							Invoice Transactions	2		\$1,132.25
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	7		\$51,671.66
Division 000 - Non-Div Totals							Invoice Transactions	7		\$51,671.66
Department 410 - Planning Totals							Invoice Transactions	7		\$51,671.66
Department 420 - Engineering										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6120.100 - Workers Comp Ins WC Ins										
10375 - MBASIA-Monterey Bay Area Self Insurance Authority	240101-07	EAP/Worker's Comp/Prop/Liab. Premium Allocation	Paid by Check # 104132		12/27/2023	02/21/2024	02/21/2024		03/01/2024	19,027.00
Account 6120.100 - Workers Comp Ins WC Ins Totals							Invoice Transactions	1		\$19,027.00
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	1		\$19,027.00
Division 000 - Non-Div Totals							Invoice Transactions	1		\$19,027.00
Department 420 - Engineering Totals							Invoice Transactions	1		\$19,027.00
Department 430 - Building Inspection										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6120.100 - Workers Comp Ins WC Ins										
10375 - MBASIA-Monterey Bay Area Self Insurance Authority	240101-07	EAP/Worker's Comp/Prop/Liab. Premium Allocation	Paid by Check # 104132		12/27/2023	02/21/2024	02/21/2024		03/01/2024	19,027.00
Account 6120.100 - Workers Comp Ins WC Ins Totals							Invoice Transactions	1		\$19,027.00
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	1		\$19,027.00
Division 000 - Non-Div Totals							Invoice Transactions	1		\$19,027.00
Department 430 - Building Inspection Totals							Invoice Transactions	1		\$19,027.00



Accounts Payable by G/L Distribution Report

Payment Date Range 03/01/24 - 03/01/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 440 - Economic Dev										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6120.100 - Workers Comp Ins WC Ins										
10375 - MBASIA-Monterey Bay Area Self Insurance Authority	240101-07	EAP/Worker's Comp/Prop/Liab. Premium Allocation	Paid by Check # 104132		12/27/2023	02/21/2024	02/21/2024		03/01/2024	4,757.00
Account 6120.100 - Workers Comp Ins WC Ins Totals								Invoice Transactions	1	\$4,757.00
Sub-Division 00 - Non-Subdiv Totals								Invoice Transactions	1	\$4,757.00
Division 000 - Non-Div Totals								Invoice Transactions	1	\$4,757.00
Department 440 - Economic Dev Totals								Invoice Transactions	1	\$4,757.00
Department 510 - Recreation & Culture										
Division 100 - Admin										
Sub-Division 00 - Non-Subdiv										
Account 6120.100 - Workers Comp Ins WC Ins										
10375 - MBASIA-Monterey Bay Area Self Insurance Authority	240101-07	EAP/Worker's Comp/Prop/Liab. Premium Allocation	Paid by Check # 104132		12/27/2023	02/21/2024	02/21/2024		03/01/2024	33,296.00
Account 6120.100 - Workers Comp Ins WC Ins Totals								Invoice Transactions	1	\$33,296.00
Account 6360.344 - Maint & Repairs IT - Office Equip & PC Upgrades										
10897 - TechRx Technology Services	11505	Youth Center - pro desk computer	Paid by EFT # 4331		01/31/2024	02/14/2024	02/14/2024		03/01/2024	1,486.75
10897 - TechRx Technology Services	11482	Rec Office - Monitor	Paid by EFT # 4331		01/31/2024	02/14/2024	02/14/2024		03/01/2024	1,011.51
Account 6360.344 - Maint & Repairs IT - Office Equip & PC Upgrades Totals								Invoice Transactions	2	\$2,498.26
Account 6360.690 - Maint & Repairs Supplies										
10726 - Ace Hardware-Parks&Recreation	087208	Cust #107	Paid by Check # 104106		01/05/2024	02/14/2024	02/14/2024		03/01/2024	5.01
10726 - Ace Hardware-Parks&Recreation	087255	Cust #107	Paid by Check # 104106		01/10/2024	02/14/2024	02/14/2024		03/01/2024	65.53
10726 - Ace Hardware-Parks&Recreation	087218	Cust # 107	Paid by Check # 104106		01/06/2024	02/14/2024	02/14/2024		03/01/2024	333.13
10726 - Ace Hardware-Parks&Recreation	087268	Cust # 107	Paid by Check # 104106		01/11/2024	02/14/2024	02/14/2024		03/01/2024	17.46
10726 - Ace Hardware-Parks&Recreation	087282	Cust # 107	Paid by Check # 104106		01/13/2024	02/14/2024	02/14/2024		03/01/2024	50.33
Account 6360.690 - Maint & Repairs Supplies Totals								Invoice Transactions	5	\$471.46
Account 6380.150 - Utilities Comm Phone System										
10053 - AT & T	Feb 2024 520 5	AT&T 831-582-9957 520 5	Paid by Check # 104110		02/13/2024	02/26/2024	02/26/2024		03/01/2024	330.92
10603 - Verizon Wireless	9954462937	542484588-00001	Paid by EFT # 4332		01/17/2024	02/14/2024	02/14/2024		03/01/2024	260.60



Accounts Payable by G/L Distribution Report

Payment Date Range 03/01/24 - 03/01/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 510 - Recreation & Culture										
Division 100 - Admin										
Sub-Division 00 - Non-Subdiv										
Account 6380.150 - Utilities Comm Phone System										
10603 - Verizon Wireless	9956922631	542484588-00001	Paid by EFT # 4332		02/17/2024	02/28/2024	02/28/2024		03/01/2024	259.85
Account 6380.150 - Utilities Comm Phone System Totals							Invoice Transactions	3		\$851.37
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	11		\$37,117.09
Division 100 - Admin Totals							Invoice Transactions	11		\$37,117.09
Division 511 - Youth										
Sub-Division 00 - Non-Subdiv										
Account 6400.660 - Material & Suppl Recr Youth Progr										
10726 - Ace Hardware-Parks&Recreation	087324	Cust # 107	Paid by Check # 104106		01/18/2024	02/14/2024	02/14/2024		03/01/2024	21.83
10301 - Janice Griffin	02-14-24	Entertainment - Youth Event	Paid by Check # 104126		02/14/2024	02/14/2024	02/14/2024		03/01/2024	500.00
10301 - Janice Griffin	02-08-24	Decorations	Paid by Check # 104126		02/08/2024	02/14/2024	02/14/2024		03/01/2024	250.00
11784 - John Upshaw John Upshaw - DJ Monterey	01-07-24	DJ Services on 2/9/24	Paid by Check # 104127		01/07/2024	02/14/2024	02/14/2024		03/01/2024	600.00
Account 6400.660 - Material & Suppl Recr Youth Progr Totals							Invoice Transactions	4		\$1,371.83
Account 6600.700 - Other Charges Refunds of Fees/Charges										
11983 - Tosin Johnson	2024-2998	Refund on Rec Fees	Paid by Check # 104142		02/26/2024	02/28/2024	02/28/2024		03/01/2024	30.00
Account 6600.700 - Other Charges Refunds of Fees/Charges Totals							Invoice Transactions	1		\$30.00
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	5		\$1,401.83
Division 511 - Youth Totals							Invoice Transactions	5		\$1,401.83
Division 513 - Senior										
Sub-Division 00 - Non-Subdiv										
Account 6400.653 - Material & Suppl Recr Senior Prog										
10301 - Janice Griffin	02-08-24	Decorations	Paid by Check # 104126		02/08/2024	02/14/2024	02/14/2024		03/01/2024	250.00
11784 - John Upshaw John Upshaw - DJ Monterey	01-07-24	DJ Services on 2/9/24	Paid by Check # 104127		01/07/2024	02/14/2024	02/14/2024		03/01/2024	600.00
Account 6400.653 - Material & Suppl Recr Senior Prog Totals							Invoice Transactions	2		\$850.00
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	2		\$850.00
Division 513 - Senior Totals							Invoice Transactions	2		\$850.00
Department 510 - Recreation & Culture Totals							Invoice Transactions	18		\$39,368.92
Fund 100 - General Fund Totals							Invoice Transactions	98		\$1,232,329.99



Accounts Payable by G/L Distribution Report

Payment Date Range 03/01/24 - 03/01/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 220 - Gas Tax										
Department 000 - Non-Dept										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6380.300 - Utilities Gas & Electric										
10463 - Pacific Gas & Electric	Feb 2024 683-2	PG&E 6217294683-2	Paid by Check # 104136		02/16/2024	02/26/2024	02/26/2024		03/01/2024	739.37
10463 - Pacific Gas & Electric	362-9 Feb 2024	PG&E - 5996678362-9	Paid by Check # 104136		02/18/2024	02/26/2024	02/26/2024		03/01/2024	172.43
10463 - Pacific Gas & Electric	Feb 533-8	PG&E - 2253666533-8	Paid by Check # 104136		02/16/2024	02/26/2024	02/26/2024		03/01/2024	196.05
Account 6380.300 - Utilities Gas & Electric Totals							Invoice Transactions	3		<u>\$1,107.85</u>
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	3		<u>\$1,107.85</u>
Division 000 - Non-Div Totals							Invoice Transactions	3		<u>\$1,107.85</u>
Department 000 - Non-Dept Totals							Invoice Transactions	3		<u>\$1,107.85</u>
Fund 220 - Gas Tax Totals							Invoice Transactions	3		<u>\$1,107.85</u>



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Payment Date Range 03/01/24 - 03/01/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 251 - CFD - Locke Paddon										
Department 000 - Non-Dept										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6380.300 - Utilities Gas & Electric										
10463 - Pacific Gas & Electric	Feb 2024 272-1	PG&E - 2862559272-1	Paid by Check # 104136		02/16/2024	02/26/2024	02/26/2024		03/01/2024	31.35
Account 6380.300 - Utilities Gas & Electric Totals							Invoice Transactions 1			\$31.35
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions 1			\$31.35
Division 000 - Non-Div Totals							Invoice Transactions 1			\$31.35
Department 000 - Non-Dept Totals							Invoice Transactions 1			\$31.35
Fund 251 - CFD - Locke Paddon Totals							Invoice Transactions 1			\$31.35



Accounts Payable by G/L Distribution Report

Payment Date Range 03/01/24 - 03/01/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 462 - City Capital Projects										
Department 000 - Non-Dept										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6300.570 - Prof Svc Other										
10268 - Harris & Associates	60842	Imjin Parkway Improvement Plan	Paid by Check # 104123		01/04/2024	02/23/2024	02/23/2024		03/01/2024	30,536.11
10316 - Kimley-Horn & Associates	27257489	Imjin Parkway PS&E	Paid by Check # 104128		01/31/2024	02/23/2024	02/23/2024		03/01/2024	41,563.00
10316 - Kimley-Horn & Associates	26784446	Imjin Park	Paid by Check # 104128		11/30/2023	02/23/2024	02/23/2024		03/01/2024	26,974.75
11762 - Raimi + Associates, Inc	23-6104	Marina ODS November 2023	Paid by EFT # 4326		12/11/2023	02/29/2024	02/29/2024		03/01/2024	2,448.00
Account 6300.570 - Prof Svc Other Totals								Invoice Transactions	4	\$101,521.86
Account 6700.105 - Capital Outlay Construction										
10878 - Green Waste Recovery, Inc.	0007080732	Equestrian Center	Paid by Check # 104122		11/01/2023	02/14/2024	02/14/2024		03/01/2024	2,644.56
Account 6700.105 - Capital Outlay Construction Totals								Invoice Transactions	1	\$2,644.56
Sub-Division 00 - Non-Subdiv Totals								Invoice Transactions	5	\$104,166.42
Division 000 - Non-Div Totals								Invoice Transactions	5	\$104,166.42
Department 000 - Non-Dept Totals								Invoice Transactions	5	\$104,166.42
Fund 462 - City Capital Projects Totals								Invoice Transactions	5	\$104,166.42



Accounts Payable by G/L Distribution Report

Payment Date Range 03/01/24 - 03/01/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 555 - Marina Airport										
Department 000 - Non-Dept										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6120.100 - Workers Comp Ins WC Ins										
10375 - MBASIA-Monterey Bay Area Self Insurance Authority	240101-07	EAP/Worker's Comp/Prop/Liab. Premium Allocation	Paid by Check # 104132		12/27/2023	02/21/2024	02/21/2024		03/01/2024	9,513.00
Account 6120.100 - Workers Comp Ins WC Ins Totals									Invoice Transactions 1	<u>\$9,513.00</u>
Account 6360.440 - Maint & Repairs Landscape General										
10154 - Commercial Environment Landscape	2796-0224	Weekly landscape services for Feb 2024	Paid by EFT # 4322		02/19/2024	02/22/2024	02/22/2024		03/01/2024	2,900.00
Account 6360.440 - Maint & Repairs Landscape General Totals									Invoice Transactions 1	<u>\$2,900.00</u>
Account 6360.448 - Maint & Repairs Lighting										
10728 - Ace Hardware-Public Works	87618	Lights for Box Hangar A-8	Paid by Check # 104107		02/21/2024	02/22/2024	02/22/2024		03/01/2024	109.23
Account 6360.448 - Maint & Repairs Lighting Totals									Invoice Transactions 1	<u>\$109.23</u>
Account 6360.450 - Maint & Repairs Maint & Repairs										
10728 - Ace Hardware-Public Works	87615	Fuel Turbin 100LL tank supplies	Paid by Check # 104107		02/21/2024	02/22/2024	02/22/2024		03/01/2024	46.17
Account 6360.450 - Maint & Repairs Maint & Repairs Totals									Invoice Transactions 1	<u>\$46.17</u>
Account 6360.570 - Maint & Repairs Other Svc Agr										
11771 - US Fuelling Solution	25254	Red Jacket Capacitator & Replacement Motor for 100LL Tank	Paid by Check # 104143		02/23/2024	02/29/2024	02/23/2024		03/01/2024	3,899.24
Account 6360.570 - Maint & Repairs Other Svc Agr Totals									Invoice Transactions 1	<u>\$3,899.24</u>
Account 6380.300 - Utilities Gas & Electric										
10463 - Pacific Gas & Electric	Feb 2024 683-2	PG&E 6217294683-2	Paid by Check # 104136		02/16/2024	02/26/2024	02/26/2024		03/01/2024	120.39
Account 6380.300 - Utilities Gas & Electric Totals									Invoice Transactions 1	<u>\$120.39</u>
Sub-Division 00 - Non-Subdiv Totals									Invoice Transactions 6	<u>\$16,588.03</u>
Division 000 - Non-Div Totals									Invoice Transactions 6	<u>\$16,588.03</u>
Department 000 - Non-Dept Totals									Invoice Transactions 6	<u>\$16,588.03</u>
Fund 555 - Marina Airport Totals									Invoice Transactions 6	<u>\$16,588.03</u>



Accounts Payable by G/L Distribution Report

Payment Date Range 03/01/24 - 03/01/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 557 - Abrams B NonProfit Corp										
Department 000 - Non-Dept										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6300.218 - Prof Svc Fin - Debt Admin/Issuance										
10948 - Applied Best Practices	29156	Abrams B - Continuing Disclosure Annual Rpt (CDAR FY22-23)	Paid by Check # 104109		02/15/2024	02/26/2024	02/26/2024		03/01/2024	1,200.00
Account 6300.218 - Prof Svc Fin - Debt Admin/Issuance Totals							Invoice Transactions	1		\$1,200.00
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	1		\$1,200.00
Division 000 - Non-Div Totals							Invoice Transactions	1		\$1,200.00
Department 000 - Non-Dept Totals							Invoice Transactions	1		\$1,200.00
Fund 557 - Abrams B NonProfit Corp Totals							Invoice Transactions	1		\$1,200.00
Grand Totals							Invoice Transactions	114		\$1,355,423.64



Accounts Payable by G/L Distribution Report

Payment Date Range 02/23/24 - 02/23/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 758 - Successor Agency Oblig Retirement										
Department 000 - Non-Dept										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6650.010 - ROPS #10-Financial, RE Advisory Svc										
10315 - Keyser Marston Associates	0038516	January 2024 Prof. Services	Paid by Check # 121		02/20/2024	02/20/2024	02/20/2024		02/23/2024	1,911.25
Account 6650.010 - ROPS #10-Financial, RE Advisory Svc Totals							Invoice Transactions	1		\$1,911.25
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	1		\$1,911.25
Division 000 - Non-Div Totals							Invoice Transactions	1		\$1,911.25
Department 000 - Non-Dept Totals							Invoice Transactions	1		\$1,911.25
Fund 758 - Successor Agency Oblig Retirement Totals							Invoice Transactions	1		\$1,911.25
Grand Totals							Invoice Transactions	1		\$1,911.25



DRAFT

Agenda Item: **10b(1)**
City Council Meeting of
March 5, 2024

MINUTES

Wednesday, February 21, 2024

5:00 P.M. Closed Session

6:30 P.M. Open Session

REGULAR MEETING

**CITY COUNCIL, AIRPORT COMMISSION,
MARINA ABRAMS B NON-PROFIT CORPORATION, PRESTON PARK
SUSTAINABLE COMMUNITY NON-PROFIT CORPORATION, SUCCESSOR
AGENCY OF THE FORMER MARINA REDEVELOPMENT AGENCY AND MARINA
GROUNDWATER SUSTAINABILITY AGENCY**

THIS MEETING WILL BE HELD IN PERSON AND VIRTUALLY (HYBRID).

Council Chambers
211 Hillcrest Avenue
Marina, California

AND

Zoom Meeting URL: <https://zoom.us/j/730251556>

Zoom Meeting Telephone Only Participation: 1-669-900-9128 - Webinar ID: 730 251 556

PARTICIPATION

You may participate in the City Council meeting in person or in real-time by calling Zoom Meeting via the weblink and phone number provided at the top of this agenda. Instructions on how to access, view and participate in remote meetings are provided by visiting the City's home page at <https://cityofmarina.org/>. Attendees can make oral comments during the meeting by using the "Raise Your Hand" feature in the webinar or by pressing *9 on your telephone keypad if joining by phone only.

The most effective method of communication with the City Council is by sending an email to marina@cityofmarina.org. Comments will be reviewed and distributed before the meeting if received by 5:00 p.m. on the day of the meeting. All comments received will become part of the record. Council will have the option to modify their action on items based on comments received.

1. CALL TO ORDER
2. ROLL CALL & ESTABLISHMENT OF QUORUM: (City Council, Airport Commissioners, Marina Abrams B Non-Profit Corporation, Preston Park Sustainable Communities Nonprofit Corporation, Successor Agency of the Former Redevelopment Agency Members and Marina Groundwater Sustainability Agency)

MEMBERS PRESENT: Brian McCarthy (Remote), Kathy Biala, Mayor Pro-Tem/Vice Chair Liesbeth Visscher, Mayor/Chair Bruce C. Delgado

3. PUBLIC COMMENT ON CLOSED SESSION ITEMS: None received

4. CLOSED SESSION:

- a. Conference with Legal Counsel, Existing Litigation (§ 54956.9(d)) 3 cases:
 - (1) *City of Marina, et al. vs. Nemeth, Karla, et al.*, Monterey County Superior Court Case No. 19CV005270.
 - (2) *California-American Water Company v. All Persons Interested in the Validity of the City of Marina et al.*, Monterey County Superior Court Case No. 20CV002436.
 - (3) *City of Marina, et al. v. All Persons Interested in the Validity of the Monterey County Groundwater Sustainability Plan*, Monterey County Superior Court Case No. 21CV000493.
- b. Conference with Legal Counsel: Anticipated Litigation, (Government Code Section 54956.9(d)(4)) Number of Cases: 2
- c. Performance Evaluation of Public Employee, Unrepresented Employee (CA Govt. Code Section 54957(b)(1) – City Manager

6:30 PM - RECONVENE OPEN SESSION AND REPORT ON ANY ACTIONS TAKEN IN CLOSED SESSION

City Attorney Ortega reports out Closed Session: With respect to item A in closed session, directions were provided, and action was taken. With respect to item B, direction was provided that litigation should be initiated. And with respect to item C. No action was taken.

Council Member McCarthy requested to participate in the Council meeting under AB2449, due to family emergency.

DELGADO/BIALA: TO APPROVE THE REMOTE ATTENDANCE FOR COUNCIL MEMBER MCCARTHY. 3-0-0-0. Motion Passes

5. MOMENT OF SILENCE & PLEDGE OF ALLEGIANCE (Please stand)

6. SPECIAL PRESENTATIONS:

- a. Proclamations
 - i. Black History Month
 - ii. Brian McMinn
- b. Certificate of Appreciation
 - i. Steve Russo
 - ii. Richard Cox
- c. Introduction of Fire Division Chiefs
 - i. Mark Sweeney
 - ii. Anthony Goncalves
- d. Introduction of new Firefighters
 - i. Kevin Seaver
 - ii. Ivo Jimenez
 - iii. Chris Bell

7. COUNCIL AND STAFF ANNOUNCEMENTS:

- Mayor Pro Tem Visscher – Announced on February 25, 2024, MST will have a booth at the Marina famers market from 10:00am-2:00pm.
- Mayor Delgado – Announced on March 2nd from 10:00am-2:00pm planting event at Hilltop Park on the Dunes. April 13th is the 18th Annual Earthy Day at Locke Paddon Park from 9:00am-1:00pm.
- Recreation Director Willer – Announced two new programs. March 15th will be the 2nd Kids Night Out at the Community Center from 6:00-9:00pm, kids will enjoy a night full of games, food and will build a Leprechaun Trap! Spring Break Camp will be March 18th - 29th, 2024 from 8:00 am to 6:00 pm, Monday to Friday. Drop off will be at the Marina Teen Center starting at 8:00 am and pick up at the Marina Youth Center) no later than 6:00 pm.
- City Manager Long – Announced a Special City Council meeting on Wednesday, February 28, 2024, at 7:00pm the council will be interviewing applicants to fill the vacant council position.

8. PUBLIC COMMENT: *Any member of the public may comment on any matter within the City Council's jurisdiction that is not on the agenda. This is the appropriate place to comment on items on the Consent Agenda. Action will not be taken on items not on the agenda. Comments are limited to a maximum of three (3) minutes. General public comment may be limited to thirty (30) minutes and/or continued to the end of the agenda. Any member of the public may comment on any matter listed on this agenda at the time the matter is being considered by the City Council. Whenever possible, written correspondence should be submitted to the Council in advance of the meeting, to provide adequate time for its consideration.*

- Nancy Amadeo – Announced that Marina In Motion would like to present a check in the amount of \$9,058 to be used for agenda item 10f(5), to cover the cost of a bronze Dolphin going into the first roundabout on Imjin.
- Grace Sivla-Santella – Commented on Brian McMinn's retirement and missing to working that's going to take place on the medians and the library irrigation system. Expressed appreciation to Steve Russo for the year he spent as interim police chief.

9. CONSENT AGENDA FOR THE SUCCESSOR AGENCY TO THE FORMER MARINA REDEVELOPMENT AGENCY: *Background information has been provided to the Successor Agency of the former Redevelopment Agency on all matters listed under the Consent Agenda, and these items are considered to be routine and non-controversial. All items under the Consent Agenda are normally approved by one motion. Prior to such a motion being made, any member of the public or City Council may ask a question or make a comment about an agenda item and staff may provide a response. If discussion or a lengthy explanation is required, the Council may remove an item from the Consent Agenda for individual consideration. If an item is pulled for discussion, it will be placed at the end of Other Action Items Successor Agency to the former Marina Redevelopment Agency.*

10. CONSENT AGENDA: *These items are considered to be routine and non-controversial. All items under the Consent Agenda may be approved by one motion. Prior to such a motion being made, any member of City Council may ask a question or make a comment about an agenda item and staff may provide a response. If discussion or a lengthy explanation is required, Council may remove the item from the Consent Agenda and it will be placed at the end of Other Action Items.*

- a. ACCOUNTS PAYABLE: *(Not a Project under CEQA per Article 20, Section 15378)*
 - (1) Accounts Payable Check Numbers 104004-104076, totaling \$649,915.25.
Accounts Payable Successor Agency Check Number: 120, totaling \$79.27.
- b. MINUTES: *(Not a Project under CEQA per Article 20, Section 15378)*
 - (1) February 6, 2024, Regular City Council Meeting
- c. CLAIMS AGAINST THE CITY: None
- d. AWARD OF BID: None
- e. CALL FOR BIDS: None
- f. ADOPTION OF RESOLUTIONS:
 - (1) Adopting **Resolution No. 2024-14**, ordering the City Engineer to prepare and to file a report related to maintenance of the Cypress Cove II Landscape Maintenance Assessment District for Fiscal Year 2024-2025.
(This item is exempt from environmental review per §15378 of the CEQA guidelines)
 - (2) Adopting **Resolution No. 2024-15**, ordering the City Engineer to prepare and to file a report related to maintenance of the Seabreeze Landscape Maintenance Assessment District for Fiscal Year 2024-2025.
(This item is exempt from environmental review per §15378 of the CEQA guidelines)
 - (3) Adopting **Resolution No. 2024-16**, ordering the City Engineer to prepare and to file a report related to maintenance of the Monterey Bay Estates Lighting and Landscape Maintenance Assessment District for Fiscal Year 2024-2025. *(This item is exempt from environmental review per §15378 of the CEQA guidelines)*
 - (4) Adopting **Resolution No. 2024-17**, accepting \$30,000.00 grant from the National Fitness Campaign; and appropriating the funding to the Dunes City Park budget; and allocating an additional \$240,000 from the Dunes City Park Development Budget. *(This item is exempt from environmental review per §15378 of the CEQA guidelines)*
 - (5) Adopting **Resolution No. 2024-18**, accepting \$9,058 in cash donation from Marina in Motion for the completion and placement of a dolphin sculpture in honor of Mike and Candy Owen with any remaining funds to be used in future public art projects. *(This item is exempt from environmental review per §15378 of the CEQA guidelines)*
- g. APPROVAL OF AGREEMENTS:
 - (1) Adopting **Resolution No. 2024-19**, approving the creation of a utility easement on City property (City Corporation Yard, 2660 5th Avenue).
(This item is exempt from environmental review per §15378 of the CEQA guidelines)
- h. ACCEPTANCE OF PUBLIC IMPROVEMENTS: None
- i. MAPS: None
- j. REPORTS: (RECEIVE AND FILE): None
- k. FUNDING & BUDGET MATTERS: None
- l. APPROVE ORDINANCES (WAIVE SECOND READING): None

m. APPROVE APPOINTMENTS:

- (1) Appointing to Planning Commission: Jenny McAdams, Audra Walton, and Galia Baron. 3-seats expiring February 2026 *(This item is exempt from environmental review per §15378 of the CEQA guidelines)*

BIALA/VISSCHER: TO ACCEPT THE, THE CONSENT AGENDA WITH THE EXCEPTION OF ADDING TO THE RESOLUTION ON 10f(5) “FUTURE OR EXISTING PUBLIC ART PROJECTS”. 4-0-0-0 Motion Passes by Roll Call Vote

11. PUBLIC HEARINGS: *In the Council’s discretion, the applicant/proponent of an item may be given up to ten (10) minutes to speak. All other persons may be given up to three (3) minutes to speak on the matter.*
12. OTHER ACTIONS ITEMS OF THE SUCCESSOR AGENCY TO THE FORMER MARINA REDEVELOPMENT AGENCY: *Action listed for each Agenda item is that which is requested by staff. The Successor Agency may, at its discretion, take action on any items. Members of the public may be given up to three (3) minutes to speak.*
13. OTHER ACTION ITEMS: *Action listed for each Agenda item is that which is requested by staff. The City Council may, at its discretion, take action on any items. Members of the public may be given up to three (3) minutes to speak.*

Note: No additional major projects or programs should be undertaken without review of the impacts on existing priorities (Resolution No. 2006-79 – April 4, 2006).

- a. Receive a presentation from the City’s General Plan Update (GP2045) consultant, Raimi+Associates, on progress made to date, review and confirm the Vision and Guiding Principles for the GP2045 update created by the GPAC with feedback from the general public, staff, and the Planning Commission and provide comments on these items. *(This item is exempt from environmental review per §15378 of the CEQA guidelines).*

The council received the presentation and discussed annexation of East Garrison and CSUMB East Campus property, sustainability, climate change, diversity. Discussed the language in the draft vision and guiding principles.

Public Comments:

- Cristina Medina Dirksen – Asked about diversity inclusion, Beach Road zoning and airport runway expansion.

DELGADO/BIALA: THAT HAVING RECEIVED THIS REPORT TONIGHT THAT WE WOULD LIKE TO APPOINT COUNCILMEMBER BIALA AND MAYOR DELGADO TO A SUBCOMMITTEE TO REVIEW AND COME BACK TO COUNCIL AND STAFF WITH THEIR UPDATED/REVISED VISION STATEMENT AND REVISED GUIDING PRINCIPLES WITHIN 3 WEEKS OF TODAY OR BY MARCH 13TH. 3-0-1(McCarthy)-0 Motion Passes.

- b. Receive presentation update on Consolidated Project List and other City projects. CEQA: *Not a Project per CEQA Guidelines Section 15378)* ***Continued to March 5, 2024***

14. COUNCIL & STAFF INFORMATIONAL REPORTS:

- a. Monterey County Mayor's Association [Mayor Bruce Delgado]
- b. Council reports on meetings and conferences attended (Gov't Code Section 53232).

Mayor Pro Tem Visscher attended TAMC Bicycle Pedestrian Advisory Committee meeting and noted that she would miss three of their meetings this year and asked about appointing an alternate. Commented on the 15-minute parking restriction at the MST Transit area and asked what can be done to fix this so people can park and ride.

15. ADJOURNMENT: The meeting adjourned at 10:47 PM

Anita Sharp, Deputy City Clerk

ATTEST:

Bruce C. Delgado, Mayor



DRAFT

Agenda Item: **10b(2)**
City Council Meeting of
March 5, 2024

MINUTE

Wednesday, February 28, 2024

7:00 P.M. OPEN SESSION

**SPECIAL MEETING
CITY COUNCIL, AIRPORT COMMISSION,
MARINA ABRAMS B NON-PROFIT CORPORATION, PRESTON PARK SUSTAINABLE
COMMUNITY NON-PROFIT CORPORATION, SUCCESSOR AGENCY OF THE FORMER
MARINA REDEVELOPMENT AGENCY AND MARINA GROUNDWATER
SUSTAINABILITY AGENCY**

Council Hall
211 Hillcrest Avenue
Marina, California

TELECONFERENCE LOCATION: ¹

Holiday Inn Express: Lobby
2040 Mayport Rd, Jacksonville, FL 32233

Telephone (831) 884-1278 - Fax (831) 384-9148
E-Mail: marina@cityofmarina.org Website: www.cityofmarina.org

Zoom Meeting URL <https://zoom.us/j/730251556>

Zoom Meeting Telephone Only Participation: 1-669-900-9128 Webinar ID:730 251 556

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1. **CALL TO ORDER**
2. **ROLL CALL & ESTABLISHMENT OF QUORUM:** (City Council, Airport Commissioners, Marina Abrams B Non-Profit Corporation, Preston Park Sustainable Communities Nonprofit Corporation, Successor Agency of the Former Redevelopment Agency Members and Marina Groundwater Sustainability Agency)

MEMBERS PRESENT: Brian McCarthy, Kathy Biala, Mayor Pro-Tem/Vice Chair Liesbeth Visscher, Mayor/Chair Bruce C. Delgado
3. **MOMENT OF SILENCE & PLEDGE OF ALLEGIANCE** (Please stand)

4. OTHER ACTION ITEMS: *Action listed for each Agenda item is that which is requested by staff. The City Council may, at its discretion, take action on any items. The public is invited to approach the podium to provide up to four (4) minutes of public comment.*

- a. City Council to consider adopting Resolution No. 2024-20, making an appointment to fill a currently vacant seat on the City Council with the appointee to serve for the remainder of a four-year term, that is, until a successor is qualified at the November 2024 General Municipal Election.

Public Comments:

- Cristina Medina Dirksen – Commend the candidates for coming out. Commented on city goals and community engagement. Noted council has a tough decision.
- LyVesha – Supports the appointment of Audra Walton.
- Ezra Lambert – Supports the appointment Audra Walton.

The City Council received presentations from all applicants and asked a series of questions to each.

BIALA/VISSCHER: TO ADOPT RESOLUTION NO. 2024-20, APPOINTING JENNIFER MCADAMS TO THE CITY COUNCIL TO SERVE FOR THE REMAINDER OF A FOUR-YEAR TERM, THAT IS, UNTIL A SUCCESSOR IS QUALIFIED AT THE NOVEMBER 2024 GENERAL MUNICIPAL ELECTION. 4-0-0-0 Motion Passes by Roll Call Vote

5. ADJOURNMENT: The meeting adjourned at 9:27 P.M.

Anita Sharp, Deputy City Clerk

ATTEST:

Bruce C. Delgado, Mayor

Honorable Mayor and Members
of the Marina City Council

City Council Meeting
of January 17, 20224

**CITY COUNCIL CONSIDER ADOPTING RESOLUTION NO. 2024-,
AUTHORIZING THE CITY MANAGER OR CITY MANAGER'S
DESIGNEE TO SUBMIT A PRO HOUSING DESIGNATION PROGRAM
APPLICATION TO THE CALIFORNIA DEPARTMENT OF HOUSING
AND COMMUNITY DEVELOPMENT (HCD) AND IF THE
APPLICATION IS APPROVED BY HCD TO EXECUTE ALL
DOCUMENTS DEEMED NECESSARY OR APPROPRIATE TO
PARTICIPATE IN THE PRO HOUSING DESIGNATION PROGRAM.**

RECOMMENDATION: it is recommended that the City Council consider:

1. Adopting Resolution No. 2024-, authorizing the City Manager or City Manager's Designee to submit a Pro Housing Designation Program Application to the California Department of Housing and Community Development (HCD); and
2. Authorize the City Manager to execute all documents deemed necessary or appropriate to participate in the Pro Housing Designation Program

BACKGROUND

In an effort to address the housing crisis in the State of California, as part of the 2019-2022 Budget Act, the legislature enacted AB 101 and established the Pro-housing Designation Program. The Pro-housing Designation Program identifies local policies that jurisdictions should consider adopting to address housing needs and affordability and identifies State programs and grants for which Pro-housing designated jurisdictions should receive preference or additional points.

Jurisdictions awarded a Pro-housing Designation will receive a competitive advantage for critical affordable housing and infrastructure grant programs, including, the Affordable Housing and Sustainable Communities Program, Transformative Climate Communities, and the Infill Incentive Grant Program. To be eligible to apply for the designation, the Housing Element must be certified by HCD, and a resolution must be adopted by the City Council directing staff to apply for the designation. On December 5, 2023, the City Council directed staff to file the Final Housing Element with the California Department of Housing and Community Development (State HCD). The city is anticipating receiving certification shortly. As soon as the Housing Element is certified, the City is eligible to apply for the Pro Housing Designation from the State.

FISCAL IMPACT

Local governments with Pro-housing Designation are eligible to apply for new Pro-housing Incentive Program grant funding, a \$26 million state investment from the Building Homes and Jobs Trust Fund: Pro-housing Incentive Pilot (PIP). Pro-housing designated local governments can also receive priority processing or funding points when applying for several funding programs including:

- Affordable Housing & Sustainable Communities (AHSC)
- Infill Infrastructure Grant (IIG)
- Transformative Climate Communities (TCC)
- Solutions for Congested Corridors

- Local Partnership Program
- Transit and Intercity Rail Capital Program (TIRCP)

Respectfully submitted,

Guido F. Persicone
Community Development Director
City of Marina

REVIEWED/CONCUR:

Layne Long
City Manager
City of Marina

RESOLUTION NO. 2024-

A RESOLUTION OF CITY COUNCIL OF THE CITY OF MARINA AUTHORIZING
APPLICATION TO AND PARTICIPATION IN THE PROHOUSING DESIGNATION
PROGRAM

WHEREAS, Government Code section 65589.9 established the Pro-housing Designation Program (“PDP” or “Program”), which creates incentives for jurisdictions that are compliant with state housing element requirements and that have enacted Pro-housing local policies; and

WHEREAS, such jurisdictions will be designated Pro-housing, and, as such, will receive additional points or other preference during the scoring of their competitive applications for specified housing and infrastructure funding; and

WHEREAS, the Department of Housing and Community Development (“Department”) has adopted emergency regulations (Cal. Code Regs., tit. 25, § 6600 et seq.) to implement the Program (“Program Regulations”), as authorized by Government Code section 65589.9, subdivision (d); and

WHEREAS, The City of Marina (“Applicant”) desires to submit an application for a Pro-housing Designation (“Application”).

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF MARINA:

1. Applicant is hereby authorized and directed to submit an Application to the Department.
2. Applicant acknowledges and confirms that it is currently in compliance with applicable state housing law.
3. Applicant acknowledges and confirms that it will continue to comply with applicable housing laws and to refrain from enacting laws, developing policies, or taking other local governmental actions that may or do inhibit or constrain housing production. Examples of such local laws, policies, and action include moratoriums on development; local voter approval requirements related to housing production; downzoning; and unduly restrictive or onerous zoning regulations, development standards, or permit procedures.
4. Applicant further acknowledges and confirms that it commits itself to affirmatively furthering fair housing pursuant to Government Code section 8899.50.
5. If the Application is approved, Applicant is hereby authorized and directed to enter into, execute, and deliver all documents required or deemed necessary or appropriate to participate in the Program, and all amendments thereto (the “Program Documents”).
6. Applicant acknowledges and agrees that it shall be subject to the Application; the terms and conditions specified in the Program Documents; the Program Regulations; and any and all other applicable law.
7. The City Manager is authorized to execute and deliver the Application and the Program Documents on behalf of the Applicant for participation in the Program.

Resolution No. 2024-

Page Two

PASSED AND ADOPTED by the City Council of the City of Marina at a regular meeting duly held on this 5th day of March 2024 by the following vote:

AYES, COUNCIL MEMBERS:

NOES, COUNCIL MEMBERS:

ABSENT, COUNCIL MEMBERS:

ABSTAIN, COUNCIL MEMBERS:

Bruce C. Delgado, Mayor

ATTEST:

Anita Sharp, Deputy City Clerk

February 14, 2024

Item No. **10g(1)**

Honorable Mayor and Members
of the Marina City Council

City Council Meeting
of March 5, 2024

RECOMMENDATION TO CONSIDER ADOPTING RESOLUTION NO. 2022-, APPROVING AN AMENDMENT TO THE AGREEMENT BETWEEN THE CITY OF MARINA AND FORMATION ENVIRONMENTAL, LLC, TO PROVIDE ENGINEERING SERVICES FOR GROUNDWATER SUSTAINABILITY PLANNING; ALLOCATING AND APPROPRIATING FROM THE GENERAL FUND IN THE AMOUNT OF \$59,650; AND AUTHORIZING THE CITY MANAGER TO EXECUTE THE AMENDMENT ON BEHALF OF THE CITY SUBJECT TO FINAL REVIEW AND APPROVAL BY THE CITY ATTORNEY AUTHORIZING THE FINANCE DIRECTOR TO MAKE THE NECESSARY ACCOUNTING AND BUDGETARY ENTRIES.

RECOMMENDATION:

It is recommended that the City Council:

1. Consider adopting Resolution No. 2024-, approving an amendment to the agreement between The City of Marina and Formation Environmental, LLC. to provide engineering services for the groundwater sustainability planning (“**EXHIBIT A**”); and
2. Allocating and appropriating \$59,650 from the General Fund; and
3. Authorizing the City Manager to execute the agreement on behalf of the City subject to final review and approval by the City Attorney; and
4. Authorizing the Finance Director to make the necessary accounting and budgetary entries.

BACKGROUND:

On March 20th, 2018, City Council passed Resolution 2018-25 forming the Marina Groundwater Sustainability Agency (MGSA) to undertake sustainable groundwater management within a portion of the Salinas Valley Ground Water Basin 180/400 Foot Aquifer Subbasin within the City and outside of the Marina Coast Water District (MCWD) service area.

The cornerstone of the Sustainable Groundwater Act (SGMA) is the development and adoption of a Groundwater Sustainability Plan (GSP). GSPs for the “critically overdrafted” 180/400 Foot Aquifer Subbasin must be adopted by January 31st, 2020. On June 24th, 2019, MGSA, through the City Council, passed Resolution No. 2019-66a approving a professional services agreement in the amount of \$274,780 with Formation Environmental for the preparation of the MGSA GSP.

On December 17th, 2019, City Council passed resolution 2019-136 approving an amendment to the professional services agreement in the amount of \$52,766 with Formation Environmental for additional work needed to complete the MGSA GSP.

On May 5th, 2020, City Council passed resolution 2021-46 approving an amendment to the professional services agreement in the amount of \$32,000 with Formation Environmental for additional work needed to prepare analysis and documents in support of the MGSA position on jurisdiction legitimacy, sufficiency of the MGSA GSP versus the Salinas Valley Basin GSA (SVBGSA) GSP adopted by the County of Monterey, and the validity of data generated by Stanford.

On September 1st, 2020, City Council passed resolution 2020-114 approving an amendment to the professional services agreement in the amount of \$37,700 with Formation Environmental for additional work needed to review and comment on reports prepared by the Monterey Peninsula Water Supply Project (MPWSP) in support of their application for a permit from the California Coastal Commission (CCC); participate as the City's representative on the Technical Advisory Committee to the Seawater Intrusion Working Group (SWIG TAC) that was recently formed by SVBGSA and basin stakeholders which include the City of Marina; and participate in review of the MCWD GSP.

On October 18th, 2022, City Council passed resolution 2022-125 approving an amendment to the professional services agreement in the amount of \$38,000 with Formation Environmental for additional work needed to participate as the City's representative on the Technical Advisory Committee to the Seawater Intrusion Working Group (SWIG TAC) that was formed by SVBGSA and basin stakeholders which include the City of Marina.

ANALYSIS:

Formation Environmental continues to provide valuable input on the SVBGSA GTAC which is the successor to the SWIG TAC. The scope of the GTAC is broader than the SWIG and covers all groundwater issues. SVBGSA GTAC is moving forward with a study of the Deep Aquifer that provides potable water for Marina residents. The GTAC is also working on plans to update the monitoring of sea water intrusion.

Even though the courts have recently not allowed the formation of the MGSA, there is need for the continued services from Formation Environmental in the short term for representation on the GTAC to address review of the seawater intrusion model, seawater intrusion control project alternatives, review of deep aquifer recommendations, and evaluation of modeling and project alternatives to assess potential impacts to vernal pond groundwater-dependent ecosystems.

Staff has reviewed and recommends approval of the proposed contract amendment of \$59,650 for the scope of work, which is included as **"EXHIBIT A"** for a new, not-to-exceed contract total of \$494,896.

FISCAL IMPACT:

Should the City Council approve this request, \$59,650 will have to be allocated and appropriated from the unallocated General Fund balance for expenditure on groundwater sustainability activities. GL account for expenditure is as follows: 100.190.000.00-6300.570.

CONCLUSION:

This request is submitted for City Council consideration and possible action.

Respectfully submitted,

REVIEWED/CONCUR:

Brian McMinn, P.E., P.L.S.
Public Works Director/City Engineer
City of Marina

Layne P. Long
City Manager
City of Marina

RESOLUTION NO. 2024-

A RESOLUTION OF CITY COUNCIL OF THE CITY OF MARINA APPROVING AN AMENDMENT TO THE AGREEMENT BETWEEN THE CITY OF MARINA AND FORMATION ENVIRONMENTAL, LLC, TO PROVIDE ENGINEERING SERVICES FOR GROUNDWATER SUSTAINABILITY PLANNING; ALLOCATING AND APPROPRIATING FROM THE GENERAL FUND IN THE AMOUNT OF \$59,650; AUTHORIZING THE CITY MANAGER TO EXECUTE THE AMENDMENT ON BEHALF OF THE CITY SUBJECT TO FINAL REVIEW AND APPROVAL BY THE CITY ATTORNEY AUTHORIZING THE FINANCE DIRECTOR TO MAKE THE NECESSARY ACCOUNTING AND BUDGETARY ENTRIES;

WHEREAS, on March 20th, 2018, City Council passed Resolution 2018-25 forming the Marina Groundwater Sustainability Agency (MGSA) to undertake sustainable groundwater management within a portion of the Salinas Valley Ground Water Basin 180/400 Foot Aquifer Subbasin within the City and outside of the Marina Coast Water District (MCWD) service area, and;

WHEREAS, the cornerstone of the Sustainable Groundwater Act (SGMA) is the development and adoption of a Groundwater Sustainability Plan (GSP). GSPs for the “critically overdrafted” 180/400 Foot Aquifer Subbasin must be adopted by January 31st, 2020. On June 24th, 2019, MGSA, through the City Council, passed Resolution No. 2019-66a approving a professional services agreement in the amount of \$274,780.00 with Formation Environmental for the preparation of the MGSA GSP, and;

WHEREAS, on December 17th, 2019, City Council passed resolution 2019-136 approving an amendment to the professional services agreement in the amount of \$52,766.00 with Formation Environmental for additional work needed to complete the MGSA GSP, and;

WHEREAS, on May 5th, 2020, City Council passed resolution 2020-46 approving an amendment to the professional services agreement in the amount of \$32,000.00 with Formation Environmental for additional work needed to prepare analysis and documents in support of the MGSA position on jurisdiction legitimacy, sufficiency of the MGSA GSP versus the Salinas Valley Basin GSA (SVBGSA) GSP adopted by the County of Monterey, and the validity of data generated by Stanford, and;

WHEREAS, on September 1st, 2020, City Council passed resolution 2020-114 approving an amendment to the professional services agreement in the amount of \$37,700.00 with Formation Environmental for additional work needed to review and comment on reports prepared by the Monterey Peninsula Water Supply Project (MPWSP) in support of their application for a permit from the California Coastal Commission (CCC); participate as the City’s representative on the Technical Advisory Committee to the Seawater Intrusion Working Group (SWIG TAC) that was recently formed by SVBGSA and basin stakeholders which include the City of Marina; and participate in review of the MCWD GSP, and;

WHEREAS, On October 18th, 2022, City Council passed resolution 2022-125 approving an amendment to the professional services agreement in the amount of \$38,000 with Formation Environmental for additional work needed to participate as the City’s representative on the Technical Advisory Committee to the Seawater Intrusion Working Group (SWIG TAC) that was formed by SVBGSA and basin stakeholders which include the City of Marina, and;

WHEREAS, Formation Environmental continues to provide valuable input on the SVBGSA GTAC which is moving forward with a study of the Deep Aquifer that provides potable water for Marina residents. The SVBGSA GTAC is also working on plans to update the monitoring of sea water intrusion, and;

WHEREAS, continued services from Formation Environmental are required for representation on the GTAC, address review of the seawater intrusion model, seawater intrusion control project alternatives, review of deep aquifer recommendations, and evaluation of modeling and project alternatives to assess potential impacts to vernal pond groundwater-dependent ecosystems, and;

WHEREAS, should the MGSA be recognized as the management agency for a portion of the 180/400 Foot Aquifer and the MGSA GSP is approved, an additional amendment will be required for activities and reporting required by SGMA, and;

WHEREAS, staff has reviewed and recommend for approval the proposed contract amendment of \$59,650 for the scope of work, which is included as Exhibit A for a new, not-to-exceed contract total of \$494,896, and;

WHEREAS, should the City Council approve this request, \$38,000.00 will have to be appropriated from the General Fund for expenditure on the Groundwater related technical matters.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Marina does hereby:

1. Approve an amendment to the agreement between The City of Marina and Formation Environmental, LLC. to provide engineering services for groundwater sustainability planning (“**Exhibit A**”); and
2. Allocate and appropriate \$59,650 from the General Fund; and
3. Authorize the City Manager to execute the agreement on behalf of the City subject to final review and approval by the City Attorney; and
4. Authorize the Finance Director to make the necessary accounting and budgetary entries.

PASSED AND ADOPTED by the City Council of the City of Marina at a regular meeting duly held on the 5th day of March 2024, by the following vote:

AYES: COUNCIL MEMBERS:

NOES: COUNCIL MEMBERS:

ABSENT: COUNCIL MEMBERS:

ABSTAIN: COUNCIL MEMBERS:

ATTEST:

Bruce C. Delgado, Mayor

Anita Sharp, Deputy City Clerk

February 15, 2024

Mr. Layne Long
City of Marina
211 Hillcrest Avenue
Marina, CA 93933



Subject: Statement of Work No. 7, Consulting Services Agreement dated June 25, 2019
Requested Supplemental Hydrogeologic Services
City of Marina Groundwater Sustainability Agency
Marina, California

Dear Mr. Long:

As requested, Formation Environmental LLC (Formation) has been performing supplemental hydrogeologic consulting services to support the City of Marina Groundwater Sustainability Agency (MGSA) in its efforts to maintain sustainable groundwater management. Ongoing services have focused on supporting administrative hearings before the State Water Resources Control Board (SWRCB) in the litigation with CEMEX and California American Water Company (Cal Am), commenting on documents and models prepared for Salinas Valley Basin Groundwater Sustainability Agency (SVBGSA) by Montgomery & Associates (M&A), and participating in the Groundwater Technical Advisory Committee (GTAC) for the SVBGSA. These services were provided under Statements of Work No. 6 for the project and billed under Task 9. Statement of Work No. 6 was approved to cover work through December 2023, and this Statement of Work No. 7 will cover work conducted during 2024. All services will be performed under Task 9 of our existing contract pursuant to scopes of work requested by the City, MGSA staff, and outside counsel. If acceptable, this supplement will be appended to Exhibit A – Statement of Work of the Consulting Services Agreement between Formation Environmental, LLC and the City of Marina, dated June 25, 2019, and will become Statement of Work No. 7 of that agreement.

Scope of Work

Task 9: Additional Out of Scope Services

Ongoing activities for which hydrologic consulting support to advise the City, MGSA and its legal team are anticipated to be needed in 2024 include the following:

- **Seawater Intrusion Model Review.** M&A has developed an updated seawater intrusion model (SWIM) that SVBGSA intends to use to evaluate project alternatives for seawater intrusion control. The SWIM continues to include deficiencies that limit its usefulness to evaluate the nearshore conditions that could adversely affect the City and its drinking water supplies. It is anticipated that Formation will provide review, comments and recommendations regarding the SWIM in 2024.
- **Review of Seawater Intrusion Control Project Alternatives.** The GTAC is expected to be asked to review and comment on preliminary feasibility studies conducted for SVBGSA to evaluate alternatives for seawater intrusion control. It is anticipated that Formation will provide review, comments and recommendations regarding these feasibility evaluations in 2024.

FORMATION ENVIRONMENTAL, LLC
1631 Alhambra Boulevard, Suite 220
Sacramento, CA 95816

Proposal for Supplemental Hydrogeologic Consulting Services
City of Marina GSA
February 15, 2024
Page 2 of 3



- **Deep Aquifers.** M&A has developed a Deep Aquifers Study to support the development of management recommendations for the Deep Aquifers under the Groundwater Sustainability Plans that cover the Salinas Valley Basin. It is anticipated that Formation will provide ongoing review, comments and recommendations on these efforts in 2024.
- **Vernal Pond Groundwater-Dependent Ecosystems.** Potential impacts to vernal ponds in the Coastal Zone surrounding the City of Marina have been a topic of ongoing concern. These ponds are considered Environmentally Sensitive Habitat Areas (ESHA) under the local Coastal Plan for which the City has management responsibility, and prior work conducted by Formation indicates they should be considered Groundwater Dependent Ecosystems (GDEs) that are potentially vulnerable to adverse impacts from nearby groundwater extraction. It is anticipated that Formation may be asked to comment on investigations and plans to characterize, monitor and manage these resources,
- **Groundwater Technical Advisory Group.** Formation is representing the City and MGSA as a technical consultant on the SVBGSA GTAC to provide technical input regarding various aspects of GSP implementation in the 180/400-Foot Subbasin. Anticipated services through December 2023 include preparation for and participation in periodic GTAC meetings and review and comment on technical documents and scopes of work.
- **Miscellaneous As-Needed Support Services.** Additional services could include, but may not be limited to support for discussions with Marina Coast Water District, review of additional documents as needed, support for meetings and presentations, support for public outreach, and other potential assignments.

Budget Estimate

The estimated budget for the scope of work is \$59,650, which will be added to the existing budget for Task 9. A detailed breakdown of this budget estimate is included as Attachment A. This is a not-to-exceed budget based on the work requested and performed to date and an assumed level of effort for future services through December 2024. We will invoice our services monthly based on the actual time and expenses incurred in accordance with the rate sheet presented as Attachment B. The budget will not be exceeded without your prior authorization. Note that the rate sheet in Attachment B represents an increase from our 2019 rates presented in Exhibit B to our Consulting Services Agreement dated June 25, 2019 to account for increases on the Consumer Price Index published by the Bureau of Labor Statistics.

Schedule

This Statement of Work No. 7 is intended for anticipated supplemental services through December 2024. It is possible that services may be required beyond this time, and such services after December 2024 if the budget allows. Alternatively, a revised Statement of Work No. 8 will be issued for your approval.

Proposal for Supplemental Hydrogeologic Consulting Services
City of Marina GSA
February 15, 2024
Page 3 of 3



Terms and Conditions

The work would be subject to the terms and conditions of our Consulting Services Agreement dated June 25, 2019.

Closure

Thank you for considering us for this interesting and important project. If you have any questions or would like to discuss these matters further, please contact the undersigned at (916) 200-9038.

Sincerely,

Formation Environmental LLC

A handwritten signature in black ink, appearing to read "Mike Tietze".

Mike Tietze, PG, CHG, CEG
Senior Engineering Geologist/Hydrogeologist

AGREED AND ACCEPTED BY:

FORMATION:

FORMATION ENVIRONMENTAL, LLC

CLIENT:

CITY OF MARINA

By: _____

Name: Brian Schmid

Title: Managing Partner

Date: _____

By: _____

Name: _____

Title: _____

Date: _____

Attachment A
COST ESTIMATE FOR REQUESTED SUPPLEMENTAL HYDROGEOLOGIC CONSULTING SERVICES
City of Marina Groundwater Sustainability Agency
Marina, California

WORK BREAKDOWN STRUCTURE		LABOR COSTS					COST SUMMARY			OTHER DIRECT COSTS		
TASK/SUBTASK		Principal Scientist III M. Tietze \$225	Principal Scientist III P. Townsend \$225	Senior II S. Moore \$190	Scientist II C. Johnson \$150	Scientist I W. Gnesda \$140	Labor Subtotals	Expense Subtotals	Task Totals	Travel	Shipping & ODCs	Document Production Costs
Task 9 - Supplemental Services												
	SWIM Model Review	12	8	24		32	\$ 13,540.00	\$ -	\$ 13,540.00	\$ -	\$ -	\$ -
	Seawater Intrusion Alternatives	16		32	16	8	\$ 13,200.00	\$ -	\$ 13,200.00	\$ -	\$ -	\$ -
	Deep Aquifers	12	8	24	16		\$ 11,460.00	\$ -	\$ 11,460.00	\$ -	\$ -	\$ -
	GTAC Participation	16		24			\$ 8,160.00	\$ -	\$ 8,160.00	\$ -	\$ -	\$ -
	Groundwater Dependent Ecosystems	16		8	8		\$ 6,320.00	\$ -	\$ 6,320.00	\$ -	\$ -	\$ -
	Miscellaneous requests (TBD)	8	4	8	8	8	\$ 6,540.00	\$ 430.01	\$ 6,970.01	\$ 234.44	\$ 95.57	\$ 100.00
	TOTAL TASK 9						\$ 59,220.00	\$ 430.01	\$ 59,650.01	\$ 234.44	\$ 95.57	\$ 100.00
TOTAL PERSONNEL-HOURS/UNITS		80	20	120	48	48	316					
TOTAL COSTS		\$18,000.00	\$4,500.00	\$22,800.00	\$7,200.00	\$6,720.00	\$59,220.00	\$430.01	\$59,650.01	\$ 234.44	\$ 95.57	\$ 100.00
							GRAND TOTAL		\$59,650			

ATTACHMENT B

SCHEDULE OF CHARGES – 2024

LABOR CLASS Rate

Principal Engineer / Scientist III.....	\$225/hour
Principal Engineer / Scientist II.....	\$215/hour
Principal Engineer / Scientist I.....	\$205/hour
Senior Engineer / Scientist II.....	\$190/hour
Senior Engineer / Scientist I.....	\$180/hour
Project Engineer / Scientist II.....	\$170/hour
Project Engineer / Scientist I.....	\$160/hour
Staff Engineer / Scientist II	\$150/hour
Staff Engineer / Scientist I	\$140/hour
Support Engineer / Scientist	\$125/hour
Technician	\$100/hour

Project Administrator / Accounting \$85hour

Expert Testimony..... 1.5 x hourly rate

NON-LABOR EXPENSES..... At Cost

Food, lodging, travel, field supplies, etc.

OUTSIDE SERVICES..... At Cost

Laboratory testing, drilling services and supplies, other subcontractors, equipment rental,
installed equipment, special insurance requirements, etc.

Members of the Marina
City Council

City Council Meeting
of March 5, 2024

CITY COUNCIL TO CONSIDER ADOPTING RESOLUTION NO. 2024-, APPROVING THE 226 PALM SPECIFIC PLAN WHICH ESTABLISHES THE DEVELOPMENT STANDARDS OF THE CONDITIONAL USE PERMIT AND SITE AND ARCHITECTURAL DESIGN REVIEW FOR A SIX (6) UNIT APARTMENT BUILDING AT 226 PALM AVENUE. THE PLANNING COMMISSION RECOMMENDED APPROVAL ON FEBRUARY 8, 2024. THIS PROJECT IS EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) UNDER GUIDELINES SECTION 15332 FOR INFILL DEVELOPMENT PROJECTS.

RECOMMENDATION

The staff recommends the following motion:

1. Adopt Resolution 2024-, approving the 226 Palm Specific Plan which establishes the development standards included in a Conditional Use Permit and Site and Architectural Design Review for a six (6) unit apartment building proposed at 226 Palm Avenue (APN 032-303-046) and find that this project is exempt from environmental review per Section 15332 (Infill Development Projects) of the California Environmental Quality Act (CEQA) Guidelines.”

GENERAL SITE INFORMATION:

Location	226 Palm Ave. This property is located within the Draft Downtown Vitalization Specific Plan (DVSP) area
Parcel No.	032-303-046
General Plan Designation	CI-MU or Commercial Mixed Use
Zoning District	C-R or Commercial / Multi-family Residential District
Owner	HBD Investments, LLC, Kyle Goldbeck
Applicant / Owner	Icon Building and Development Inc., James Harrington / (owner)

COMBINED DEVELOPMENT PERMIT #: DEV 2023-01

The overall project application is a combined application consisting of:

- A Specific Plan requesting exceptions to the current development standards in the applicable zoning district;
- A Conditional Use Permit for a multiple family residential project in the C-R zoning district; and
- Site and Architectural Design Review for a new two-story, 6-unit apartment building with associated onsite parking.

BACKGROUND

August 29, 2023, the applicant, James Harrington of Icon Building and Development, applied for a combined development permit (DEV 2023-01) to construct a six-unit apartment building at 226 Palm Avenue.

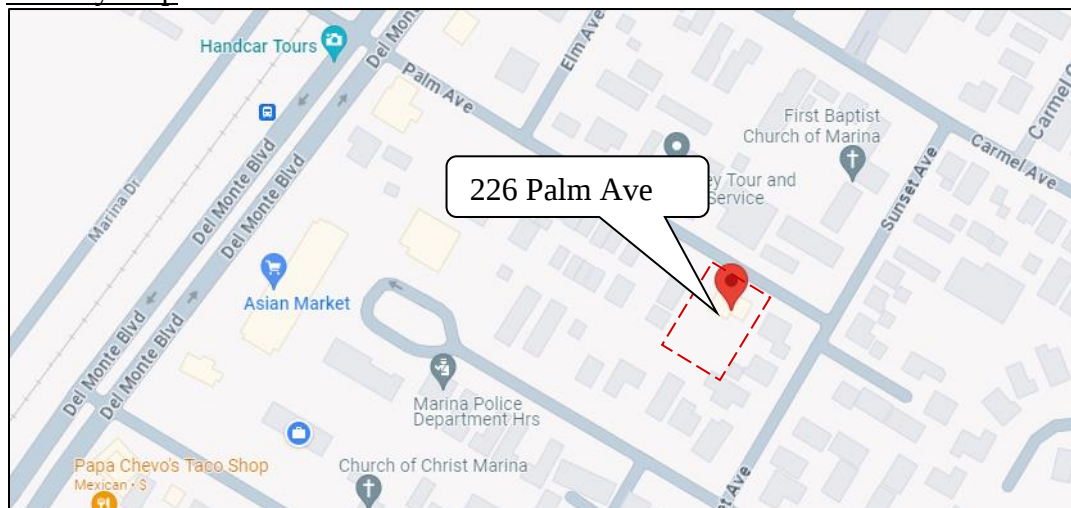
On January 8, 2024, the application was deemed complete by Planning staff.

On February 8, 2024, the Planning Commission held a public hearing and adopted Resolution 24-05 to recommend that the City Council approve the 226 Palm Specific Plan which establishes the development standards included in a Conditional Use Permit and Site and Architectural Design Review for a six (6) unit apartment building proposed at 226 Palm Avenue (APN 032-303-046) and found that this project is exempt from environmental review per Section 15332 (Infill Development Projects) of the California Environmental Quality Act (CEQA) Guidelines.

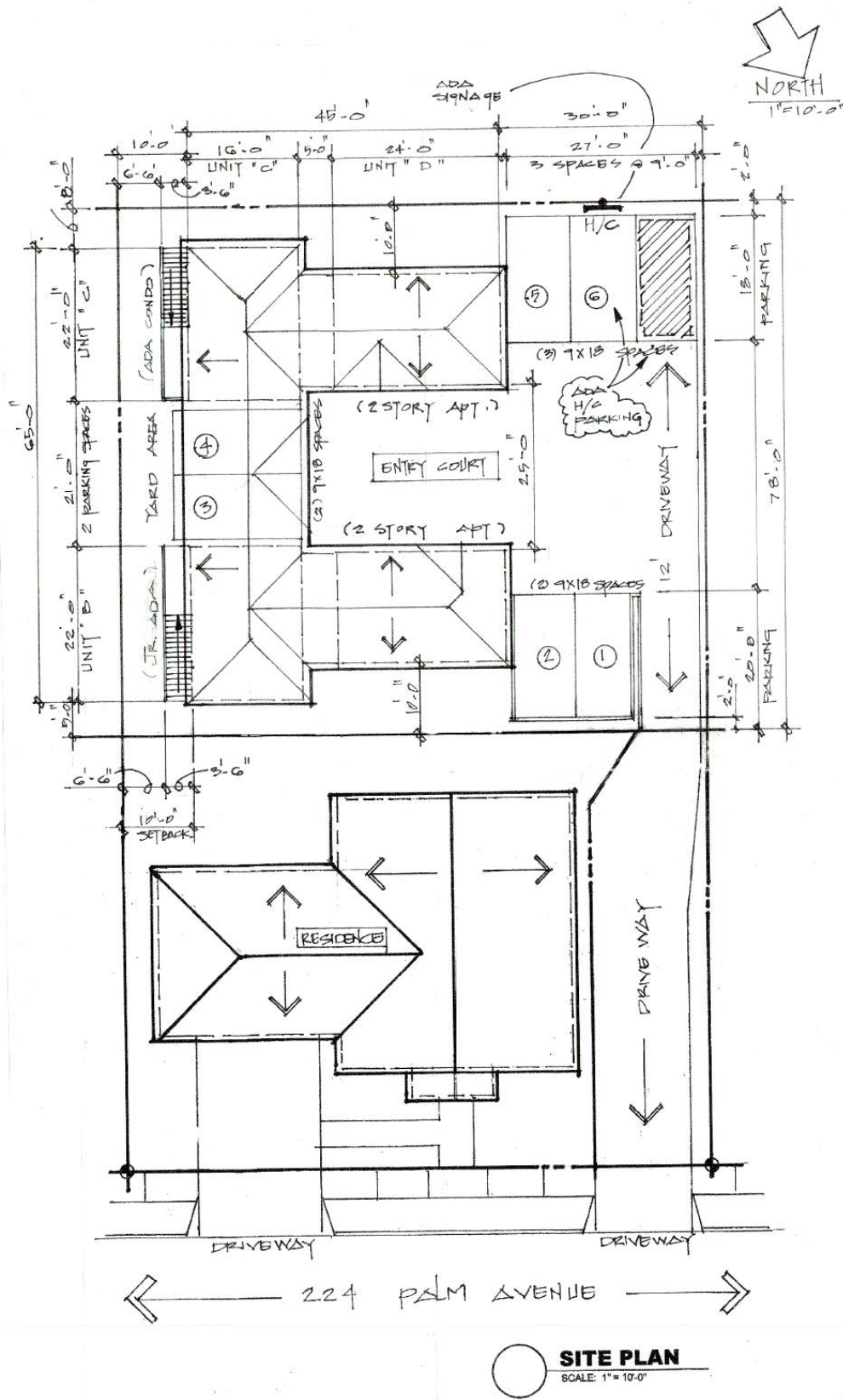
PROJECT CHARACTERISTICS

Development Standard	C-R Zoning Standard	Proposed	Consistency Determination
Lot Area	6,000 SF Min.	7,487 SF (existing)	Consistent
Units	6 - (35 units per acre)	6	Consistent
Building Setbacks	Front 10 feet Rear 10 feet Sides 5 feet	Front 30 feet Rear 10 feet Sides 5 feet	Consistent
Height	50 feet 4 stories	24.2 feet 2 stories	Consistent Consistent
Floor Area Ratio (3 to 7 Units)	1.0:1	0.54	Consistent
Open Space	Common: 1,500 SF Private: 400 SF Total: 1,900	Common: 1,345 SF + 644 SF Private: 484 SF Total: 1,989 SF	Consistent
Parking	Covered: 6 spaces Uncovered: 2 spaces Guest: 20% of spaces Total: 8 spaces	Covered: 2 spaces Uncovered: 4 spaces Guest: None Total: 6 spaces	Consistent with AB 2097

Vicinity Map



Proposed Overall Site Plan



The architectural floor plan illustrates a four-unit residential building, specifically Units 3, 4, A, and D. The plan is divided into four quadrants, each representing a different unit. Unit 3 (top left) and Unit 4 (top right) are similar in layout, featuring a Studio, Kitchen, Bath, and a central Hall. Unit A (bottom left) and Unit D (bottom right) are also similar, featuring a Living Room, Kitchen, Bath, and a central Hall. The plan includes detailed room layouts, dimensions, and annotations for construction and safety. Key features include:

- Unit 3:** Studio (21'-0" x 18'-0"), Kitchen (11'-0" x 7'-0"), Bath (5'-0" x 5'-0"), and a central Hall. Includes a 6088 SL. DOOR (TEMP.) and a 30" GAS RANGE.
- Unit 4:** Studio (21'-0" x 18'-0"), Kitchen (11'-0" x 7'-0"), Bath (5'-0" x 5'-0"), and a central Hall. Includes a 6088 SL. DOOR (TEMP.) and a 30" GAS RANGE.
- Unit A:** Living Room (15'-4" x 12'-0"), Kitchen (15'-4" x 8'-0"), Bath (5'-0" x 5'-0"), and a central Hall. Includes a 6088 SL. DOOR (TEMP.) and a 30" GAS RANGE.
- Unit D:** Living Room (15'-4" x 12'-0"), Kitchen (15'-4" x 8'-0"), Bath (5'-0" x 5'-0"), and a central Hall. Includes a 6088 SL. DOOR (TEMP.) and a 30" GAS RANGE.

The plan also includes common areas such as a central Hall, a 5'-0" SIDEWALK, and a 5'-0" x 18'-0" PARKING area. Annotations include "ENSURE SMOKE DETECTOR", "CARBON MONOXIDE ALARM", and "PROVIDE & INSTALL NEW 3'-6\"

The proposed project includes constructing a six-unit, two-story apartment building. The unit mix will be two (2) 864 square foot two-bedroom units, two (2) 520 square foot one-bedroom units, and two (2) 372 square foot studio units. There will be a courtyard due to the horseshoe layout of the building where staff and the Planning Commission are recommending being counted towards the open space requirement. This project qualifies for AB 2097, which removes the minimum number of parking spaces required for projects such as this that are within a half mile of high-quality transit. Staff worked with the applicant to ensure that they provide one space per dwelling unit for a total of six (6) parking spaces, including two (2) covered and one (1) handicap space. The site plan shows vehicular access via a driveway on the north side of the site, which will also integrate pedestrian access. The project will include all electric appliances and solar panels with no gas lines running to the site. Finally, the project is consistent with the Marina's Zoning code, General Plan, and State Law as described below.

5

General Plan and Zoning: The General Plan Land Use Designation for the property is Commercial Mixed Use which allows residential use. The Zoning Designation is C-R (Commercial/Multiple Family Residential District). Multiple dwellings at densities between 20 and 35 units per acre are permitted in this district with the issuance of a Conditional Use Permit. This project is consistent with the density limitations for this district. Site and Architectural Design Review is required for projects that include more than one dwelling unit on a single parcel.

Site and Architectural Review

The Planning Commission reviewed and approved the design of the proposed project. The full staff report can be found in the City of Marina's Agenda Center under the February 8, 2024, Planning Commission Meeting.¹

Community Design Guidelines Compliance

The proposed project has been designed, located, and conditioned so that it follows the intent of the Community Design Guidelines.

Zoning Analysis

The project is located within the Downtown Vitalization Specific Plan (DVSP) Area and therefore requires a Specific Plan as required in General Plan Policy 2.63.51. The proposed project is consistent with the C-R District zoning with a finding made by the Planning Commission or the City Council regarding open space and under AB 2097 for the reduction in parking spaces.

Open Space

The Planning Commission found that it is consistent with the intent of the zoning code to count the entry court as part of the open space for this project.² The applicant agrees with Condition of Approval #18 to use permeable pavers or an alternative material to asphalt to differentiate this part of the driveway as open space. With this finding, the project is consistent with all of the open space requirements.

Parking

The project is within a half mile radius of a high-quality transit stop and is less than twenty units. Therefore, it meets the requirements of AB 2097, which mandates that the city cannot require a minimum number of parking spaces. The applicant is proposing six (6) parking spaces to ensure that there is one (1) per dwelling unit.

Specific Plan Compliance

Specific Plans must comply with Sections 65450 – 65457 of the Government Code including consistency with the general plan. Staff finds that the proposed Specific Plan is consistent with Marina's General Plan as detailed in the Findings. Further, staff confirms that the specific plan follows the required structure as stated in Government Code Section 65451. Therefore, the proposed specific plan meets the minimum requirements of the statute to be legally adequate.

The development of an urban infill lot does not typically require a specific plan. Consistency with general plan and a future downtown plan can be done through a development plan or as part of the required findings. The Downtown Specific Plan (DSP) will come before the City Council in the summer of this year (2024) and staff recommend removing the specific plan requirement listed in the general plan. This would help streamline additional infill projects that are fully consistent with

¹ Planning Commission Agenda: <https://www.cityofmarina.org/AgendaCenter/ViewFile/Agenda/02082024-504?html=true>

² MMC Section 17.04.515

Marina's zoning code and other applicable codes such as this one. The burden of preparing a specific plan has halted at least 20 projects in the last few years within the DSP area.

General Plan Compliance

The proposed project is consistent with the General Plan as stated in the Findings.

All referenced findings above are stated in **EXHIBIT A** to the Resolution.

CORRESPONDENCE

Staff have not received correspondence from the public related to the proposed project as of February 13, 2024.

CONFLICT OF INTEREST

Council members are subject to all aspects of the Political Reform Act. Council members must not make, participate in making, or attempt to influence in any manner a governmental decision which he/she/they knows, or should know, may have a material effect on a financial interest. Staff are not aware that any member of the City Council owns property within 1000 feet of the project site.

EX PARTE COMMUNICATION DISCLOSURES

In the context of any public hearing or action items that come before the City Council (CC), ex parte communications are those which occur outside the formal hearing process. If such contacts do occur, the substance of the communication must be disclosed to all interested parties in advance of any public hearing or testimony to allow rebuttal. Written ex parte communications must be forwarded to the Deputy City Clerk so that they can be disclosed to the entire Council and the public.

ENVIRONMENTAL DETERMINATION

The City of Marina Planning Division has determined that this project is exempt from environmental review in accordance with the California Environmental Quality Act (CEQA) Guidelines under Class 32, Section 15332, for Infill Development Projects.

CONCLUSION

This request is submitted for City Council consideration and action.

Respectfully submitted,

Nicholas McIlroy, Senior Planner
Community Development Department
City of Marina

REVIEWED/CONCUR:

Guido Persicone, AICP
Community Development Director
City of Marina

Layne Long
City Manager
City of Marina

RESOLUTION NO. 2024-__

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MARINA APPROVING THE 226 PALM SPECIFIC PLAN WHICH ESTABLISHES THE DEVELOPMENT STANDARDS OF THE CONDITIONAL USE PERMIT AND SITE AND ARCHITECTURAL DESIGN REVIEW FOR A SIX (6) UNIT APARTMENT BUILDING AT 226 PALM AVENUE (DEV 2023-01).

WHEREAS, on August 29, 2023, Icon Building and Development applied for a combined development permit to construct a six-unit apartment building at 226 Palm Avenue;

WHEREAS, on January 8, 2024, the application was deemed complete by Planning staff;

WHEREAS, on February 8, 2024, the Planning Commission held a public hearing and adopted Resolution 24-05 to recommend that the City Council approve the 226 Palm Specific Plan which establishes the development standards included in a Conditional Use Permit and Site and Architectural Design Review for a six (6) unit apartment building proposed at 226 Palm Avenue (APN 032-303-046) and found that this project is exempt from environmental review per Section 15332 (Infill Development Projects) of the California Environmental Quality Act (CEQA) Guidelines.

WHEREAS, as required by Title 17 of the Marina Municipal Code (MMC), the General Plan, and the adopted Design Guidelines and Standards, approval of the proposed project is subject to findings which are referenced and incorporated herein as **Exhibit A**;

WHEREAS, the proposed project is further subject to conditions of approval which are referenced and incorporated herein as **Exhibit B**;

WHEREAS, the proposed project shall be consistent with the approved plans that are attached as part of the Specific Plan in **Exhibit C**;

WHEREAS, the City of Marina Planning Division determined that this project is categorically exempt from environmental review in accordance the California Environmental Quality Act (CEQA) Guidelines under Class 32, Section 15332, for Infill Development Projects; and

WHEREAS, at the regular meeting of the City Council on March 5, 2024, the City Council conducted a duly noticed public hearing, received written comments, and took verbal testimony from the public.

NOW, THEREFORE BE IT RESOLVED that the City Council of the City of Marina does hereby:

1. approve the Specific Plan to guide the development of the Combined Development Permit (DEV 2023-01) that includes a Conditional Use Permit and Site and Architectural Design Review for a new six (6) unit apartment building at 226 Palm Avenue (APN 032-303-046) as described herein and subject to Exhibit A - Findings, Exhibit B - Conditions, and Exhibit C - Specific Plan including the Plan Set attached hereto.

PASSED AND ADOPTED by the City Council of the City of Marina at a regular meeting duly held on the 5th day of March 2024, by the following vote:

AYES, COUNCIL MEMBERS:

NOES, COUNCIL MEMBERS:

ABSENT, COUNCIL MEMBERS:

ABSTAIN, COUNCIL MEMBERS:

Bruce Delgado, Mayor

ATTEST:

Anita Sharp, Deputy City Clerk

EXHIBIT A

FINDINGS

Staff makes the following Findings for the Specific Plan, Site and Architectural Design Review Permit and Conditional Use Permit for 226 Palm Avenue:

General Plan Compliance

1) General Plan Goal 1.17 (Community Goals) states

“The overall goal of the Marina General Plan is the creation of a community which provides a high quality of life for all its residents; which offers a broad range of housing, transportation, and recreation choices; and which conserves irreplaceable natural resources is the overall goal of the General Plan.” Subsequent subgoals direct how the city is to develop in order to meet this goal as follows:

- Goal 1.18.5 calls for “A city designed for and attractive to pedestrians, in which most of the housing, shops, businesses, and community facilities are within easy walking distance of each other.”*
- Goal 1.18.8 envisions “A city physically and visually distinguish-able from the other communities of the Monterey Bay region, with a sense of place and identity in which residents can take pride.”*
- Goal 1.18.15 sees “Attractive, distinctive residential neighborhoods and commercial districts which contribute to the overall vitality, image and identity of the city.*

Evidence: The proposed project meets the intent of the goals listed above due to its location near amenities and transit. Further, the design is consistent with the massing and architectural style of the neighborhood.

2) General Plan Policies related to infill development:

Policy 2.22 (Housing and Neighborhoods) states:

“The General Plan’s housing and neighborhood policies and related programs have a dual function: to protect and enhance the quality of the City’s existing housing stock and neighborhoods; and to accommodate a fair and reasonable share of the region’s growth over the next 20 years...”

Policy 2.31.6 (Housing Policies) states:

“New housing shall be constructed at densities and in patterns which conserve land, reduce reliance on the private automobile and result in walkable, attractive neighborhoods.”

Policy 2.31.8 (Housing Policies) states:

“New housing shall be integrated into the fabric of the City in such a way that it complements existing housing areas and contributes to the overall stability, image, and sense of community of the City.”

Policy 2.36 (Existing Neighborhoods) states:

“Limited opportunities exist for new housing within the City’s already- established neighborhoods. The available land supply in these areas consists of a limited number of single-family lots scattered throughout existing neighborhoods, multi-family-designated parcels along Del Monte Boulevard north of Reservation Road, and multiple-use commercial areas in which housing is permitted [...]”

Policy 2.4.5 (Community Land Use Policies) states:

“Future land development, whether it involves development of new areas, infilling of existing neighborhoods or commercial areas [...] shall be organized and have sufficient intensity [...] to create a pedestrian-oriented community.”

Evidence: The proposed project is a vacant lot within an existing neighborhood with limited opportunities for development. Developing this lot for six new apartments supports the City’s goal for infill development within existing neighborhoods.

3) General Plan Policy 2.37.1 states:

“Notwithstanding limitations on Floor Area Ratio (FAR) set forth in the General Plan, housing development projects as defined in paragraph (2) of subdivision (h) of Section 65589.5 of the California Government Code, as may be amended, shall be allowed to increase its FAR as follows:

1. A housing development project of three to seven units shall have a minimum FAR of 1.0:1.”

Evidence: The project is consistent with this policy with six units and a FAR of 0.56.

4) General Plan Policy 2.63.51 states:

“The boundaries of the Downtown Vitalization Area are illustrated in Figure 2.4. Prior to approval of any development other than temporary projects/uses or projects already entitled to be built, a specific plan shall be prepared which legally establishes development, design, and infrastructure requirements in accordance with General Plan principles and policies.”

Evidence: The proposed project is within the Downtown Vitalization Area as illustrated in Figure 2.4. The vision for this site is for the zoning to be multi-family residential. The applicants have created a specific plan to develop a six-unit apartment building. Therefore, the proposed development is consistent with the intent of the area plan.

Zoning Compliance

Required Findings – Use Permit

For Conditional Use Permits, the City Council (typically the Planning Commission) must make specific findings pursuant to Zoning Ordinance Section 17.58 (Use Permits), including when making a recommendation to the City Council.

1) That the establishment, maintenance, or operation of the use or building applied for will not under the circumstances of the case, be detrimental to health, safety, peace, morals, comfort, and general welfare of persons residing or working in the neighborhood of such proposed use.

Evidence: The proposed six-unit is consistent with this finding, because it will not be detrimental to health, safety, peace, morals, comfort, and general welfare and will provide additional dwelling units to support the city’s housing needs.

2) That the establishment, maintenance, or operation of the use or building applied for will not under the circumstance of the particular use be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the city.

Evidence: The proposed use is consistent with this finding because the proposed apartment building will improve the building with infill development and utilize the existing infrastructure.

- 3) The proposal will promote the orderly growth of the community; facilitate the continual upgrading of the community; preserve the natural beauty of Marina while simultaneously protecting the rights of property, and the right of individuals to live, work, and visit a city that is free from the blight.

Evidence: The proposed project is consistent with this finding because it will result in the construction of a six (6) unit apartment building with a new driveway and landscaping.

- 4) Consistency with 17.04.515 (Open space, common)

"[...] On project sites with an average width of less than one hundred feet, the planning commission or the city council on appeal may allow minor driveways as defined in Section 17.66.020 to be included within the definition of common open space."

Evidence: The site is less than one hundred feet in width on average and the driveway meets the definition of a minor driveway. Further, the applicant agrees to install permeable pavers or other material for the entry court to demarcate it as both a driveway and open space from the rest of the driveway.

Consistency with AB 2097

AB 2097 requires that jurisdictions cannot set minimum parking standards for residential projects that are within a half mile of a major transit stop and are fewer than twenty (20) units.

Evidence: The proposed project meets the requirements stated above and therefore is consistent with AB 2097. This allows the applicant to reduce the total number of parking spaces to six (6).

Community Design Guidelines Compliance

1. Be unsightly, undesirable, or obnoxious in appearance to the extent that it will hinder the orderly and harmonious development of the City.

Evidence: The proposed project's architectural style is a two-story ranch style design with some Mediterranean features, which fits into the massing and architectural style of the neighborhood.

2. Impair the desirability of tenancy or investment or occupation in the City.

Evidence: The proposed apartment building will develop a vacant and neglected parcel and improve the site with landscaping. Further, it will be painted with a white trim, and a black shingle roof, which will fit with the existing colors of the neighborhood.

3. Limit the opportunity to obtain the optimum use and value of the land and improvements.

Evidence: The proposed project is the maximum allowable density for a site this size and will be improved with landscaping and infrastructure for the building.

4. Impair the desirability of tenancy or conditions on or adjacent to the subject site.

Evidence: The proposed two-story building and massing mitigates impacts to the neighboring properties that a taller building would have.

5. Otherwise adversely affect the general welfare of the community.

Evidence: The proposed project will not adversely affect the general welfare of the community in that it is an infill housing project within an existing neighborhood.

EXHIBIT B

CONDITIONS OF APPROVAL

1. Approved Use – The permittee shall execute, construct, and operate the project in accordance with the approved application materials and plans dated August 30, 2023, and modified November 21, 2023, as amended by the following conditions of approval. Any deviation from approvals must be reviewed and approved by staff and may require separate approval from the Planning Commission or the City Council and/or further environmental review.
2. Effective Date, Expiration, and Extensions – This approval shall become effective immediately after the final action of the City Council, except when an appeal period applies pursuant to Marina Municipal Code (MMC) Chapter 17.70 in which case actions shall become effective ten (10) days after the approval date provided that no appeal is filed. Approval shall expire **one year** from the final Approval date, or from the date of the final decision in the event of an appeal, unless within such period a complete building permit application has been filed with the Community Development Department, or the authorized activities have commenced in the case of a permit not involving construction. Upon written request and payment of appropriate fees submitted no later than the expiration date of this Approval, the Community Development Director or designee may grant a one-year extension of this date, with additional extensions subject to approval by the approving body. Expiration of any necessary building permit or other construction-related permit for this project may invalidate this Approval if said Approval has also expired. If litigation is filed challenging this Approval or its implementation, then the time period stated above for obtaining necessary permits for construction and/or commencement of authorized activities is automatically extended for the duration of the litigation.
3. Compliance with Other Requirements – The permittee shall comply with all other applicable federal, state, regional, and local laws, codes, requirements, regulations, and guidelines. Compliance with other applicable requirements may require changes to the approved use and/or plans. These changes shall be processed in accordance with the procedures contained in Condition #4.
4. Modifications – Any modification to the approved project, site plan, conditions of approval, or use requires consistency review and approval by Planning Staff. Major revisions may require review and approval by the original approving body or a new independent permit.
5. Compliance with Conditions of Approval – The permittee shall be responsible for compliance with all Conditions of Approval. The City reserves the right at any time during construction to require certification by a licensed professional at the permittee's expense that the as-built project conforms to all applicable requirements. Violation of any term, project description, or Condition of Approval is unlawful and prohibited. In the case of noncompliance with the requirements of a Use Permit, Marina Municipal Code (MMC) Section 17.58.060 allows for the revocation of said permit. The City reserves the right to initiate civil and/or criminal enforcement and/or abatement proceedings where violations are present, consistent with MMC Chapters 1.08, 1.10 and 1.12.
6. Revocation – Where one or more project Conditions of Approval are not met, or where a project was approved on the basis of false material information given willfully,

intentionally or negligently by the permittee, the appropriate authority may revoke or modify the approval for the project.

7. Indemnification – To the extent allowable by law, the permittee agrees to hold the City harmless from costs and expenses, including attorney’s fees, incurred by the City or held to be the liability of the City in connection with the City’s defense of its actions in any proceeding brought in any state or federal court challenging the City’s actions with respect to the project. The permittee understands and acknowledges that the City is under no obligation to defend any legal actions challenging the City’s actions with respect to the project.
8. Record Retention – The permittee shall retain full and complete copies of all permits and other regulatory approvals issued in connection with the project, including but not limited to conditions of approval, approved plans, and resolutions. In the event the City cannot locate full and complete permits or other regulatory approvals in its official records, and the permittee fails to retain full and complete permits or other regulatory approvals, any ambiguities or uncertainties that would be resolved through an examination of the missing documents will be conclusively resolved against the permittee.
9. Violation of Code – Any person who does any work or uses, occupies or maintains any building or structure, or causes the same to be done, or does any grading, contrary to or in violation of Title 15, Buildings and Construction, or of any of the uniform codes adopted by Title 15 is guilty of an infraction pursuant to Marina Municipal Code (MMC) Section 15.04.060.
10. Site Maintenance – The project site shall be kept in a blight- and nuisance-free condition, and healthy and well-kept landscaping shall be continuously maintained. Any existing blight or nuisance shall be abated within **thirty days** of approval.
11. Lighting – Exterior lighting fixtures shall be adequately shielded to a point below the light bulb and reflector prevent unnecessary glare onto adjacent properties. Applicant to provide color temperature and lumens for all exterior light fixtures prior to issuance of a building permit. After installation, the Community Development Director or designee shall retain the right to require reduction in the intensity of illumination or change of light color if said illumination creates any undue public nuisance.
12. Waste Receptacles – No storage of trash, recycling, or food waste receptacles shall be permitted within the public right-of-way. Receptacles shall be stored on site and screened from public view. The permittee shall ensure that the requirements of Marina Municipal Code (MMC) Chapter 8.04 pertaining to recycling and solid waste disposal are met.
13. Construction Noise – Unless otherwise authorized, construction activities shall be conducted in compliance with Marina Municipal Code (MMC) Section 15.04.055 and all non-emergency construction or repair work shall be limited to the following schedule:
 - a. Monday through Saturday: 7 a.m. to 7 p.m.
 - b. Sunday and holidays: 10 a.m. to 7 p.m. (For the purposes of this section, “holidays” shall include New Year’s Day, July 4th, Thanksgiving and Christmas)
 - c. During daylight savings time, the hours of construction may be extended to 8 p.m.

No construction, tools, or equipment shall produce a decibel level of more than sixty (60) decibels for twenty-five (25) percent of an hour at any receiving property line.

14. Grading Permit – Grading work disturbing at least 50 cubic yards or 2,500 square feet of a property within the City requires a grading permit meeting all requirements of Marina Municipal Code (MMC) Section 8.46.130 regarding stormwater retention. The permittee shall secure a grading permit before beginning grading work.
15. Stormwater Retention – Any development or redevelopment of a property will require on-site retention of stormwater per Marina Municipal Code (MMC) Section 16.06.150. Retention conditions shall meet the requirements of MMC Section 8.46.130(F). Maintenance on all stormwater retention systems shall meet the requirements of MMC Section 8.46.130(H).
16. Traffic Control Plan – If temporary closure of Palm Avenue or other public right-of-way is required for construction and/or staging, the permittee shall apply and receive an encroachment permit from the Public Works Department, which includes a Traffic Control Plan to be approved by the City Engineer.
17. Archaeology and Inadvertent Discovery – When human remains or other cultural artifacts are exposed, California Health and Safety Code §7050.5 requires that no further excavation or disturbance occurs in the area and that the County of Monterey Coroner is called to verify that the remains are not subject to medical jurisprudence. Within 24 hours of notification, the coroner calls the Native American Heritage Commission (NAHC) if the remains are known or thought to be Native American. The NAHC selects the Most Likely Descendant (MLD) from a rotating list of MLDs. The MLD has 24 hours to respond. All work must halt within a 50-yard radius of the discovery until an osteologist can examine the remains and a treatment plan for the remains has been provided to the satisfaction of the MLD.
18. Open Space – Applicant agrees to enlarge decks to five (5) feet by ten (10) feet and to submit an updated site plan to staff showing the courtyard area to have permeable pavers or an alternative paving material to demarcate the entry court as an open space prior to the issuance of a building permit.
19. Driveway – Applicant to submit an updated site plan to staff with a walkway included along the driveway to give pedestrian access to the site prior to issuance of a building permit.

20. Permit Authorization and Signature – The Use Permit is not valid, and construction shall not commence until the below affidavit is signed and the approved Conditions are returned to the Community Development Department.

- a. I attest to the truth and correctness of all the facts, exhibits, maps, and attachments presented with and made a part of the application for the [Insert Project Description].
- b. I understand and agree to implement all conditions throughout the duration of the project.
- c. I acknowledge that any changes to the conditions of approval would require modification of the conditional use permit by the approval authority.

Permittee's Name:

Permittee's Signature:

Date:

- d. I am the owner of the property involved in this project, and I authorize the person named above to act on my behalf throughout the duration of the project.

Property Owner's Name:

Property Owner's Signature:

Date:

Exhibit C

226 Palm Specific Plan

226 Palm Avenue
Marina, CA
APN: 032-303-046

Prepared for the city of Marina by:
Coats Consulting
P.O. Box 1356
Carmel, CA 93921

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226 Palm Avenue Marina, CA Specific Plan

Executive Summary

This document provides the Development Plan for an existing 7,487 square foot lot, located at 226 Palm Avenue, in close proximity to the City of Marina, City Hall. This Specific Plan is intended to guide the development of this parcel by accomplishing the following:

- The project objective is to provide a location “walkable” distance from commercial goods and services and within one block of public transit and community recreational facilities.
- To increase density adjacent to existing higher density residential uses to ensure compatibility of adjacent land uses.
- To provide a range of living space opportunities including Studio apartments, 1-bedroom and 2-bedroom apartments.

226 PALM PROJECT INFORMATION

APN:	032-303-046
Property Size:	7,487 Sq. Ft.
Property General Plan:	Commercial / Multiple
Family	Residential
Property Zoning:	C-R
Number of Units:	6
• 2 Bedroom 1 ½ bath	2
• 1 Bedroom 1 bath	2
• Studio 1 bath	2
Number of Parking Spaces:	6
• Provided: 1 per unit including 1 Handicap Space	
• Required: No parking minimum per AB 2097	
Lot Coverage (FAR)	
• 0.54	
Unit Location and Size:	
Rear first story:	
Two studio units: 384 S.F.	
Rear second story:	
Two one-bedroom units: 520 S.F.	
Front two two-bedroom units: 864 S.F.	
1st Floor unit: 352 S.F.	
2nd Floor unit: 512 S.F.	
Open Space	
Common: 1,989 S.F. (including the entry court)	
Private: 484 S.F.	
Total: 1,989 S.F.	

PROJECT DESCRIPTION:

226 Palm Specific Plan is a multiple family project located in the City of Marina. 226 Palm proposes to construct two 2-bedroom and 1 ½ bath units, two 1-bedroom and 1 bath units and two studio units in a Six-unit apartment located at 226 Palm Avenue, City of Marina. In addition to the construction of a two story 6-Plex building, other improvements on-site will include access drive, parking spaces and landscaped areas along with some private open areas (Refer to Part 6, project site plan and architecture). The architecture of the proposed 6-Plex has taken into consideration the existing architecture of the remaining home fronting the project site as a guide for the design of the proposed improvements. In this way, the project when completed will appear to be developed as one overall designed project. The following entitlement actions are necessary to be approved prior to the 226 Palm Specific Plan being implemented:

1. Specific Plan Approval
2. Conditional Use Permit
3. Site & Architectural Approval (Part of the Specific Plan Approval)
4. Environmental Clearance
5. Building Permit Approval and Issuance

SITE CHARACTERISTICS:

226 Palm currently is a large lot single family home site which contains two legal lots of record, and comprises 9,500 square feet in size. A single-family home is located on the front of the relatively level site, and fronts on Palm Avenue. The remaining undeveloped lot is located behind the existing R-1 home (See Figure 3, Aerial of Site). The 226 Palm project is located on Palm Avenue, a city designated Local Residential Street. Palm Avenue is intended to serve the residential and commercial uses facing the street as well as providing access from the adjoining neighborhoods to the south, to Del Monte Avenue. The Palm Avenue neighborhood is one that is still in a state of transition. This area was originally a single-family residential area, but has changed to a higher density residential use, commercial use, and is the location of the city fire station site.

GENERAL PLAN:

The Marina General Plan's primary purpose is to permit the community to consciously consider and determine their future. "Thus the plan serves as a response to present problems, a framework for achieving future potentialities, and a means to conserve what is generally valued." The Plan has two major purposes:

- To guide daily and long-term planning and development decisions by the city, in a manner consistent with stated City goals
- To provide clear documentation of the City's goals and commitments for private developers, homeowners, businesses, investors and other public entities that may want to carry on planning and development activities that will affect Marina

A more detailed listing of General Plan Policies and Goals that apply to the 226 Palm proposal are presented in Part 2, Existing General Plan and Zoning Section, of this Specific Plan. When a Specific Plan is prepared and adopted by the city, it becomes the land use designation for the specific area it represents. It should still embody the General Plan's purposes as defined previously. The 226 Palm Specific Plan can set its own development standards, such as; setbacks, percentage of use coverages, parking, etc. The proposed project is consistent with the C-R zoning, except for the required number of parking spaces. The proposed project's parking is consistent with AB 2097, which states that if a project is within a half mile of a major transit stop and the project is less than twenty dwelling units, then the City of Marina cannot impose minimum parking standards. The Specific Plan will be adopted through a resolution and to ensure that it meets the minimum legal requirements, is consistent with the Zoning and the General Plan.

SPECIFIC PLAN GOALS AND OBJECTIVES:

226 Palm is one of 3 remaining properties on Palm Avenue, between Del Monte Avenue and Sunset Avenue that have not been either converted to a multiple family residential or commercial use. All other properties along this block of Palm Avenue are already multiple family, Fire station, or commercial uses. The proposed 226 Palm is intended to develop a project that will change one of the remaining single family/vacant parcels from a single-family lot to a Specific Planned use of 6 total residential units.

The project will include additional entitlement actions:

1. Specific Plan Adoption by Resolution of the City Council
2. Conditional Use Permit

226 Palm Specific Plan

- 3. Site & Architectural Approval (Part of the Specific Plan Approval)
- 4. Environmental Clearance

When all entitlement actions are approved, 226 Palm will be a Multiple Family project, with a new 6-Plex unit on a flag lot that sits behind an existing single-family unit on a standard lot.

The City’s General Plan has the site designated Commercial/Multiple-Use. The adjacent properties are also designated Commercial/Multiple-Use. All properties are currently incorporated into the City of Marina.

The subject property and the adjacent properties are all zoned C-R (Commercial/Multiple-Family Residential District). The C-R Zoning district incorporates a mixture of Commercial and a variety of Residential developments. The subject site is required to submit and process any proposed Multiple Family project as a “Specific Plan” process. As a Specific Plan project, 226 Palm will be establishing its own set of development standards, which may be unique to only this site. Standards of development may include setbacks, height standards, parking ratios, open space ratios, and other related site characteristics. The 226 Palm Specific Plan will act similar to a PUD (Planned Unit Development or Contract Zone) in its implementation.

Under the current C-R zone, 226 Palm is identified as “Conditional Use” as defined in Zoning Code section 17.16.030 – H. Further, in the preceding paragraph, the 226 Palm Specific Plan is consistent with the C-R development standards:

Category: Standards	C-R Zone	226 Palm
Bldg. Height:	50’ (35’ Adj. to R-1, R-2 & R-3)	24’2”
Front Yd. Set Back:	10’	10’
Side Yd. Set Back:	5’	5’
Rear Yd. Set Back:	10’	10’
Open Space:	1,900 SF	1,989 SF
Private Open Space:	400 SF	484 SF

226 Palm Specific Plan

This site and Palm Avenue have full public improvements installed in Palm Avenue, with an existing set of laterals serving the site.

PART 1: PURPOSE OF THE SPECIFIC PLAN

226 Palm Specific Plan represents an implementation of the City of Marina's goal of having individual projects utilize innovative methods of implementing the overall goals and policies of the City of Marina, within each small or larger project area. It is an interim land use design review approach in an area which will be incorporated into the City of Marina's new City Center Land Use designation; currently being developed. The Specific Plan will guide the development of this parcel in such a manner as to encourage compatibility with its surrounding environs along with the City's goals and policies for residential development. Moreover, 226 Palm will propose site design standards that will take into consideration existing and proposed uses for this area of Marina.

1.1 GOALS AND OBJECTIVES

The following objectives provide the framework on which the Specific Plan is based and addresses the Specific Plan's function, design goals and intent:

- Create a project that is compatible with the existing neighborhood and with the existing single-family unit on the front half of the property.
- Use existing architecture of the remaining residential units as the template for the new residential component.
- Provide housing opportunities in close proximity to retail services, public transit, open space/recreation, and schools.
- Provide a cohesive pattern of land uses within the Specific Plan neighborhood area that is compatible with the existing uses surrounding the site.
- Provide for a clear development submittal, review, and approval process

1.2 AUTHORITY AND SCOPE

California law authorizes cities and counties to adopt Specific Plans in designated areas to implement their General Plan. This Specific Plan has been prepared in accordance with California Governmental Code Sections 65450 et seq. and the applicable ordinances of the City of Marina. Land use standards and regulations contained in this document shall govern future development within the boundaries of this Specific Plan.

Cal. Gov. Code Section: 65451 SPECIFIC PLAN

Texts and Diagrams included in the “Plan”:

1. A specific plan shall include a text and a diagram or diagrams which specify all of the following in detail:
 - a. The distribution, location, and extent of the uses of land, including open space within the area covered by the plan.
 - b. The proposed distribution, location, and extent and intensity of major components of public and private transportation, sewage, water drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the plan.
 - c. Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable.
 - d. A program of implementation measures including regulation, programs, public works projects, and financing measures necessary to carry out paragraphs a, b, & c.
2. The Specific Plan shall include a statement of the relationship of the specific plan to the General Plan.

The 226 Palm Specific Plan is intended to implement the policies outlined in the City of Marina General Plan. The Specific Plan establishes site development standards that replace the development regulations of Chapter 17 of the City Municipal Code for Specific Plan projects. In the event of conflict between the provisions of this document and the City development regulations, the provisions of the Specific Plan shall take precedence. Any issue not directly or specifically covered by 226 Palm Specific Plan shall be subject to the regulations and procedures in the City of Marina Municipal Code.

LAND USE DEVELOPMENT PLAN:

Property in the Specific Plan Area (SPA) described herein is currently developed with one single family residential unit, fronting onto Palm Avenue. The area is zoned Commercial Residential (C-R) by the City of Marina. The C-R zones are conditionally permitted to support “residential dwellings, including condominium and/or planned development projects” (17.21.030, H). Further noted within the C-R zoning regulations, development of properties in this zone can be solely residential if the site measures less than one acre (17.21.030, B). In the case of 226 Palm, the new developed parcel size is 7,487 sq. ft. in area, which is under the one-acre limitation.

1.3 REQUIRED ENTITLEMENTS:

The proposed project will require City approval of the following entitlements:

1. **Adoption of a Specific Plan** as required by General Plan Policy 2.63.51 whereby “Prior to approval of any development other than temporary projects/uses or projects already entitled to be built, a specific plan shall be prepared which legally establishes development, design and infrastructure requirements in accordance with General Plan principles and policies” pending adoption of the Downtown Vitalization Specific Plan.
2. **Conditional Use Permit:** As set forth in the City’s zoning ordinance, 226 Palm is identified as use “Conditional Use”, therefore the proposed project will require the approval of a Conditional Use Permit.
3. **Site and Architectural Design Review:** for the site plan, elevations, landscape, irrigation, lighting and fencing plans and design of the proposed 6-unit complex. (The proposed Site Plan/Architecture Plan Set is attached in Part 6, Appendix)
4. **Environmental Clearance:** The entitlements being requested are subject to the California Environmental Quality Act. Based upon the location of the project, an in-fill site, and less than 5 acres, the project will qualify for Categorical Exemption consideration.

PART 2: CONTEXT AND SETTING

2.1 Existing General Plan and Zoning Statement of Relationship/Consistency of the Specific Plan to the General Plan

THE CITY OF MARINA GENERAL PLAN POLICY 2.63.51 RQUIRES A SPECIFIC PLAN TO BE PREPARED PRIOR TO THE APPROVAL OF ANY DEVELOPMENT WITHIN THE DOWNTOWN VITALIZATION AREA UNTIL SUCH TIME AS A SPECIFIC PLAN IS ADOPTED FOR THE ENTIRE PLANNING AREA. THE SPECIFIC PLAN LEGALLY ESTABLISHED DEVELOPMENT, DESIGN, AND INFRASTRUCTURE STANDARDS IN ACCORDANCE WITH GENERAL PLAN PRINCIPLES AND POLICIES.

A Specific Plan is used to implement and to comply with the City's General Plan. A Specific Plan is an instrument used by municipal jurisdictions to implement the goals, policies, and actions of the General Plan. However, the Specific Plan provides a greater degree of detail for a proposed development and may override general zoning, land use regulations, standards and criteria for building and site design.

As required by law and described in Section 65451, of the State of California Governmental Code, the Specific Plan shall be consistent with the City of Marina's General Plan. The goals, policies, and objectives of the General Plan apply within the Specific Plan. This Specific Plan implements the City of Marina General Plan Community Goals by providing specific direction to reflect conditions unique at the site by:

1. Diversifying the Marina Housing stock by providing housing to all economic levels, ages, and lifestyles (Goal 1.81.1)
2. Provide Housing in close proximity to frequent, cost-effective transit services (Goal 1.18.3)
3. Create Housing that can attract pedestrians to easily walk to shops, businesses and community facilities (Goal 1.18.5)
4. Providing intensification of housing stock in the Downtown Vitalization Area, thus making more efficient use of land (Goal 1.18.7)
5. Meet policy 2.63 regarding exclusivity of residential use for lots under one acre with 100% residential development on the subject parcel.
6. General Plan "Housing and Neighborhoods" Policy 2.30 "Opportunities for New Housing"

- Already-Developed Residential Portions of the City
- Compliance with Housing Policies 2.31 – “It is the City of Marina’s intent to promote construction of new housing that is environmentally and socially responsible and that adheres to the remaining policies”.
- Compliance with Existing Neighborhoods Policies 2.36 – “Limited opportunities exist for new housing with the City’s already-established neighborhoods. The available land supply in these areas consists of a limited number of Single Family lots scattered throughout existing neighborhood

This Specific Plan implements the City of Marina General Plan Primary Policies by providing specific direction to reflect conditions unique at the site by:

1. Preventing underutilization of land within the City Urban Growth Boundary and encouraging new development to locate within the existing developed portion of Marina (Primary Policy 2.4.2)
2. Promoting infill within an existing neighborhood to help ensure the longer-term feasibility of public transit for work and other purposes, and helping to create a pedestrian-oriented community (Primary Policy 2.4.5)
3. Providing greater housing choice and diversity (Primary Policy 2.4.8)

The 226 Palm Specific Plan is consistent with the Goals and Policies contained within the Marina General Plan pertaining to provisions of housing at varying income levels, promoting pedestrian oriented and friendly development, and establishing community character, vision and identity. The Specific Plan is consistent with the applicable development standards within the Marina Municipal Code (Zoning Ordinance) and/or superseding State laws for multiple family developments, specifically to the requirements of density, parking, and the provision of open space. The project does set forth specific development standards for parking and open space, which are different than those incorporated in the C-R zoning standards. The project established standards shall replace those set forth in the current C-R zoning standards.

The subject property is designated Commercial/Multiple-Family Residential on the City General Plan Land Use Map. The property is currently zoned C-R (Commercial/Multiple-Family Residential) District, which is consistent with its Land Use designation. (Refer to Figure # 9 General Plan Map). 226 Palm is located in the Downtown Vitalization Area.

2.2 Existing and Surrounding Land Uses:

226 Palm is located on Palm Avenue, between Del Monte Avenue and Sunset Avenue. The subject site is comprised of two existing lots of record. The lot fronting on Palm Avenue is currently occupied by a single-family residential home (Figure # 4 - Existing Site). The remaining back lot, behind the single-family home is vacant. If approved, the 226 Palm Specific Plan will allow construction of 6 new units, (2 - 2 bed, (2 - 1 bed, and 2 studio apartments) to be built. A new driveway access will be constructed as a part of the proposed project to provide access to the 6 new units. When completed, there will be a total of 7 residential units on 224 and 226 Palm Avenue.

The existing neighborhood is comprised of Multiple Family Residential and several remaining single family residential homes. The project site is one half block from City Hall and Del Monte Avenue. Within a one block walk are located commercial goods and services, professional offices, a City Community Center and park, as well as access to Public Transit. The subject property is one of two remaining single family residential lots on Palm Avenue between Sunset and Del Monte Avenues.

Adjacent uses are:

North: Multiple Family Residential

South: Duplex / Multiple and Single Family Residential

East: Multiple Family Residential

West: Duplex / Multiple Family Residential

(Figures # 5 - 8)

2.3 Existing Infrastructure and Public Services:

The City and Marina Coast Water District serve the site by providing sewer, water, and storm drainage infrastructure. A 10-inch sewer main is located in Palm Avenue, fronting the project site. This line connects to a 24-inch line in Del Monte Avenue which ultimately transports sewage to the Marina Coast Water District for treatment. There is adequate line capacity and treatment capacity to provide service to the proposed 6 new residential units.

Water service is also provided by Marina Coast Water District. An existing 10-inch line is in Palm Avenue, fronting the site and will be used to service the 226 Palm project. The existing water infrastructure is adequate to service the site with domestic water as well as fire prevention needs.

Storm Water and Drainage generated on site is subject to City policies, which require that all on-site storm water shall remain on-site. Therefore, infiltration basins will be constructed within the Specific Plan area to accommodate this requirement.

Gas and Electric services will be provided by Pacific Gas and Electric (PG&E). There are existing overhead power lines and underground gas lines along Palm Avenue, that will serve the project site.

Roadway and sidewalks are installed and front the subject property. 226 Palm Avenue is designated as a Neighborhood Street connecting Sunset Avenue and Del Monte Avenue. Palm Avenue is improved from Sunset Avenue to two properties south of Del Monte Avenue.

Access to the Monterey Salinas Transit (MST) Bus stop location is at the intersection of Palm and Del Monte Avenues, a one block walk from the project site. The Bay Scenic Recreational Trail is located at Del Monte Avenue, west of Cypress Avenue. This is approximately 4 blocks from Palm Avenue.

Police and Fire services are provided by the City of Marina. A Public Safety facility is located on Palm Avenue, less than a minute from the project site.

PART 3: Development Standards & Design Guidelines

The development standards for property within the C-R zoning district are defined in the city’s Municipal Code, Title 17. State law supersedes the development regulations of Chapter 17 for the setting the minimum parking standard within the City of Marina Municipal Code. The following chart will show the C-R Zoning standards and note AB 2097, which removes the minimum parking requirement for this project.

CATEGORY:	C-R Zone	226 Palm
Minimum Site Area:	6,000 Sq. Ft.	7,487 Sq. Ft.
Building Height:	50’	25’
Front Yard Set Back:	10’	10’
Side Yard Set Back:	5’	5’
Rear Yard Set Back:	10’	10’
Open Space:	250 sq ft / single room occupancy 300 sq ft / per efficiency or 1 bed units 50 addition sq ft for each additional bedroom Private Open Space: 80 sq ft for ground floor units & 40 sq ft for 2 nd floor units	1,989 sq ft 484 sq ft
Parking Requirements:	Studio & One Bedroom Units: 1 sp./unit (covered) plus 1 sp. /5 units = 4 covered spaces Two Bedroom Unit: 1.5 sp. /unit plus 1 sp./5 units = 3 units Total # of Spaces Required: 8	AB 2097 – No minimum Total Spaces 6 (2 covered) (4 uncovered) (1 ADA space)

PART 4: Specific Plan Administration and Implementation

Implementation of the Specific Plan is carried out by the City of Marina, through the submittal and processing of a non-discretionary process, such as a Building Permit and On and Off-site Improvement plans. The City of Marina Community Development Department is responsible for the administration, implementation and enforcement of the 226 Palm Specific Plan.

Concurrent with the review and approval of the Specific Plan, the City shall amend the City's General Plan to ensure consistency with the land use described in this Specific Plan. The adoption of the 226 Palm Specific shall be done by Resolution of the City Council. In addition to the General Plan Amendment, the following permits and applications are required to implement the Specific Plan:

1. Payment of all required application and City Impact fees
2. Environmental Clearance
3. Conditional Use Permit
4. Approval of On and Off-site Improvement Plans
5. Encroachment Permit
6. Building Permit

All applicable state and federal standards and codes apply to this Specific Plan. All codes and standards of the City of Marina, with the exception of those standards contained herein, also apply. Infrastructure improvements shall be constructed concurrently with the site development.

Minor Adjustments:

The City of Marina recognizes that the ultimate project may include minor square footage adjustments to buildings. Any such adjustment, as presented in subsequent development applications shall be accompanied by a statistical summary that clearly describes the changes proposed. Such minor adjustments to the Specific Plan can be made to the Specific Plan without a formal Specific Plan Amendment. All Site and

Architectural Design Review amendments are minor adjustments and do not require review by the City Council. The Community Development Director shall confer with the Chair of the Architectural Design Review Board to determine whether the amendment can be approved administratively or whether the proposal needs to go before the Site and Architectural Design Review Board.

The City of Marina Community Development Department is responsible for the administration, implementation and enforcement of the Specific Plan. All amendments shall be determined by the City of Marina Community Development Director.

4.1 FINANCING:

The property is owned by ICON Development and will be used as collateral in its application for Construction financing. Construction financing will be via conventional financing. When completed, a fixed rate loan will be applied to the project.

ICON Development is a privately owned company, who has been in business for the past eight (8) years. ICON has a working relationship with several Financial Institutions, who have previously financed their development projects and will be used to finance 226 Palm Avenue.

PART 5: Environmental Process

226 Palm Specific Plan is defined by California Environmental Quality Act (CEQA) as a "Project". As such, it will be subject to CEQA review. The Specific Plan does qualify for a Categorical Exemption under Article 19 Categorical Exemptions, Section 15332. **IN-FILL DEVELOPMENT PROJECTS** (Class 32)

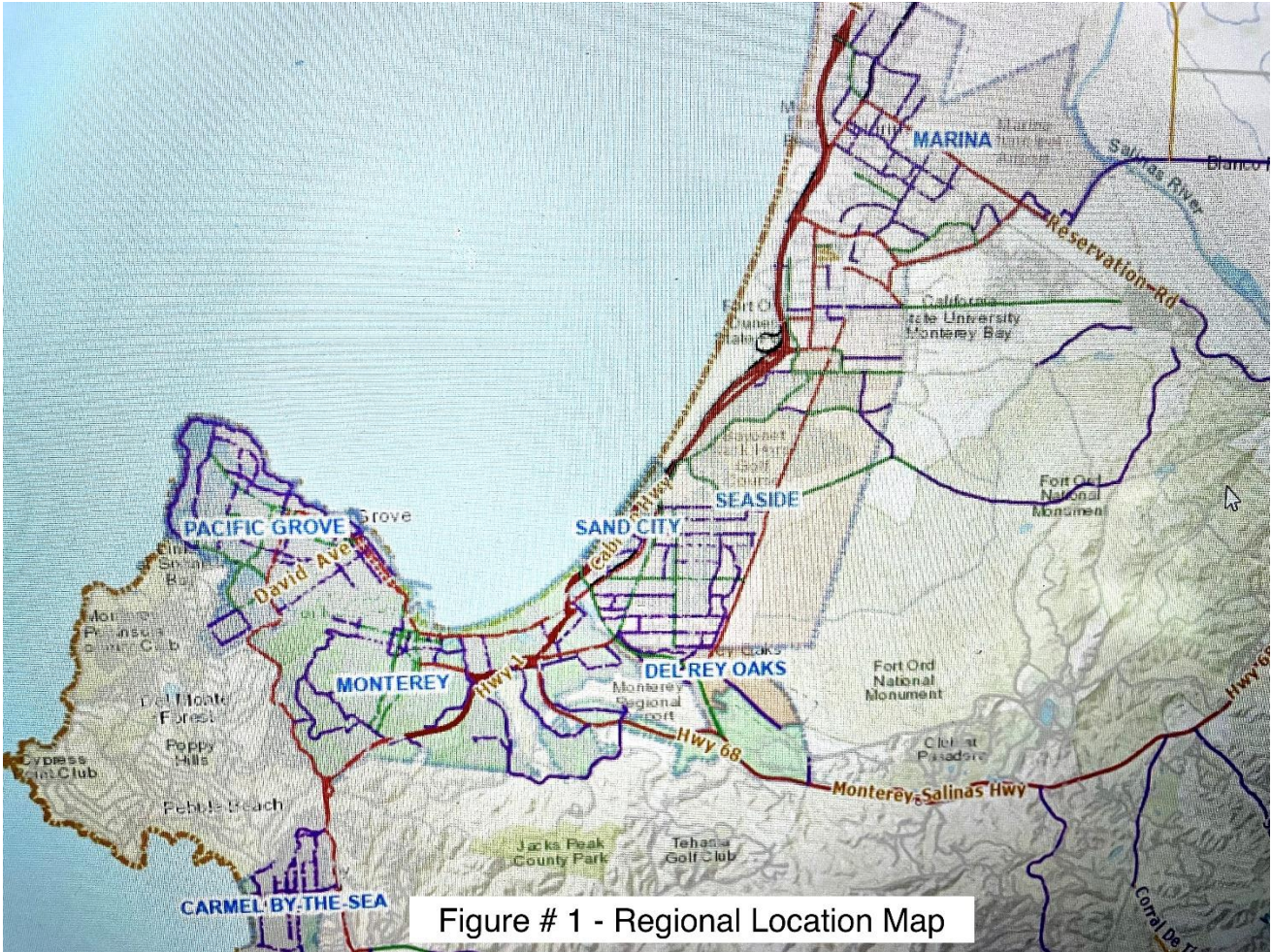
- a. The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.
- b. The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses,
- c. The project site has no value as habitat for endangered, rare or threatened species.

226 Palm Specific Plan

- d. Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.
- e. The site can be adequately served by all required utilities and public services.

PART 6: Appendix

- **Regional Location Map**
- **APN map**
- **Site Aerial Photo**
- **Existing Site Photo**
- **Adjacent Use – North**
- **Adjacent Use – South**
- **Adjacent Use – East**
- **Adjacent Use – West**
- **General Plan – Land Use Element Map**
- **Zoning Map/C-R Zoning District**
- **Architecture**
- **Elevations**
- **226 Palm – Project Plans**
- **Project Information**
- **Landscape Plans**



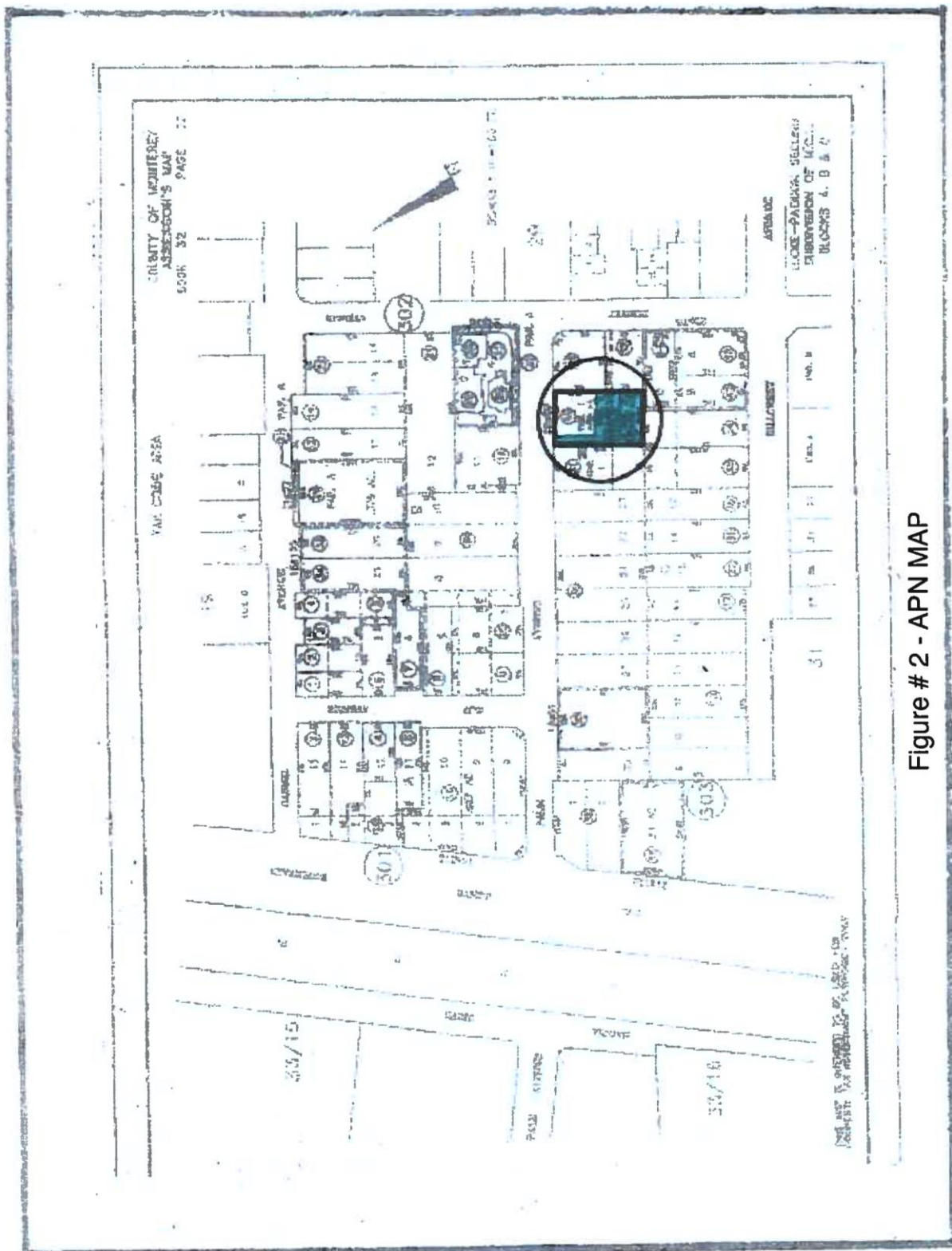


Figure # 2 - APN MAP



Figure # 3 - 226 Palm Avenue



Figure #4 - Existing Site

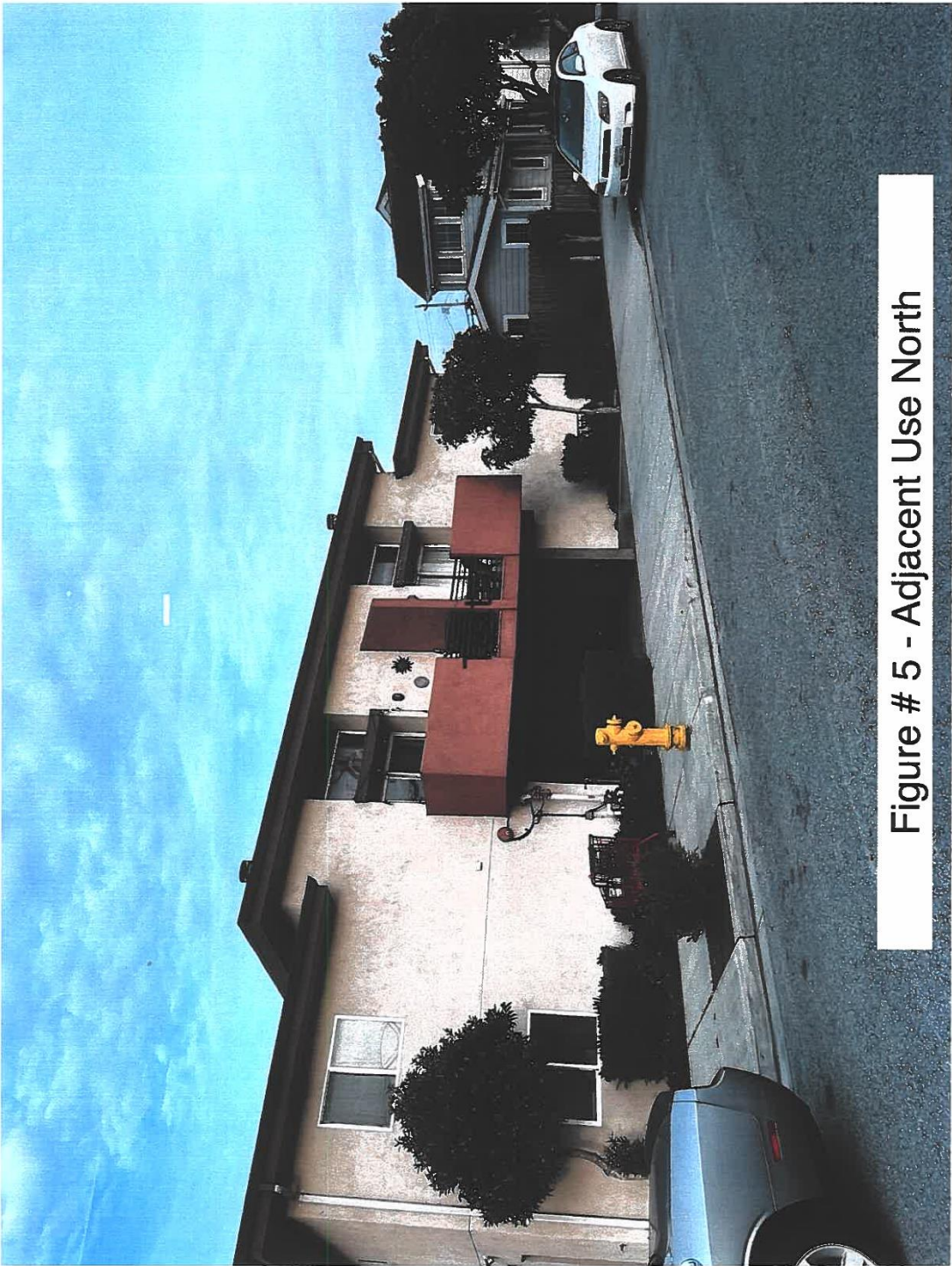
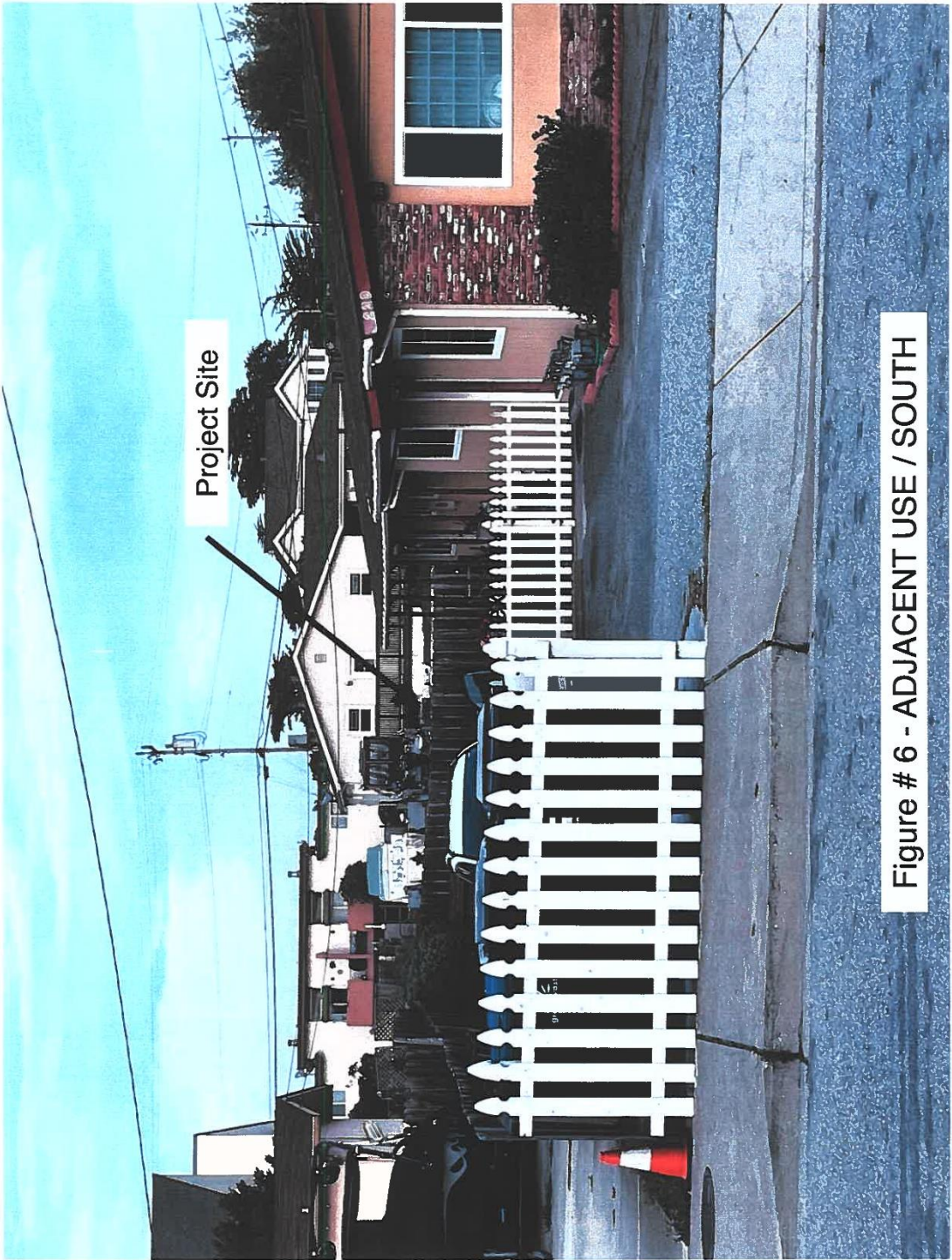


Figure # 5 - Adjacent Use North



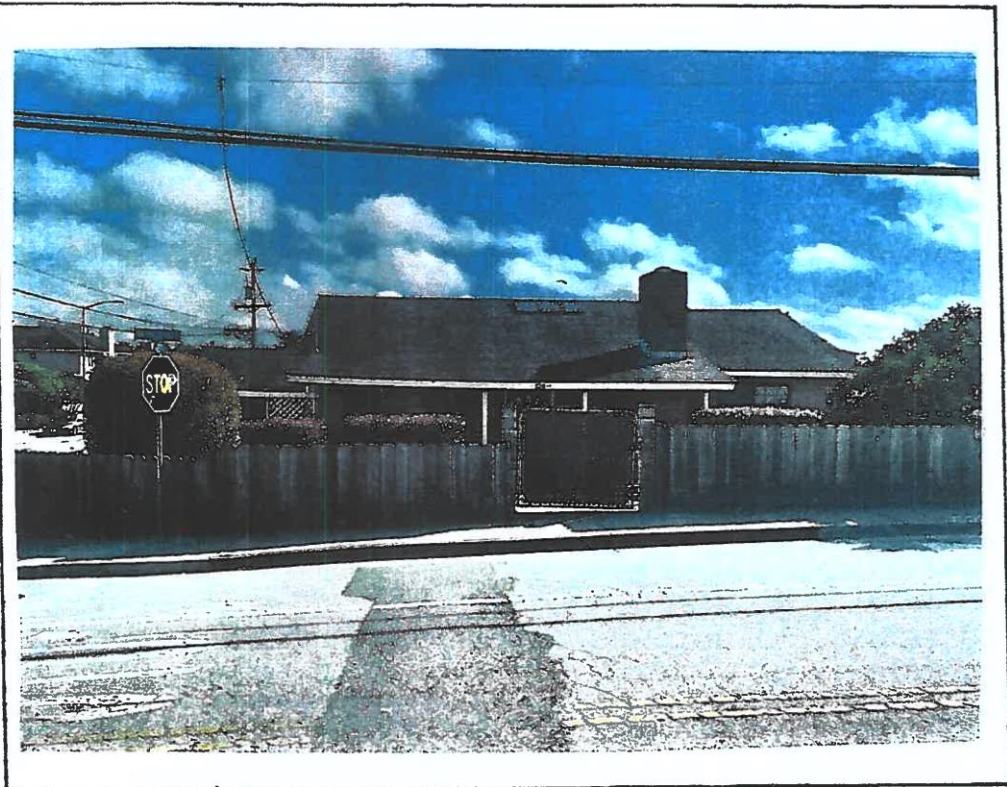


Figure #7 - ADJACENT USE - EAST

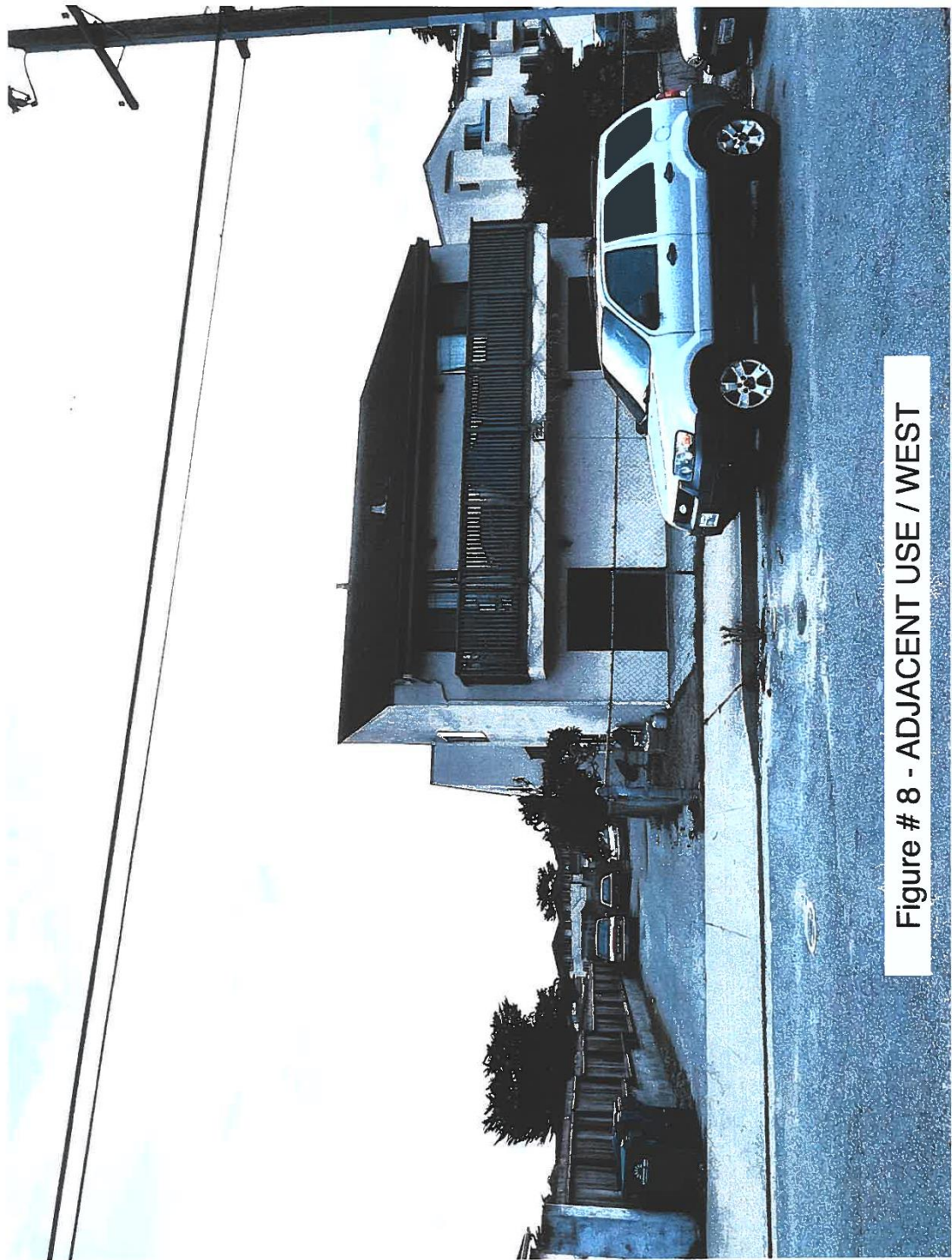
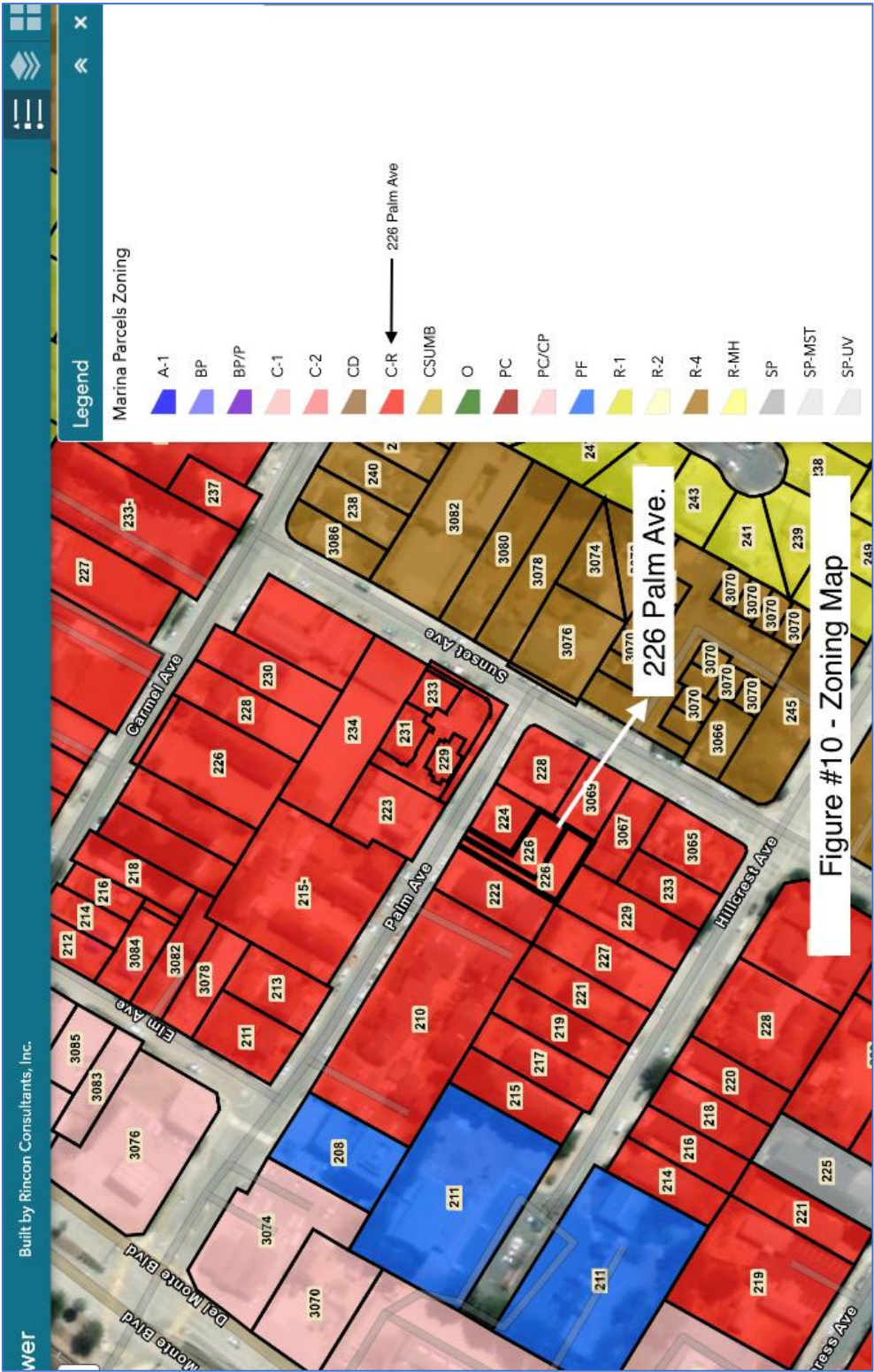


Figure # 8 - ADJACENT USE / WEST



Figure #9 - General Plan Land Use Map



226 Palm Avenue C-R Zoning Ordinance

Chapter 17.16

C-R OR COMMERCIAL/MULTIPLE-FAMILY RESIDENTIAL DISTRICT

Sections:

- [17.16.010 Generally.](#)
- [17.16.020 Permitted uses.](#)
- [17.16.030 Conditional uses.](#)
- [17.16.035 Limitation on allowable uses.](#)
- [17.16.040 Accessory uses and buildings.](#)
- [17.16.050 Minimum building site area.](#)
- [17.16.060 Residential density limitations.](#)
- [17.16.070 Building height.](#)
- [17.16.080 Site width.](#)
- [17.16.090 Open space.](#)
- [17.16.100 Front yard.](#)
- [17.16.110 Side yard.](#)
- [17.16.120 Rear yard.](#)
- [17.16.130 Special yards.](#)
- [17.16.140 Floor area ratio.](#)
- [17.16.150 Inclusionary housing requirement.](#)
- [17.16.160 Density bonuses.](#)
- [17.16.170 Development standards—Mixed use developments.](#)
- [17.16.180 Parking.](#)
- [17.16.190 Increased floor area ratio for housing developments of three to ten units.](#)

Prior legislation: Ord. 2004-13; Zoning Ordinance dated 7/94; Ords. 94-3 and 85-4.

17.16.010 Generally.

The regulations in this chapter shall apply in all C-R districts and shall be subject to the provisions of Chapter [17.42](#). (Ord. 2020-07 § 2, 2020; Ord. 2006-03 § 1 (Exh. A), 2006)

17.16.020 Permitted uses.

Uses permitted in the C-R districts shall be as follows:

- A. Retail stores and shops conducted within a building, including appliance stores, bakeries (retail only), bookstores, florist shops, food stores, and furniture and millinery shops when incidental to the retail sales of such items, radio sales, shoe shops, hardware stores, department stores, drugstores, nursery or horticulture, photography studios, and other uses which are of similar character to those enumerated and which will not be detrimental or obnoxious to the neighborhood in which they are to be located;
- B. Offices other than medical establishments;
- C. Personal service establishments conducted within a building, including banks, barbershops, beauty parlors, tailor shops, tanning salons, and other establishments of similar character providing services to individuals as a primary use;
- D. Studios—acting, music, dance, martial arts, etc.;
- E. Small residential care homes;
- F. Large and small family child care homes pursuant to Section [17.42.135](#) and day care centers;
- G. Home occupations pursuant to Section [17.42.110](#);
- H. Transitional housing pursuant to Section [17.04.711](#);
- I. Supportive housing pursuant to Section [17.04.698](#) and subject to the following review timelines per California Government Code Section [65653\(b\)](#): The city shall notify the developer whether the application is complete within thirty days of receipt of an application to develop supportive housing in accordance with this section. The city shall complete its review of the application within sixty days after the application is complete for a project with fifty or fewer units, or within one hundred twenty days after the application is complete for a project with more than fifty units;
- J. Emergency shelters pursuant to Section [17.04.292](#). (Ord. 2023-07 § 3, 2023; Ord. 2022-07 § 3 (Exh. A), 2022; Ord. 2020-07 § 2, 2020; Ord. 2011-03 § 6(a), 2011; Ord. 2006-03 § 1 (Exh. A), 2006)

17.16.030 Conditional uses.

Uses permitted, subject to first securing a use permit in each case, in the C-R districts shall be as follows:

- A. Single-room occupancy housing, hotels, and motels;
- B. Public and quasi-public uses and buildings, including schools and churches, parks and playgrounds, community or recreational centers, and public utility buildings and uses exclusive of corporate, storage or repair yards;
- C. Restaurants, refreshment stands, theaters, pet shops, laundrettes, undertaking establishments, used or secondhand goods, professional or trade schools, cleaning and drying establishments, convalescent and skilled nursing facilities, medical/dental clinics and offices, veterinary clinics, business-service establishments, and other uses of a similar nature which will not be detrimental to the neighborhood in which they are located;
- D. Indoor commercial recreation facilities;
- E. Research-and-development activities when conducted within an office type of environment;
- F. Arts and crafts studios;
- G. Live-work units subject to the provisions of Section [17.42.150](#);
- H. Residential dwellings, including condominium and/or planned development projects subject to the provisions of Chapter [17.66](#);
- I. Multiple-family residential dwellings as part of a mixed use development on a building site; and
- J. Large residential care homes or facilities. (Ord. 2020-07 § 2, 2020; Ord. 2011-03 § 6(b), 2011; Ord. 2006-03 § 1 (Exh. A), 2006)

17.16.035 Limitation on allowable uses.

- A. If residential use is existing or approved for a site, only those commercial uses identified in Section [17.16.020\(A\)](#), Permitted uses, shall be allowed on the same site, subject to the approval of the community development director, and those conditional uses listed in this chapter shall not be permitted on said site.
- B. Only building sites of less than one acre can be developed for exclusively residential use. (Ord. 2020-07 § 2, 2020; Ord. 2006-03 § 1 (Exh. A), 2006)

17.16.040 Accessory uses and buildings.

Accessory uses and accessory buildings permitted in the C-R districts shall be appurtenant to any permitted use, including small family day care, foster home care, rooming and boarding of not more than two persons, and on-site property management. (Ord. 2020-07 § 2, 2020; Ord. 2006-03 § 1 (Exh. A), 2006)

17.16.050 Minimum building site area.

Minimum building site area required in the C-R district shall be six thousand square feet. (Ord. 2020-07 § 2, 2020; Ord. 2006-03 § 1 (Exh. A), 2006)

17.16.060 Residential density limitations.

- A. A maximum of twenty-five units per acre for mixed use developments.
- B. Twenty to thirty-five units per acre for developments that are exclusively residential.
- C. A maximum of forty-three units or bedrooms per acre for building sites developed for hotels, motels, boarding houses, single-room occupancy housing, affordable senior multiple dwellings pursuant to Chapter [17.50](#), or for similar establishments. (Ord. 2020-07 § 2, 2020; Ord. 2006-03 § 1 (Exh. A), 2006)

17.16.070 Building height.

Maximum building height limit in the C-R districts shall be fifty feet and four stories except any portion of a building within twenty feet of any lot in an R-1, R-2 or R-3 districts shall be limited to a maximum height of thirty-five feet. (Ord. 2020-07 § 2, 2020; Ord. 2006-03 § 1 (Exh. A), 2006)

17.16.080 Site width.

Average building site width required in the C-R districts shall be sixty feet. (Ord. 2020-07 § 2, 2020; Ord. 2006-03 § 1 (Exh. A), 2006)

17.16.090 Open space.

- A. *Total Open Space Required.* The minimum area of common and private open space required for multiple-family dwellings or three or more single-family dwellings on a building site in the C-R district shall be two hundred fifty square feet per single-room

occupancy unit, three hundred square feet per efficiency or one-bedroom unit, and fifty additional square feet for each additional bedroom. A portion or all of the required open space shall be private; otherwise it shall be shared in common.

B. *Minimum Private Open Space Required.* Eighty square feet for ground floor units and forty square feet for second story units and above. (Ord. 2020-07 § 2, 2020; Ord. 2006-03 § 1 (Exh. A), 2006)

17.16.100 Front yard.

Minimum front yard required in the C-R districts shall be ten feet, all of which shall be landscaped except for driveways and pedestrian walkways. (Ord. 2020-07 § 2, 2020; Ord. 2006-03 § 1 (Exh. A), 2006)

17.16.110 Side yard.

Minimum side yard required in the C-R districts shall be five feet except where the side yard abuts a street, in which case the required side yard shall be ten feet. (Ord. 2020-07 § 2, 2020; Ord. 2006-03 § 1 (Exh. A), 2006)

17.16.120 Rear yard.

Minimum rear yard required in the C-R districts shall be ten feet, except where the rear yard abuts any lot in the R-1 or R-2 district, in which case the required rear yard shall be twenty feet. (Ord. 2020-07 § 2, 2020; Ord. 2006-03 § 1 (Exh. A), 2006)

17.16.130 Special yards.

Special yards required for dwelling groups in the C-R districts shall be as follows:

A. In case the buildings of the group are so located on the lot that the rears thereof abut upon one side yard and the fronts thereof abut upon the other side (i.e., in a single row side to side series) the side yard providing pedestrian access shall have a width of not less than twelve feet;

B. No building in any group shall be so located on the lot that the rear thereof abuts on any street line;

C. Distances required between buildings on the same lot and as yards and courts for dwelling groups shall be increased by two feet for each story that the height of any

building or dwelling group exceeds two stories. (Ord. 2020-07 § 2, 2020; Ord. 2006-03 § 1 (Exh. A), 2006)

17.16.140 Floor area ratio.

Floor area ratio in the C-R district shall not exceed 0.90 and shall not be less than 0.25. (Ord. 2020-07 § 2, 2020; Ord. 2006-03 § 1 (Exh. A), 2006)

17.16.150 Inclusionary housing requirement.

Inclusionary housing in conformance with the Marina General Plan Housing Element and the Marina Municipal Code shall be provided for all residential developments or projects, including condominium conversions, with at least twenty dwelling units. (Ord. 2020-07 § 2, 2020; Ord. 2006-03 § 1 (Exh. A), 2006)

17.16.160 Density bonuses.

Density bonuses may be requested pursuant to Sections [65915](#) through [65918](#) of the California Government Code and in conformance with the Marina General Plan Housing Element and the Marina Municipal Code. (Ord. 2020-07 § 2, 2020; Ord. 2006-03 § 1 (Exh. A), 2006)

17.16.170 Development standards—Mixed use developments.

A. *Siting.* Residential units located within mixed use developments shall be sited either: (1) within the same building as commercial uses on the site and located above said commercial uses; or (2) within a separate building located to the rear of approved commercial building(s) and uses but located on the same building site as said commercial uses.

B. *Residential Floor Area Limitation.* Floor area for residential use shall not exceed seventy percent of the total gross floor area of a mixed use development.

C. *Reduced Parking.* Notwithstanding the parking requirements of Chapter [17.44](#), no covered or guest parking shall be required for residential uses that are part of a mixed use development.

D. *Site and Architectural Design Review.* The design review approval of mixed use projects shall be based upon the following criteria:

1. Promoting internal compatibility between the different uses on the same site;

2. Minimizing effects potentially detrimental to on-site or neighboring residential use such as, but not limited to, potential noise, glare and odors;
 3. Ensuring that the design of residential units of a mixed use development is of a residential character, and that privacy between residential units and between other uses on the site is maximized through careful siting and design;
 4. Encouraging integration of the street pedestrian environment with retail commercial uses on the site through the use of plazas, courtyards, walkways, and street furniture.
- (Ord. 2020-07 § 2, 2020; Ord. 2006-03 § 1 (Exh. A), 2006)

17.16.180 Parking.

Parking in the C-R district shall be as provided in Chapter [17.44](#), except as otherwise provided herein and by Section [17.16.170](#):

- A. Off-street parking can be reduced to a rate of 0.8 parking space per unit upon approval by the planning commission for residential dwellings restricted to seniors sixty-two years of age or older, for dwelling units affordable to lower income households over and above that required to meet a development's inclusionary requirement, and for housing for disabled persons.
- B. Off-street parking for residential dwellings with a density of at least twenty-five units per acre may be reduced to a rate of one parking space per unit if the building site is located within one-fourth mile of a transit center, or if the combination of commercial and residential uses supports shared parking as supported by a parking demand study submitted in conjunction with the entitlement application. (Ord. 2020-07 § 2, 2020; Ord. 2006-03 § 1 (Exh. A), 2006)

17.16.190 Increased floor area ratio for housing developments of three to ten units.

A housing development project, as defined in California Government Code Section [65589.5](#), that is in the C-R zoning district shall be allowed to increase its FAR as follows:

- A. A housing development project of three to seven units shall have a minimum FAR of 1.0:1.
- B. A housing development project of eight to ten units shall have a minimum FAR of 1.25:1.

C. This section shall not apply within a historic district or property included on the State Historic Resources Inventory, as defined in California Public Resources Code Section [5020.1](#), or within a site that is designated or listed on the city's historic inventory. (Ord. 2023-02 § 2, 2023)

The Marina Municipal Code is current through Ordinance 2023-10, passed September 6, 2023.

Disclaimer: The city clerk's office has the official version of the Marina Municipal Code. Users should contact the city clerk's office for ordinances passed subsequent to the ordinance cited above.

[City Website: cityofmarina.org](http://cityofmarina.org)

[Hosted by Code Publishing Company, A General Code Company.](#)

Figure #11
*Project Architecture
Elevations
(On Separate Sheet)*

Figure #12

226 Palm Ave Project

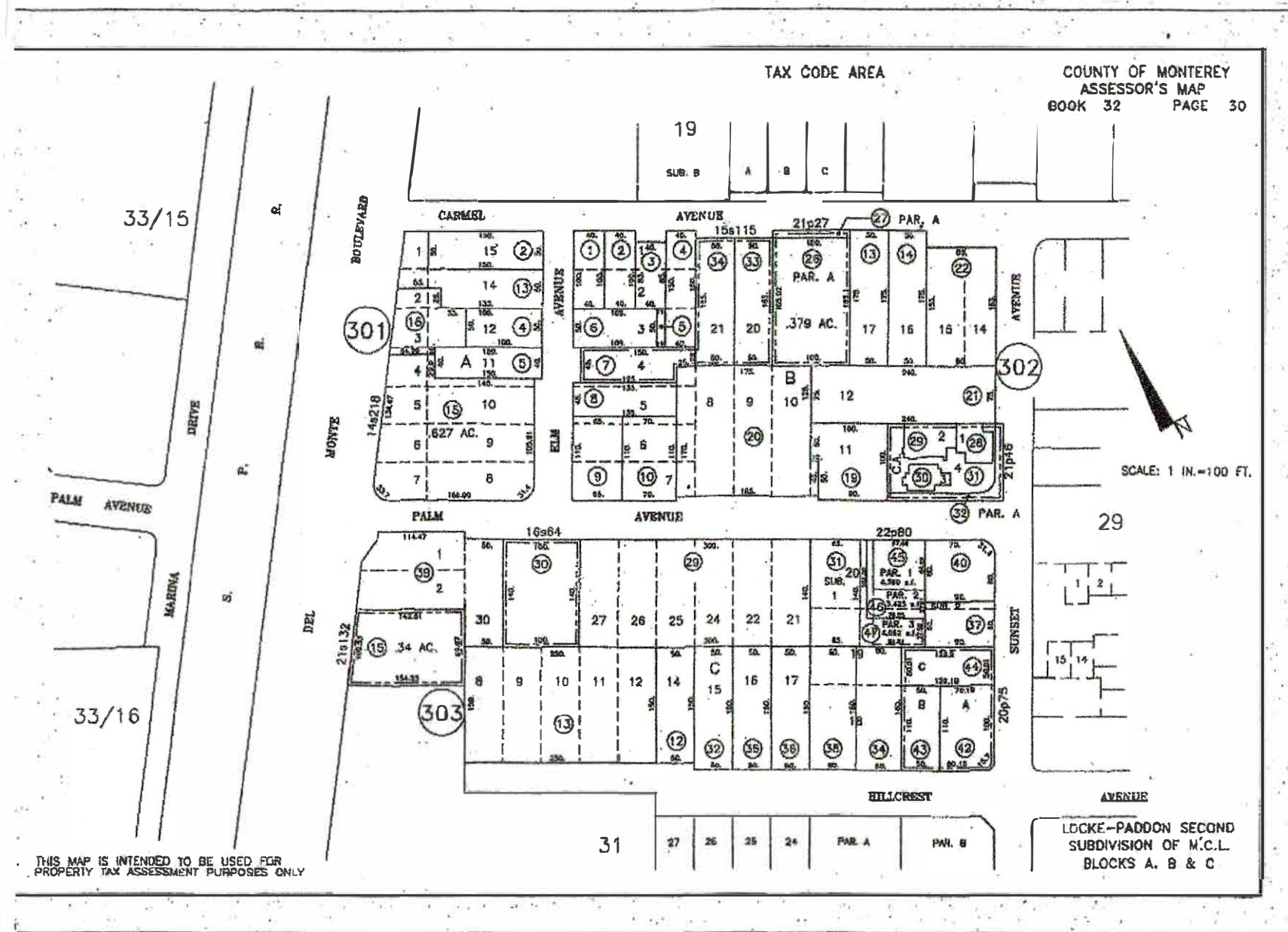
Plan Set

(On Separate Sheet)

Figure #13: Project Information

■■■■ PROJECT INFORMATION ■■■■	
THIS PROJECT SHALL COMPLY WITH THE FOLLOWING BUILDINGS CODES 2022 CALIFORNIA BUILDING STANDARDS CODE	
DESCRIPTION	
2022 CALIFORNIA BUILDING CODE	2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA RESIDENTIAL CODE	2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
2022 CALIFORNIA ELECTRICAL CODE	2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA MECHANICAL CODE	
2022 CALIFORNIA PLUMBING CODE	
COUNTY AMENDMENT TO THE CALIFORNIA BUILDING STANDARDS CODES	
(AND ALL STATE OF CALIFORNIA CITY COUNTY & MUNICIPAL CODES) PROJECT PROPOSAL	
1.... PROPOSED 6 UNIT RESIDENTIAL COMPLEX	
PROJ. LOC/OWNER HBD APARTMENTS 226 PALM AVENUE MARINA, CA. 93933 PHONE: (831) 601 - 6861	PROPERTY INFORMATION A) PARCEL NUMBER . . 032 - 303 - 046 B) ZONING DISTRICT . . C-R (RESIDENTIAL / COMMERCIAL) C) CURRENT LOT SIZE . 7,487 S.F. (2 LOTS COMBINED) D) GENERAL PLAN: COMMERCIAL / MULTIPLE FAM. RESIDENTIAL
PARKING 6 PARKING MINIMUM PROVIDED 1 PARKING SPACE FOR EACH UNIT INCLUDING 1 HANDICAP PARKING SPACE	
CBC 2022 / CONSTRUCTION INFORMATION	
A) CONSTRUCTION TYPE: VB	C) OCCUPANCY GROUP: R-3/U
B) NUMBERS OF STORIES: 2	D) SPRINKLERS:REQUIRED
BUILDING SQ. FTG/LOT COVERAGE/FLOOR AREA RATIO (FAR)	
TWO STORY, SIX-UNITS	
UNIT LOCATION AND SIZE REAR FIRST STORY: TWO STUDIO UNITS: 384 S.F. REAR SECOND STORY: TWO ONE-BEDROOM UNITS: 520 S.F. FRONT TWO TWO-BEDROOM UNITS: 864 S.F. 1ST FLOOR UNIT: 352 S.F. 2ND FLOOR UNIT: 512 S.F.	OPEN SPACE: COMMON: 1,989 S.F. PRIVATE: 328 S.F. TOTAL: 1,989 S.F.

Figure #14
Landscape Plans
(On Separate Sheet)

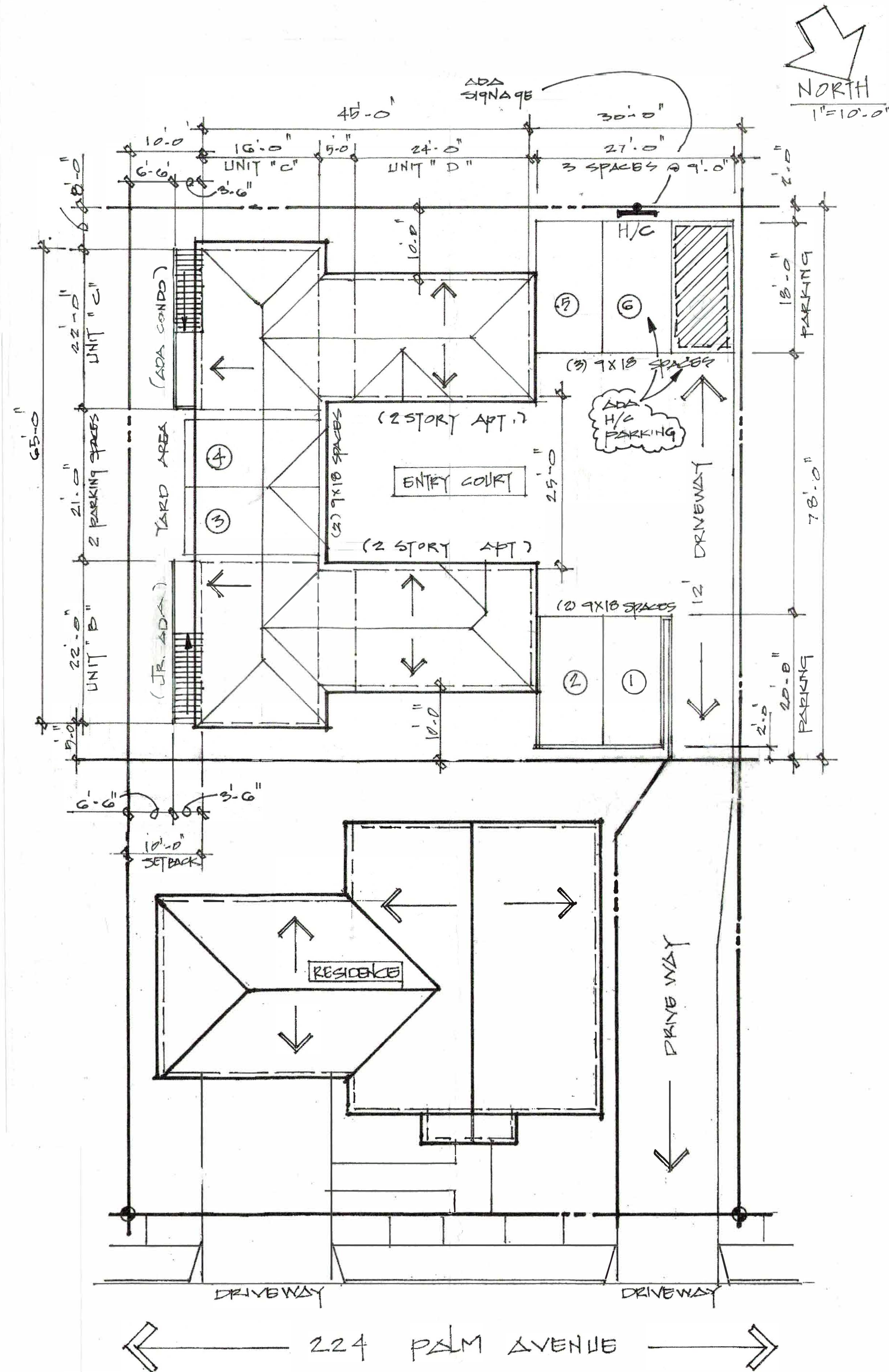


SHEET INDEX		
NO.	DATE	DESCRIPTION
1.	2/25/2023	SITE PLAN
2.	2/25/2023	ELEVATIONS
3.	2/25/2023	ELEVATIONS
4.	2/25/2023	PROPOSED 1 ST FLOOR PLAN
5.	2/25/2023	PROPOSED 2 ND FLOOR PLAN
6.	2/25/2023	ELECTRICAL 1 ST FLOOR PLAN
7.	2/25/2023	ELECTRICAL 2 ND FLOOR PLAN
8.	2/25/2023	CONCEPTUAL FOUNDATION PLAN
9.	2/25/2023	ROOF PLAN
10.	2/25/2023	CROSS SECTIONS
11.	2/25/2023	DETAIL SHEET "A"
12.	2/25/2023	DETAIL SHEET "B"
13.	2/25/2023	ADA DETAIL SHEET
LAND SURVEYOR ENGINEER		
1		TOPO
HARDY FRAME PRODUCTS		
HFX1		ANCHORAGE DETAILS HFX PANELS
HFX2		FRAMING DETAILS HFX PANELS
HFX3		FLOOR SYSTEM DETAILS HFX PANELS
CIVIL ENGINEER		
C-1		GRADING & DRAINAGE PLAN
C-2		SECTION & DETAILS

GENERAL NOTES	
1. THIS PROJECT SHALL COMPLY WITH THE FOLLOWING BUILDING CODES.....	
2022 CALIFORNIA BUILDING STANDARD CODES	
DESCRIPTION	2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA BUILDING CODE	2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA RESIDENTIAL CODE	2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
2022 CALIFORNIA ELECTRICAL CODE	2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA MECHANICAL CODE	
2022 CALIFORNIA PLUMBING CODE	
(THE CURRENT CODES ADOPTED, AS AMENDED BY THE CITY OF CUPERTINO)	
2. INTERPRETATION OF DRAWINGS FOR ARRANGEMENT OF FLOORS, GENERAL FINISH AND MEASUREMENTS, REFERENCE MUST BE MADE TO THE DRAWINGS. SHOULD ANY DIFFERENCE APPEAR BETWEEN SCALE MEASUREMENT AND FIGURES OR BETWEEN WORKING OF SPECIFICATIONS AND LETTERING ON DRAWINGS, THE SPECIFICATION SHALL IN ALL CASES TAKE PRECEDENCE. IF ANY ERROR THAT IS NOT EXPLAINED EITHER BY REFERENCE TO THE DRAWINGS OR SPECIFICATIONS BECAME APPARENT, THE CONTRACTOR SHALL REFER THEM TO THE DRAFTSMAN DESIGNER FOR CORRECTION BEFORE PROCEEDING WITH THE WORK (CONTRACTOR IS NOT TO SCALE DRAWINGS). DRAWINGS DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS	
3. ERRORS AND OMISSIONS: IN THE EVENT THAT AN ACUTE ERRORS OR OMISSIONS MAY EXIST ON THE PLAN, IT SHALL BE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR TO NOTIFY THE DESIGNER/DRAFTSMAN PRIOR TO THE COMMENCEMENT OF WORK. FAILURE TO DO SUCH WILL RELIEVE DESIGNER OF RESPONSIBILITY COMMENCEMENT OF WORK. FAILURE TO DO SUCH WILL RELIEVE DESIGNER OF RESPONSIBILITY	

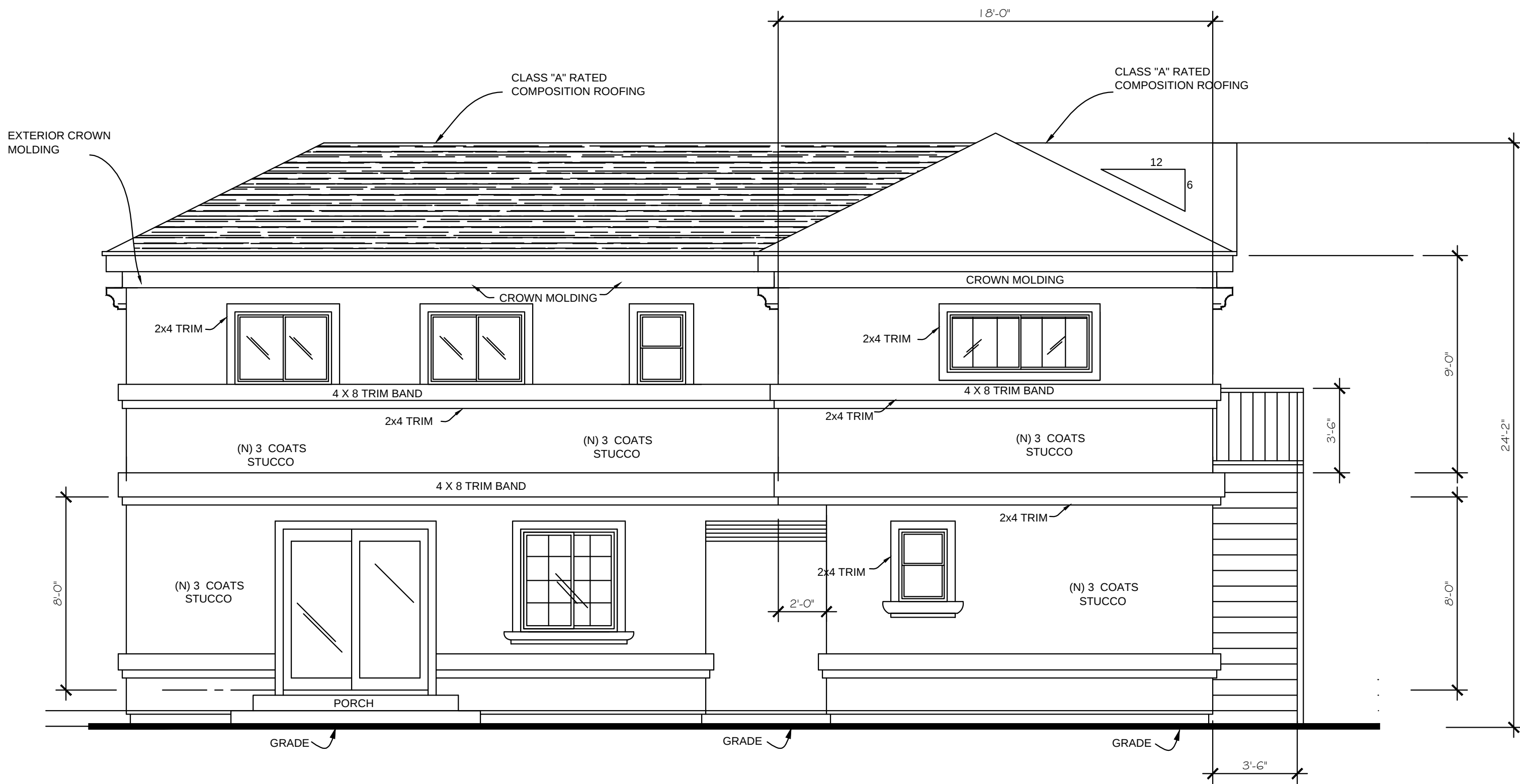
PROJECT INFORMATION	
THIS PROJECT SHALL COMPLY WITH THE FOLLOWING BUILDINGS CODES	
2022 CALIFORNIA BUILDING STANDARD CODES	
DESCRIPTION	2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA BUILDING CODE	2022 CALIFORNIA FIRE CODE
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2022 CALIFORNIA ELECTRICAL CODE	2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA MECHANICAL CODE	
2022 CALIFORNIA PLUMBING CODE	
COUNTY AMENDMENT TO THE CALIFORNIA BUILDING STANDARD CODES	
(AND ALL STATE OF CALIFORNIA CITY COUNTY & MUNICIPAL CODES)	
PROJECT PROPOSAL	
1.... PROPOSED 6 UNIT RESIDENTIAL COMPLEX	
PROJ. LOC/OWNER	PROPERTY INFORMATION
HBD APARTMENTS 226 PALM AVENUE MARINA, CA. 93933 PHONE: (831) 601 - 6861	A) PARCEL NUMBER . . . 032 - 303 - 046 B) ZONING DISTRICT . . C-R (RESIDENTIAL / COMMERCIAL) C) CURRENT LOT SIZE . 7,487 S.F. (2 LOTS COMBINED) D) GENERAL PLAN: . . . COMMERCIAL / MULTIPLE FAM. RESIDENTIAL
PARKING	
6 PARKING MINIMUM PROVIDED 1 PARKING SPACE FOR EACH UNIT INCLUDING 1 HANDICAP PARKING SPACE	
CBC 2022 / CONSTRUCTION INFORMATION	
A) CONSTRUCTION TYPE: . . . VB B) NUMBERS OF STORIES: . . . 2	C) OCCUPANCY GROUP: . . . R-3/U D) SPRINKLERS: . . . REQUIRED
BUILDING SQ. FTG/LOT COVERAGE/FLOOR AREA RATIO (FAR)	
TWO STORY, SIX-UNITS	
UNIT LOCATION AND SIZE	OPEN SPACE:
REAR FIRST STORY: TWO STUDIO UNITS: 384 S.F. REAR SECOND STORY: TWO ONE-BEDROOM UNITS: 520 S.F.	COMMON: 1,989 S.F. PRIVATE: 328 S.F. TOTAL: 1,989 S.F.
FRONT TWO TWO-BEDROOM UNITS: 864 S.F. 1ST FLOOR UNIT: 352 S.F. 2ND FLOOR UNIT: 512 S.F.	

SCOPE OF WORK
A) PROPOSED 6 UNIT RESIDENTIAL COMPLEX



SITE PLAN
SCALE: 1" = 10'-0"

REVISIONS	
DATE:	
Professional Design Consultants 3033 Moorpark Ave., #2 San Jose, CA 95128 (408) 254-7666	
AUGUSTINE DESIGNS	
OWNER:	HBD APARTMENTS 226 PALM AVENUE MARINA, CA. 93933 PHONE: (831) 601 - 6861
PROPOSED 6 UNIT RESIDENTIAL COMPLEX	
DATE:	
SCALE:	1" = 10'-0"
DRAWN:	BRA
JOB:	
1	
OF SHEETS	



RIGHT SIDE ELEVATION (SOUTH)

SCALE: 1/4" = 1'-0"

GENERAL EXTERIOR NOTES

1. ASPHALT SHINGLES SHALL BE INSTALLED OVER ONE LAYER OF 15 POUND FELT. ON ROOFS WITH A MIN SLOPE OF 3:12, ASPHALT SHINGLES MAY BE INSTALLED ON ROOFS WITH A MIN SLOPE OF 2:12 PROVIDED THE SHINGLES ARE APPROVED SELF SEALING OR ARE HAND SEALED AND THE UNDER LAYMENT SHALL CONSIST OF 2 LAYERS OF 15 POUND FELT INSTALLED SHINGLE FASHION. MAX LAYERS ON A SHINGLE ROOF SHALL NOT EXCEED 3.
2. ALL PLUMBING VENTS TO BE A MINIMUM 10 FEET AWAY FROM OR AT LEAST 3 FEET ABOVE ANY OPERABLE SKYLIGHTS PER CPC 906.2.
3. SITE ADDRESS NUMBERS... BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS OR ALPHABETICAL LETTERS, NUMBERS SHALL BE A MINIMUM OF 4" (102 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 1/2" INCH (12.7 MM). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.

EXTERIOR WEATHER PROTECTION NOTES

1.STUDS OR SHEATHING OF ALL EXTERIOR WALLS SHALL BE WEATHER PROTECTED WITH 15 POUND ASPHALT SATURATED FELT OR OTHER APPROVED WATERPROOF PAPER. SUCH PAPER SHALL BE APPLIED IN WEATHER BOARD FASHION, LAPPED NOT LESS THAN 2" AT HORIZONTAL JOINTS AND NOT LESS THAN 6" AT VERTICAL JOINTS.
2. WHERE STUCCO IS APPLIED OVER EXTERIOR SHEATHING THERE SHALL BE TWO LAYERS OF GRADE "D" BUILDING PAPER. BUILDING PAPER MAY BE OMITTED IN THE FOLLOWING : ...
A)...WHERE THERE IS NO HUMAN OCCUPANCY
B)...WHERE EXTERIOR COVERING IS OF APPROVED W.P. MATERIAL OVER WATER REPELLENT SHEATHING
C)...WHERE EXTERIOR COVERING IS F APPROVED W.P. PANELS
3. STUCCO SHALL BE 7 / 8" THICK AND THREE COATS APPLIED OVER APPROVED WIRE LATH AND TWO LAYERS OF GRADE D BUILDING PAPER. PROVIDE WEEP CREED
4. SIDING SHALL BE APPLIED OVER ONE LAYER OF GRADE D BUILDING PAPER
5. PROVIDE A SPARK ARRESTOR FOR ANY NEW OR EXISTING CHIMNEY

GENERAL NOTES

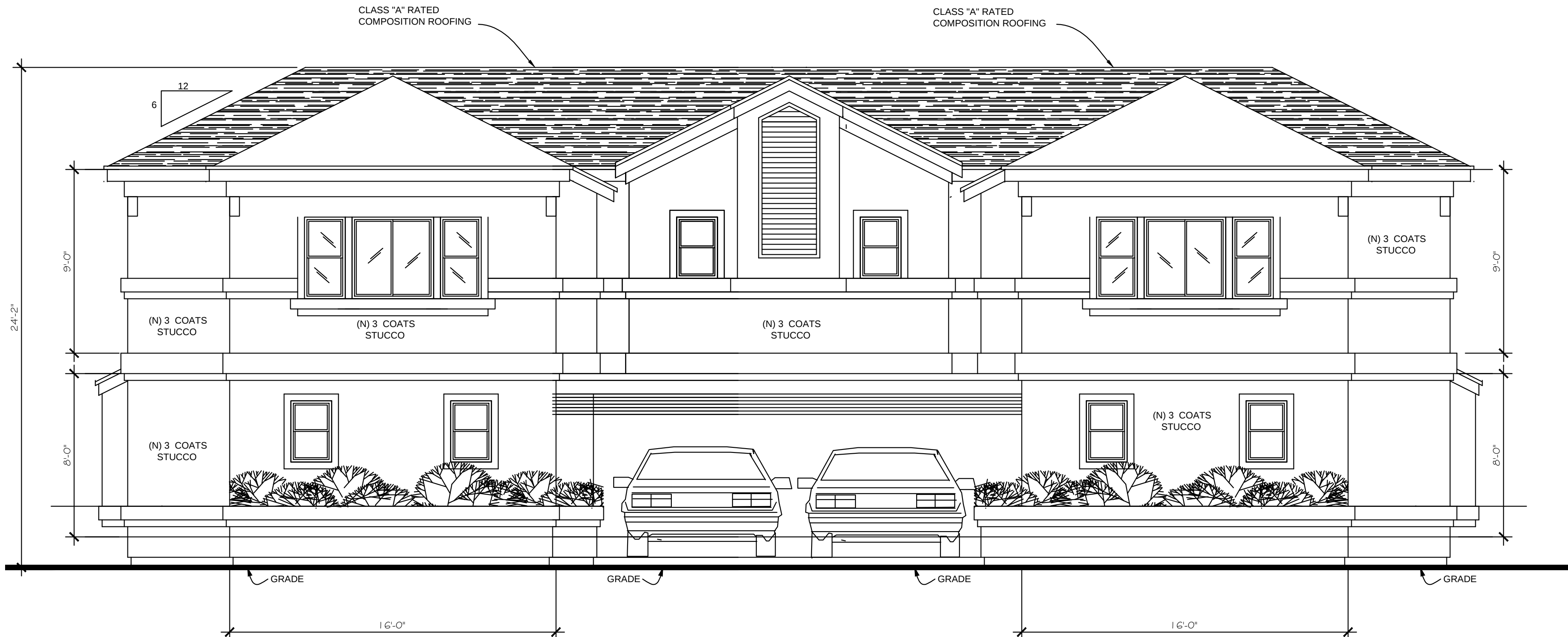
1. PLANS TO COMPLY WITH CONVENTIONAL CONSTRUCTION PROVISIONS AS STATED IN 2022 CALIFORNIA RESIDENTIAL BUILDING, MECHANICAL, PLUMBING, ELECTRICAL AND ENERGY CODES AS AMENDED BY STATE OF CALIFORNIA AND ALL CITY & MUNICIPAL CODES (PROJECT LOCATED TO SPECIFY SEISMIC DESIGN CATEGORY E.)
2. INTERPRETATION OF DRAWINGS FOR ARRANGEMENT OF FLOORS, GENERAL FINISH, AND MEASUREMENTS, REFERENCE MUST BE MADE TO THE DRAWINGS, SHOULD ANY DIFFERENCE APPEAR BETWEEN SCALE MEASUREMENT AND FIGURES OR BETWEEN WORDING OF SPECIFICATIONS & LETTERING ON DRAWINGS, THE SPECIFICATION SHALL IN ALL CASES TAKE PRECEDENCE. IF ANY ERROR THAT IS NOT EXPLAINED EITHER BY REFERENCE TO THE DRAWINGS CONTRACTOR TO INFORM DRAFTSMAN DESIGNER, FOR CORRECTION BEFORE PROCEEDING WITH THE WORK (CONTRACTOR IS NOT TO SCALE DRAWINGS).
3. ERRORS AND OMISSIONS: IN THE EVENT THAT AN ACUTE ERROR OR OMISSION MAY EXIST ON THE PLAN IT SHALL BE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR TO NOTIFY THE DESIGNER, DRAFTSMAN PRIOR TO THE COMMENCEMENT OF WORK. FAILURE TO DO SUCH, WILL RELIEVE DESIGNER OF RESPONSIBILITY.
4. SITE PLAN LAYOUT: IN THE EVENT THERE MAY BE DISCREPANCIES BETWEEN THE DIMENSIONS ON THE SITE PLAN AND THE ACTUAL DIMENSIONS OF THE LOT AND ITS SETBACKS, IT WILL BE THE OWNER'S RESPONSIBILITY TO PROVIDE A LEGAL SURVEY TO CONFIRM THE ACCURACY OF THE PROPERTY SIZE AND LAYOUT. ALL SITE PLANS, AS DRAWN ARE FOR REFERENCE AND SHOULD NOT BE LOOKED UPON AS AN OFFICIAL DOCUMENT

EXTERIOR PLASTER AND STUCCO NOTES

- A) WEATHER RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND, PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER (R703.7.3)
- B) PLASTERING WITH PORTLAND CEMENT PLASTER SHALL BE NOT LESS THAN TWO COATS WHEN APPLIED OVER MASONRY, CONCRETE, PRESSURE-PRESERVATIVE TREATED WOOD OR DECAY-RESISTANT WOOD AS SPECIFIED IN SECTION R017.1 OR GYPSUM BACKING (R703.7.2) A MINIMUM 26 GA. GALVANIZED CORROSION-RESISTANT WEEP SCREED WITH: (R703.7.2.1)
1. A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2 INCHES PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE AT ALL EXTERIOR WALLS
2. THE SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES ABOVE PAVED AREA.

EXTERIOR BUILDING NOTES

1. CLEARANCE BETWEEN WOOD SIDING, FRAMING MEMBERS, INCLUDING SHEATHING, AND EARTH ON THE EXTERIOR OF A BUILDING SHALL NOT BE LESS THAN 6" OR LESS THAN 2" MEASURED VERTICALLY FROM
2. WHERE ROOF GUTTERS ARE INSTALLED, THE DOWN SPOUTS SHALL BE PROPERLY TERMINATED WITH A SPLASH BLOCK AND SHALL CARRY WATER AWAY FROM THE FOUNDATIONS PER CITY ORDINANCE. ORDINANCE. CLARIFY IF THERE ARE NEW GUTTERS AT NEW ADDITION.



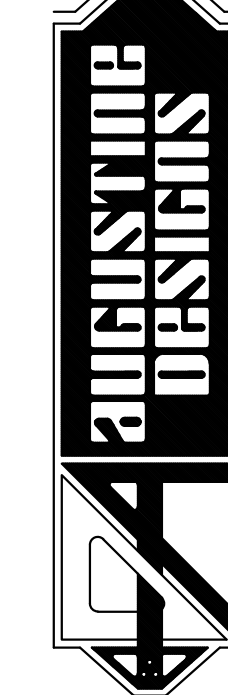
FRONT ELEVATION (WEST)

SCALE: 1/4" = 1'-0"

REVISIONS

DATE:

Professional Design Consultants
3033 Moorpark Ave. #1 San Jose, CA 95128
(408) 294-7000



OWNER
HBD APARTMENTS
224 PALM AVENUE
MARINA, CA. 93933
(831) 601 - 6861

PROPOSED 6 UNIT RESIDENTIAL
COMPLEX

DATE: 02-21-2023

SCALE: 1/4" = 1'-0"

DRAWN: BRA

JOB:

2

OF SHEETS

GENERAL EXTERIOR NOTES

1. ASPHALT SHINGLES SHALL BE INSTALLED OVER ONE LAYER OF 15 POUND FELT ON ROOFS WITH A MIN SLOPE OF 3:12. ASPHALT SHINGLES MAY BE INSTALLED ON ROOFS WITH A MIN SLOPE OF 2:12 PROVIDED THE SHINGLES ARE APPROVED SELF SEALING OR ARE HAND SEALED AND THE UNDER LAYMENT SHALL CONSIST OF 2 LAYERS OF 15 POUND FELT INSTALLED SHINGLE FASHION. MAX LAYERS ON A SHINGLE ROOF SHALL NOT EXCEED 3
2. ALL PLUMBING VENTS TO BE A MINIMUM 10 FEET AWAY FROM, OR AT LEAST 3 FEET ABOVE ANY OPERABLE SKYLIGHTS PER CPC 906.2.
3. SITE ADDRESS NUMBERS...BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS OR ALPHABETICAL LETTERS, NUMBERS SHALL BE A MINIMUM OF 4" (102 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 1/2" INCH (12.7 MM). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE

EXTERIOR WEATHER PROTECTION NOTES

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EXTERIOR PLASTER AND STUCCO NOTES

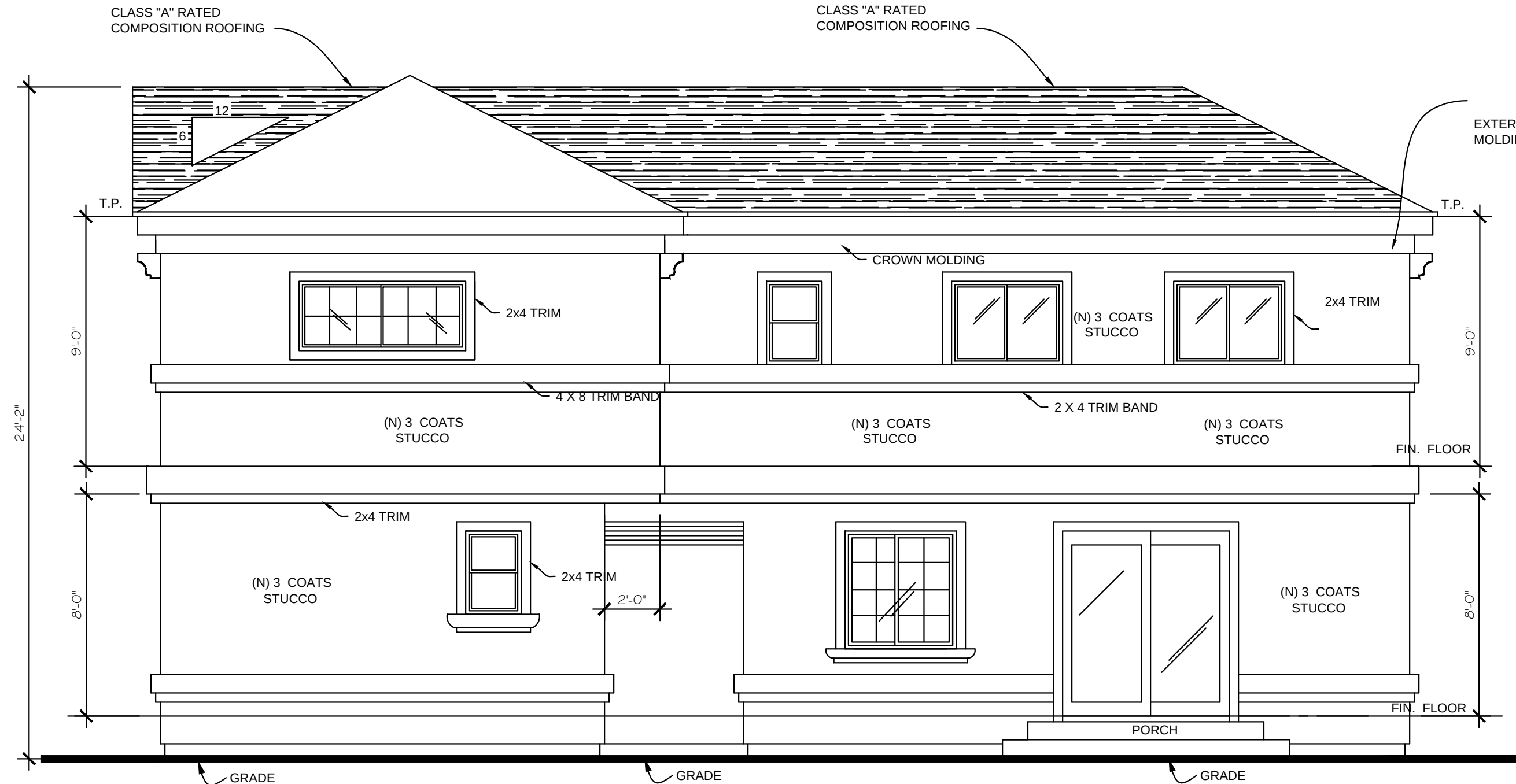
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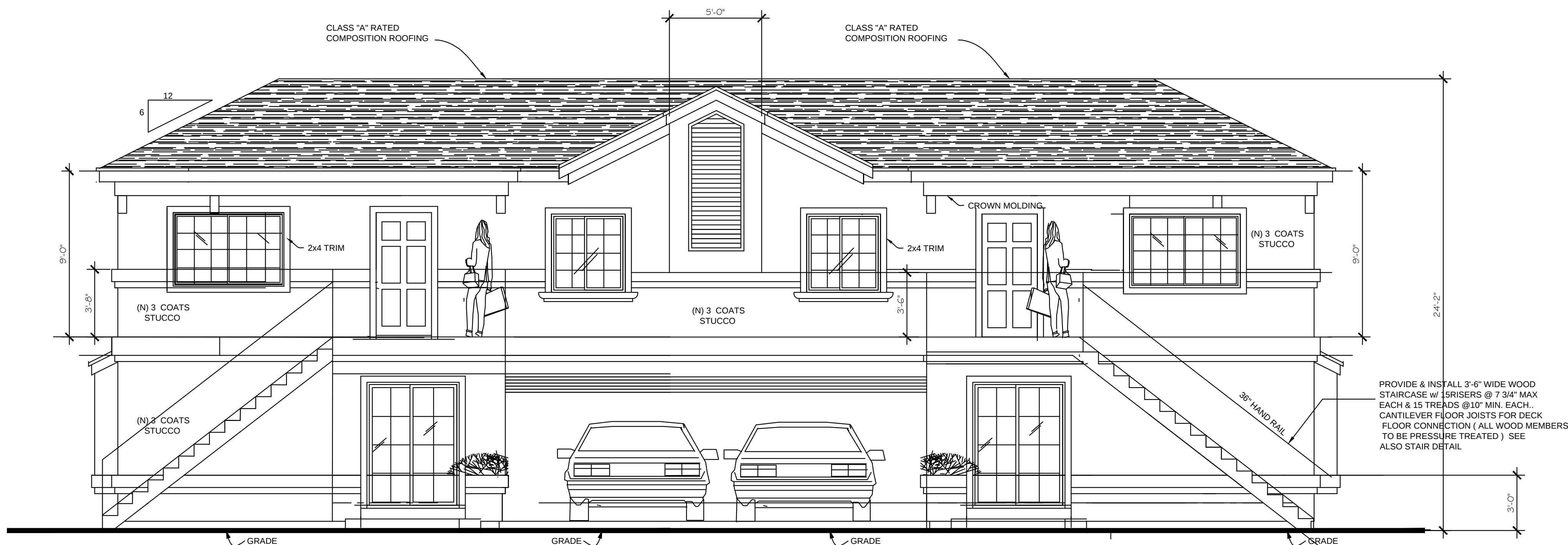
GENERAL NOTES

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LEFT SIDE ELEVATION (NORTH)

SCALE: 1/4" = 1'-0"



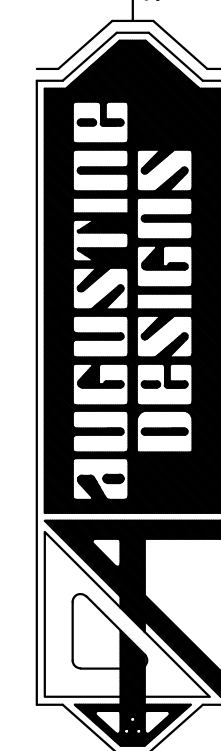
REAR ELEVATION (EAST)

SCALE: 1/4" = 1'-0"

REVISIONS

DATE:

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3033 Moorpark Ave. #41 San Jose, CA 95128
(408) 294-7060



OWNER
HBD APARTMENTS
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(831) 601 - 6861

PROPOSED 6 UNIT RESIDENTIAL
COMPLEX

DATE: 2 -20 -2023

SCALE: 1" = 10'-0"

DRAWN: BRA

JOB:

3

OF SHEETS

GENERAL NOTES

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- SMOKE DETECTORS**. PROVIDE 1 EACH SMOKE DETECTOR IN ALL SLEEPING ROOMS AND AT A POINT CENTRALLY LOCATED IN AN AREA GIVING ACCESS TO THE SLEEPING ROOMS.
A) POWER SOURCE: IN NEW CONSTRUCTION, REQUIRED SMOKE DETECTOR SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. THE DETECTOR SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW, WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVER CURRENT PROTECTION. SMOKE DETECTORS MAY BE SOLELY BATTERY OPERATED WHEN INSTALLED IN EXISTING BUILDINGS OR IN BUILDINGS WITHOUT COMMERCIAL POWER OR IN BUILDING WHICH UNDER GO ALTERATIONS, REPAIRS OR ADDITIONS AS REGULATED BY CBC 2022
B) LOCATION WITHIN DWELLING UNITS: IN DWELING UNITS, A DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA WHEN THE DWELLING UNIT HAS MORE THAN ONE STORY AND IN DWELLINGS WITH BASEMENTS A DETECTOR SHALL BE INSTALLED ON EACH STORY AND IN THE BASEMENT IN DWELLING UNITS WHERE A STORY OR BASEMENT IS SPLIT INTO TWO OR MORE LEVELS. THE SMOKE DETECTOR SHALL BE INSTALLED IN THE UPPER LEVEL, EXCEPT THAT WHEN THE LOWER LEVEL CONTAINS A SLEEPING AREA A DETECTOR SHALL BE INSTALLED ON EACH LEVEL. WHEN SLEEPING ROOMS ARE ON AN UPPER LEVEL IN CLOSE PROXIMITY TO THE STAIRWAY IN DWELLING UNITS WHERE THE CEILING HEIGHT OR A ROOM OPEN TO THE HALLWAY SERVING THE BEDROOMS EXCEEDS THAT OF THE HALLWAY BY 24 INCHES (610 MM) OR MORE. SMOKE DETECTORS SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM. DETECTOR SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING UNIT IN WHICH THEY ARE LOCATED.
INSULATION: CEILINGR-30 BATT INSULATION (NEW CONST. ONLY)
WALLS.....R-15 BATT INSULATION (NEW CONST. ONLY)
FLOOR.....R-19 FLOOR INSULATION
ACCESS: UNDER FLOOR.....18" x 24" MIN. SQ. (IF WOOD FLOOR)
CEILING.....22" x 30" MIN. W/30" CLEAR HEIGHT.
WINDOW.....APPROVED DOUBLE GLAZED
NOTE: ALL OPENING, ALL DOORS, WINDOWS, ETC. TO BE CALKED OR FULLY WEATHER STRIPPED.

SUPPLEMENT TO TITLE 24 FOR RESIDENTIAL ADDITIONS.

- ROOF SHEATHING WITH RADIANT BARRIER ON UNDERSIDE OF SHEAT'G SHALL BE INSTALLED.
- ALL WINDOWS SHALL HAVE A SOLAR HEAT GAIN COEFFICIENCY OF .40 OR BETTER.
- WALL SHEATHING @ GABLE ENDS (ABOVE CEILING) SHALL HAVE RADIANT BARRIER PER MFG. INSTALLATION INSTRUCTIONS.
- ALL SEALING TAPE ON HEAT/AC DUCTS SHALL BE UL181 (LISTED AND LABELED).
- THE WRAPS (FOR DUCTS) MUST BE UV RESISTANT AND HAVE 150 LBS. OF BURST STRENGTH.
- WINDOWS / BATHROOM NOTES**
 - ALL NEW WINDOW TO BE APPROVED DOUBLE GLAZED (WITH BEDROOM WINDOWS HAVING A MIN. 24" x 24" SQ. OPENING). REFER TO EGRESS WINDOW DIAGRAM
 - ALL HEADERS USED OVER DOORS, WINDOW AND ANY NECESSARY OPENINGS TO BE 4 x 12 DFW 1 OR BETTER, UNLESS OTHERWISE SPECIFIED.
 - ALL GLAZING IN OR WITHIN 36" OF DOORS, OVER 8 SQUARE FEET AND WITHIN 18" OF FLOOR AND ALL GLAZING IN SHOWERS OR BATHTUBS TO BE SAFETY GLASS.
 - BATHROOM FINISH NOTE...ENSURE A SMOOTH, HARD, NONABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 72" ABOVE THE DRAIN INLET FOR SHOWER PER CBC 1213.3
 - WATER CLOSETS IN ALL BATHROOMS TO BE MAXIMUM 1.28 GALLONS PER FLUSH.

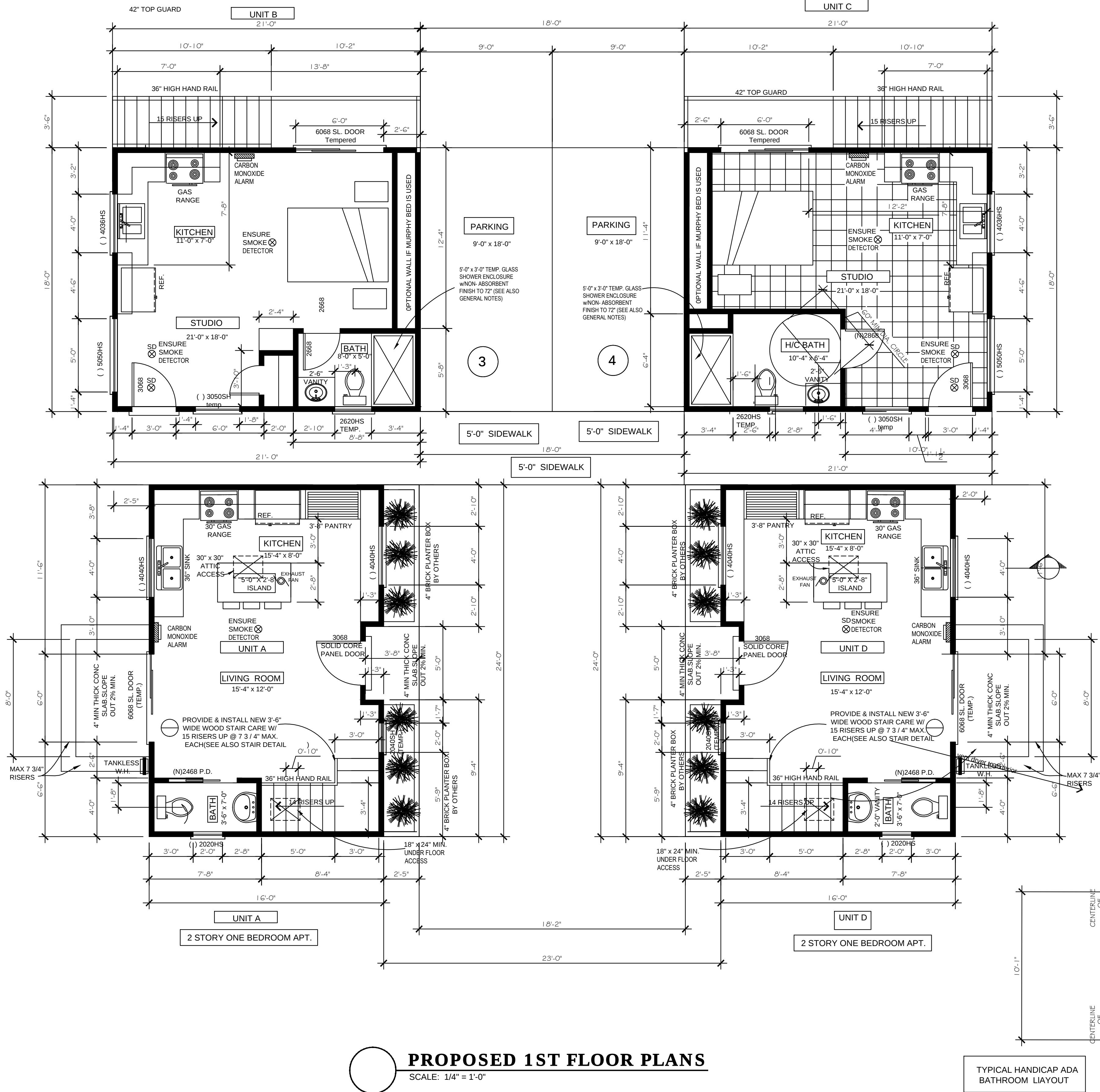
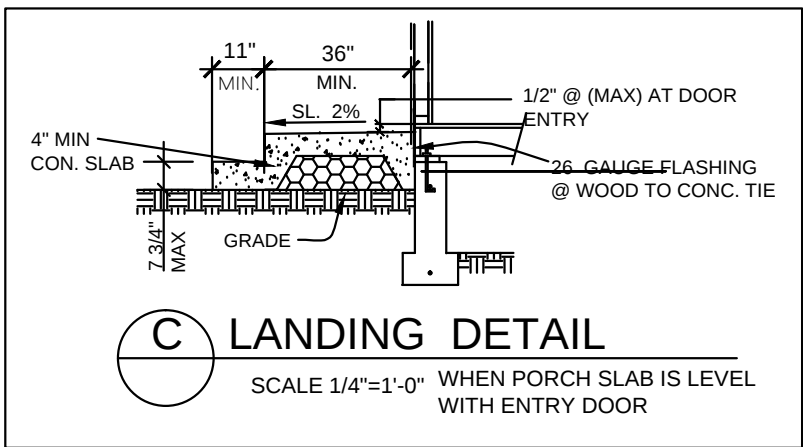
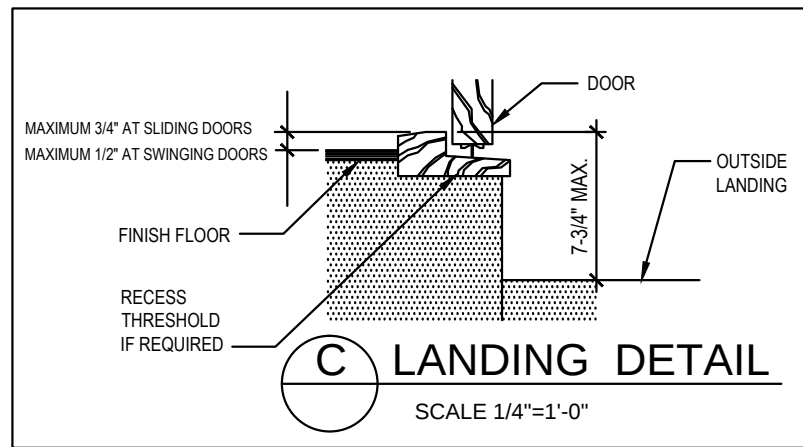
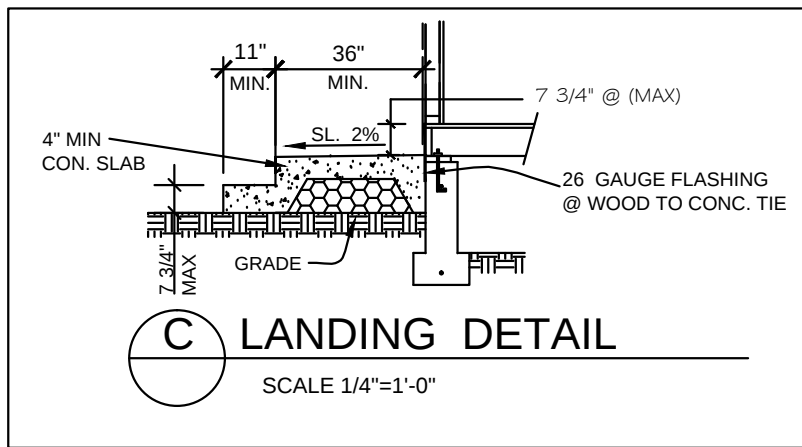
PLUMBING NOTES:

(ALL NEW ELECTRICAL WORK TO CONFORM TO...CALIFORNIA PLUMBING CODE, NATIONAL EDITION 2022).

- ALL WORK SHALL BE PERMITTED AND INSPECTED BY THE CITY BUILDING DEPT. AND PLUMBING DEPT.
- ALL FAUCETS ON ALL SINKS AND FLUSH VALVES ON ALL TOILETS SHALL HAVE A FLOW RATE IN COMPLIANCE WITH THE STATE OF CALIFORNIA C.E.C. CONSERVATION STANDARDS.
- ALL PLUMBING WALLS TO BE 2 x @ 16" O.C. WALL CONSTRUCTION. (UNLESS OTHERWISE NOTED).
- ALL NEW HOT AND COLD WATER LINES SHALL BE COPPER PIPE FOR THIS TYPE OF WORK, USE APPROVED CONNECTORS.
- PLUMBING SIZE REQUIRED:
 - TOILETS.....3" MIN. WASTE
 - SHOWERS.....2" MIN. WASTE
 - SINKS.....2" MIN. WASTE
 - TUBS.....2" MIN. WASTE
 - HOT / COLD WATER LINES.....3/4" MIN. COPPER
- PLUMBING VENTS AND CLEANOUTS
 - VENT PIPE TO BE MIN. 2" DIAMETER VENT THRU ROOF MAX. (4) FOUR FIXTURES PER VENT.
- PROVIDE AT EACH ROOF VENT, A 26 GAGE, GALVANIZED STEEL, FLASHING WITH 6" SKIRTS.
- CLEANOUTS SHALL BE INSTALLED WHERE SHOWN ON THE DRAWINGS OR WHERE REQUIRED BY CODE AND AT ALL BENDS, ANGLES AND UPPER TERMINALS. TOPS OF COVER PLATES SHALL BE FLUSH WITH THE FINISHED FLOOR OR GRADE.
- ALL WALLS BEHIND SHOWERS AND TUBS TO HAVE APPROVED WATER PROOF GREEN BOARD OR WONDER BOARD OVER STUDS PRIOR TO INSTALLATION OF FIXTURES AND FINAL LAYER OF ENAMEL BASE PAINT OR VINYL TILE BACKING.
- TOILETS: PROVIDE 30" CLEAR WIDTH FOR WATER CLOSET COMPARTMENTS AND 24" MIN. CLEARANCE IN FRONT OF WATER CLOSET.
- WATER HEATERS. SHALL BE PROVIDED WITH PRESSURE TEMPERATURE RELIEF VALVE WITH DRAIN TO OUTSIDE.
- ALL NEW & EXISTING WATER HEATERS TO BE SEISMIC STRAPPED TO WALL AT TOP AND BOTTOM WITH 26 GAUGE GAUGE METAL STRAPS PER CBC 2022.

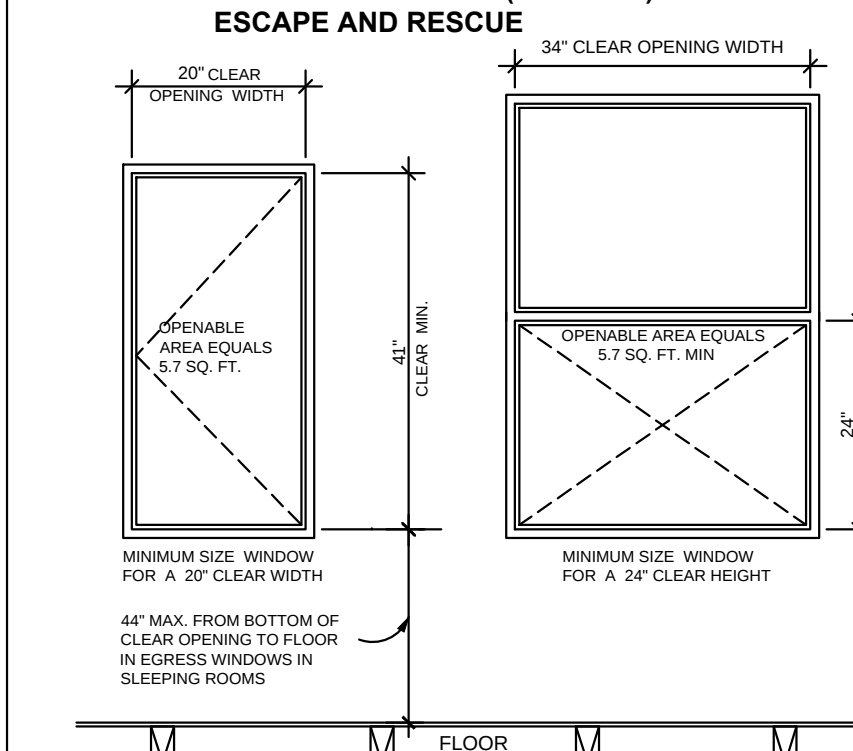
SPECIAL SHOWER NOTE

- SHOWER PAN DIMENSIONS SHALL BE A MINIMUM AREA OF 1024 SQ. INCHES AND A MINIMUM FINISH DIMENSION OF 30 INCHES IN ANY DIRECTIONS.
- SHOWER DOORS SHALL OPEN TO MAINTAIN NOT LESS THAN A 22" UN OBSTRUCTED OPENING FOR EGRESS.
- TILE SHOWER ENCLOSURE TO BE FURNISHED w/NON-ABSORBENT FINISH TO 72" ABOVE DRAIN INLET (SEE ALSO GENERAL NOTES)



ELECTRICAL/ MECHANICAL LEGEND			
	EXISTING WALLS		CHIME
	NEW WALLS		DOORBELL PUSHBUTTON
	WALLS TO BE REMOVED		COMB. EXHAUST & LIGHT FIXT
	CLOSE WALLS		ELECT. FAN
	DUPLEX RECEPTABLE OUTLET		HEAT LAMP
	GROUND FAULT INTERRUPT CIRCUIT		HEATER REGIST.
	DUP. REC. OUTLET WIGROUND		CEILING AIR REGISTER
	FOUR PLEX RECEPTICLE		WATER HEATER
	220 V RECEPTABLE OUTLET		FURNACE
	RECESSED CEILING LIGHT		HOSE BIBB
	HIGH EFFICACY LIGHT		CARBON MONOXIDE ALARMS
	WALL LIGHT		INTERCOM
	WATERPROOF WALL LIGHT FIXTURE		ELECT. METER & MAIN PANEL
	FLUORESCENT LIGHT		ELECTRICAL SUB-PANEL
	SMALL FLUORESCENT FIXTURE		RECESSED LIGHT
	SPOTLIGHT		DISPOSAL
	WALL SWITCH		CONCRETE
	THREE-WAY SWITCH		STUCCO
	FOUR-WAY SWITCH		EXISTING
	SMOKE DETECTOR		H.S. HORIZONTAL SLIDER
	TELEPHONE OUTLET		S.H. SINGLE HUNG
	TV/CABLE OUTLET		FIX. FIXED GLASS

RESIDENTIAL EGRESS WINDOWS (2022 CBC) EMERGENCY ESCAPE AND RESCUE



Because so many fire deaths occur when occupants of residential buildings are asleep at the time of a fire, the 2022 California Building Code (CBC), Section 1029 requires that:

- Basements in dwelling units and
- Every sleeping room below the fourth story

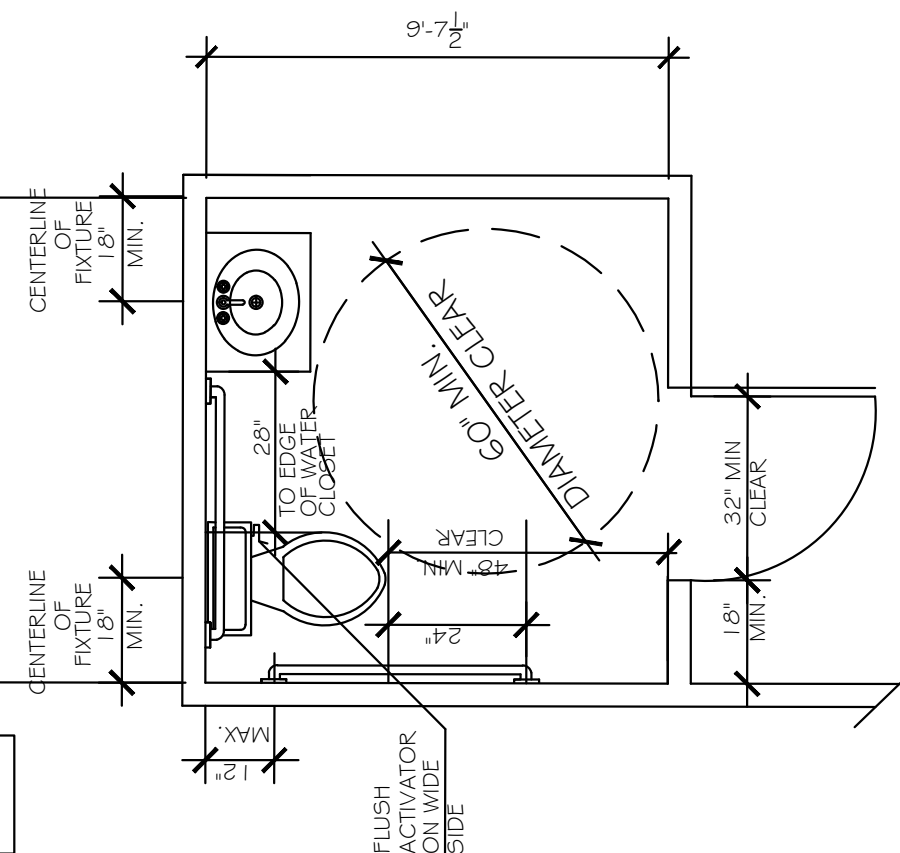
Shall have at least one operable window or exterior door opening approved for emergency escape and rescue. Such openings shall open directly into a public way or to a yard or court that opens to public way.

The net clear operable area shall be no less than 5.7 square feet (5 square feet for grade floor openings and basement window wells).

In addition to the above requirement, the net clear operable height dimension shall be a minimum of 24 inches. The net clear operable width dimension shall be a minimum of 20 inches. (Note: using both minimum figures will not obtain the required 5.7 square feet.)

GENERAL INTERIOR NOTES

- ALL LANDING AT MAIN ENTRY DOOR TO BE NOT MORE THAN 12" BELOW THE DOOR'S THRESHOLD PER CBC 311.3.1.
- ALL PLUMBING VENTS TO BE A MINIMUM 10 FEET AWAY FROM, OR AT LEAST 3 FEET ABOVE ANY OPERABLE SKYLIGHTS PER CPC 906.2.
- ALL BATHTUB AND SHOWER FLOORS AND WALLS TO BE FINISHED WITH A NONABSORBENT SURFACE UP TO A HEIGHT OF 6 FEET (72") ABOVE FLOOR PER CBC 307.2.
- PROVIDE EXHAUST FAN KITCHEN AREA FOR LOCAL VENTILATION INDOOR AIR QUALITY REQUIREMENTS PER 2022 CALIFORNIA ENERGY CODE SECTION 150.0) AND ASHRAE 62.2. OTHERWISE SPECIFY KITCHEN HOOD RANGE TO BE 100 CFM MINIMUM.
- PROVIDE CARBON MONOXIDE ALARMS OUTSIDE EACH BEDROOM PER CRC 315.2.
- ENSURE AFCI PROTECTED RECEPTACLES IN LIVING ROOM PER CEC 210.12
- ALL EXTERIOR RECEPTACLES TO BE GFCI PROTECTED.
- ALL 125-VOLT, 15-AND 20-AMPERE RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES PER CEC 406.11.
- PROVIDE SEPARATE SWITCHES FOR ALL EXHAUST FANS IN BATHROOMS PER CALIFORNIA ENERGY CODE 150(K)(6).
- ALL NEW WINDOWS SHALL HAVE A MAXIMUM U-FACTOR OF 0.30



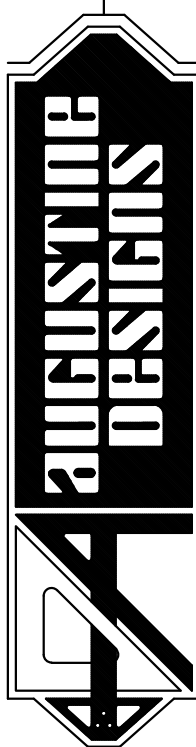
PROPOSED 1ST FLOOR PLANS

SCALE: 1/4" = 1'-0"

REVISIONS

DATE:

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3033 Monrovia Ave #1 San Jose, CA 95128
(408) 294-7060



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224 PALM AVENUE
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(831) 601 - 6861

PROPOSED 6 UNIT
RESIDENTIAL COMPLEX

DATE: 2/-20-2023

SCALE: 1/4" = 1'-0"

DRAWN: BRA

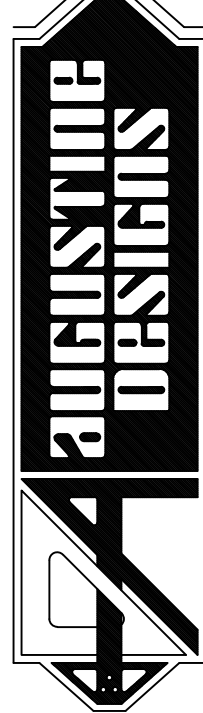
JOB:

4

OF SHEETS

DATE:

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3033 Moorpark Ave. #1 San Jose, CA 95128
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JOB:

5

GENERAL NOTES

- PLANS TO COMPLY WITH CONVENTIONAL CONSTRUCTION PROVISIONS AS STATED IN 2022 CALIFORNIA RESIDENTIAL, BUILDING, MECHANICAL, PLUMBING, ELECTRICAL AND ENERGY CODES AS AMENDED BY STATE OF CALIFORNIA AND ALL CITY & MUNICIPAL CODES (PROJECT LOCATED TO SPECIFY SEISMIC DESIGN CATEGORY E)
- INTERPRETATION OF DRAWINGS FOR ARRANGEMENT OF FLOORS, GENERAL FINISH, AND MEASUREMENTS, REFERENCE MUST BE MADE TO THE DRAWINGS. SHOULD ANY DIFFERENCE APPEAR BETWEEN SCALE MEASUREMENT AND FIGURES OR BETWEEN WORDING OF SPECIFICATIONS & LETTERING ON DRAWINGS, THE SPECIFICATION SHALL IN ALL CASES TAKE PRECEDENCE. IF ANY ERROR THAT IS NOT EXPLAINED EITHER BY REFERENCE TO THE DRAWINGS, CONTRACTOR TO INFORM DRAFTSMAN DESIGNER, FOR CORRECTION BEFORE PROCEEDING WITH THE WORK (CONTRACTOR IS NOT TO SCALE DRAWINGS).
- ERRORS AND OMISSIONS:** IN THE EVENT THAT AN ACUTE ERROR OR OMISSION MAY EXIST ON THE PLAN IT SHALL BE THE RESPONSIBILITY OF THE OWNER OR CONTRACTOR TO NOTIFY THE DESIGNER, DRAFTSMAN PRIOR TO THE COMMENCEMENT OF WORK. FAILURE TO DO SUCH, WILL RELIEVE DESIGNER OF RESPONSIBILITY.
- SMOKE DETECTORS:** PROVIDE 1 EACH SMOKE DETECTOR IN ALL SLEEPING ROOMS AND AT A POINT CENTRALLY LOCATED IN AN AREA GIVING ACCESS TO THE SLEEPING ROOMS.
A) POWER SOURCE: IN NEW CONSTRUCTION, REQUIRED SMOKE DETECTOR SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. THE DETECTOR SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVER CURRENT PROTECTION. SMOKE DETECTORS MAY BE SOLELY BATTERY OPERATED WHEN INSTALLED IN EXISTING BUILDINGS OR IN BUILDINGS WITHOUT COMMERCIAL POWER OR IN BUILDING WHICH UNDER GO ALTERATIONS, REPAIRS OR ADDITIONS AS REGULATED BY CBC 2022.
B) LOCATION WITHIN DWELLING UNITS: IN DWELING UNITS, A DETECTOR SHALL BE INSTALLED IN EACH SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA WHEN THE DWELLING UNIT HAS MORE THAN ONE STORY AND IN DWELLINGS WITH BASEMENT A DETECTOR SHALL BE INSTALLED ON EACH STORY AND IN THE BASEMENT IN DWELLING UNITS WHERE A STORY OR BASEMENT IS SPLIT INTO TWO OR MORE LEVELS. THE SMOKE DETECTOR SHALL BE INSTALLED IN THE UPPER LEVEL, EXCEPT THAT WHEN THE LOWER LEVEL CONTAINS A SLEEPING AREA A DETECTOR SHALL BE INSTALLED ON EACH LEVEL WHEN SLEEPING ROOMS ARE ON AN UPPER LEVEL IN CLOSE PROXIMITY TO THE STAIRWAY IN DWELLING UNITS WHERE THE CEILING HEIGHT OR A ROOM OPEN TO THE HALLWAY SERVING THE BEDROOMS EXCEEDS THAT OF THE HALLWAY BY 24 INCHES (610 MM) OR MORE. SMOKE DETECTORS SHALL BE INSTALLED IN THE HALLWAY AND IN THE ADJACENT ROOM. DETECTOR SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE DWELLING UNIT IN WHICH THEY ARE LOCATED.
INSULATION: CEILINGR-30 BATT INSULATION (NEW CONST. ONLY)
WALLSR-15 BATT INSULATION (NEW CONST. ONLY)
FLOORR-19 FLOOR INSULATION
ACCESS: UNDER FLOOR18" x 24" MIN. SQ. (IF WOOD FLOOR)
CEILING22" x 30" MIN. W/30" CLEAR HEIGHT.
WINDOWAPPROVED DOUBLE GLAZED.
NOTE: ALL OPENING, ALL DOORS, WINDOWS, ETC. TO BE CALUKED OR FULLY WEATHER STRIPPED.
- SUPPLEMENT TO TITLE 24 FOR RESIDENTIAL ADDITIONS.**
 - ROOF SHEATHING WITH RADIANT BARRIER ON UNDERSIDE OF SHEATG SHALL BE INSTALLED.
 - ALL WINDOWS SHALL HAVE A SOLAR HEAT GAIN COEFFENCY OF .40 OR BETTER
 - WALL SHEATHING @ GABLE ENDS (ABOVE CEILING) SHALL HAVE RADIANT BARRIER PER MFRG. INSTALLATION INSTRUCTIONS
 - ALL SEALING TAPE ON HEAT AC DUCTS SHALL BE UL181 (LISTED AND LABELED).
 - THE WRAPS (FOR DUCTS) MUST BE UV RESISTANT AND HAVE 150 LBS. OF BURST STRENGTH.
- WINDOWS / BATHROOM NOTES**
 - ALL NEW WINDOW TO BE APPROVED DOUBLE GLAZED (WITH BEDROOM WINDOWS HAVING A MIN. 24" x 24" SQ. OPENING). REFER TO EGRESS WINDOW DIAGRAM
 - ALL HEADERS USED OVER DOORS, WINDOW AND ANY NECESSARY OPENINGS TO BE 4 x 12 DF# 1 OR BETTER, UNLESS OTHERWISE SPECIFIED.
 - ALL GLAZING IN OR WITHIN 36" OF DOORS, OVER 9 SQUARE FEET AND WITHIN 18" OF FLOOR AND ALL GLAZING IN SHOWERS OR BATHTUBS TO BE SAFETY GLASS.
 - BATHROOM FINISH NOTE ... ENSURE A SMOOTH, HARD, NONABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 72" ABOVE THE DRAIN INLET FOR SHOWER PER CBC 1213.3
 - WATER CLOSETS IN ALL BATHROOMS TO BE MAXIMUM 1.28 GALLONS PER FLUSH.

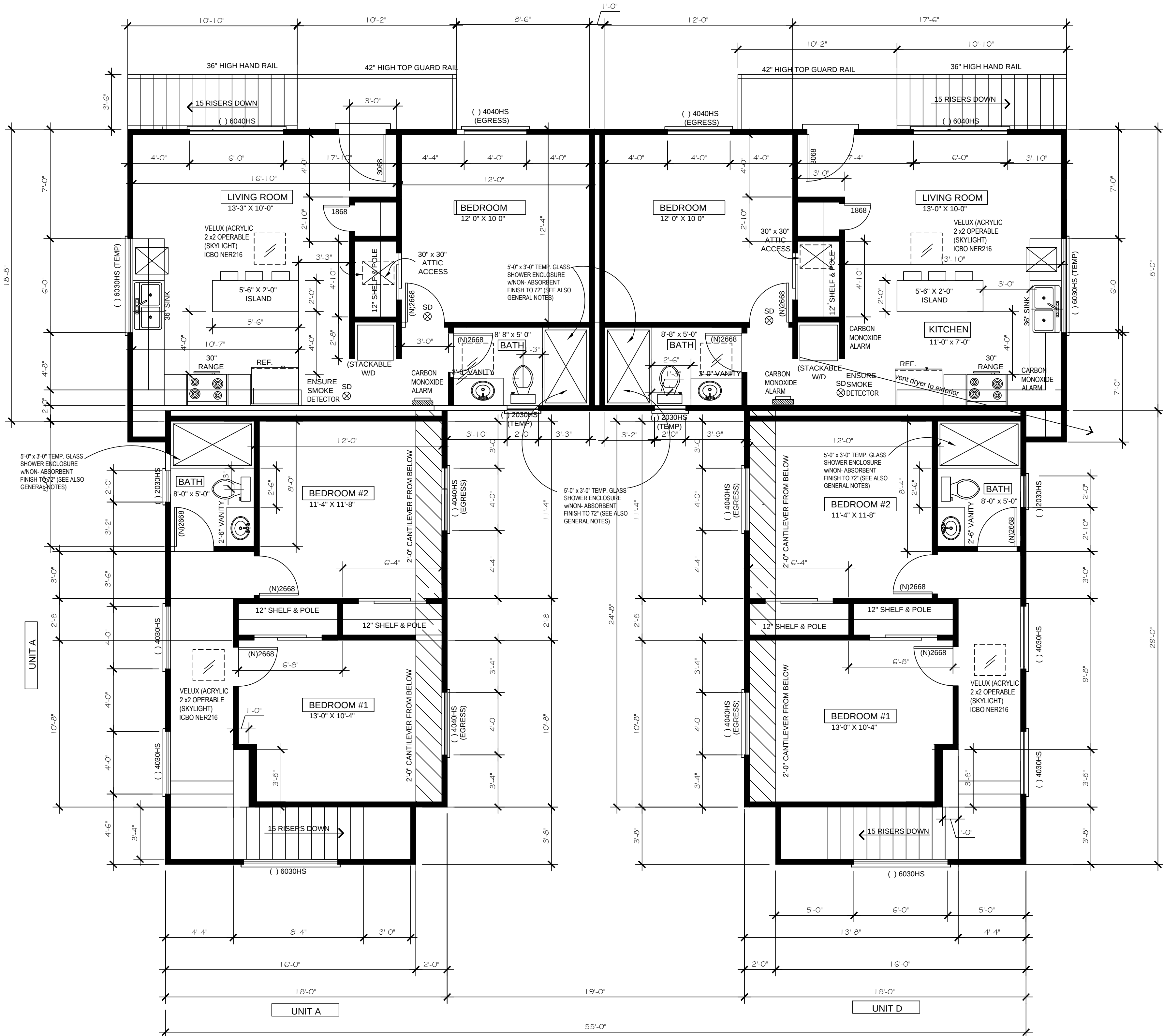
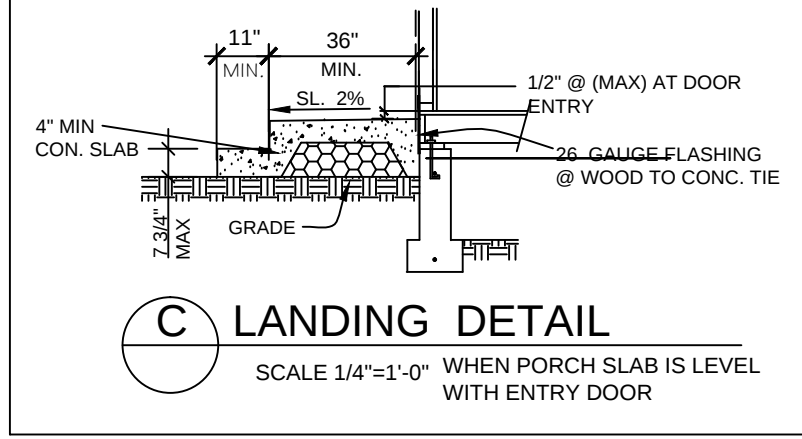
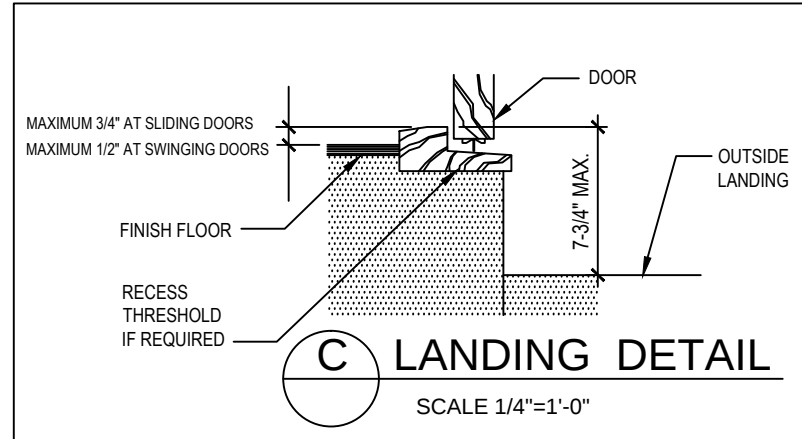
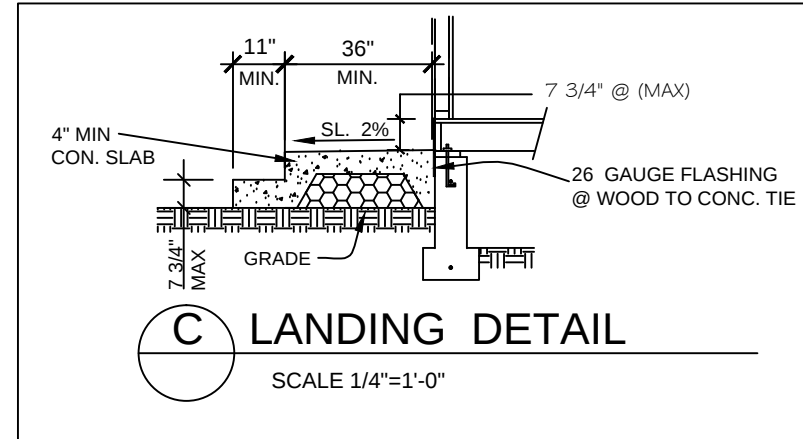
PLUMBING NOTES:

(ALL NEW ELECTRICAL WIRING SHALL BE IN ACCORDANCE WITH THE 2022 CALIFORNIA PLUMBING CODE, NATIONAL EDITION 2022)

- A... ALL WORK SHALL BE PERMITTED AND INSPECTED BY THE CITY BUILDING DEPT. AND PLUMBING DEPT.
- B... ALL FAUCETS ON ALL SINKS AND FLUSH VALVES ON ALL TOILETS SHALL HAVE A FLOW RATE IN COMPLIANCE WITH THE STATE OF CALIFORNIA C.E.C. CONSERVATION STANDARDS.
- C... ALL PLUMBING WALLS TO BE 2 x @ 16" O.C. WALL CONSTRUCTION. (UNLESS OTHERWISE NOTED).
- D... ALL NEW HOT AND COLD WATER LINES SHALL BE COPPER PIPE FOR THIS TYPE OF WORK. USE APPROVED CONNECTORS.
- E... PLUMBING SIZE REQUIRED:
1) TOILETS.....3" MIN. WASTE
2) SHOWERS.....2" MIN. WASTE
3) SINKS.....2" MIN. WASTE
4) TUBS.....2" MIN. WASTE
5) HOT / COLD WATER LINES.....3/4" MIN. COPPER
- F... PLUMBING VENTS AND CLEANOUTS
1) VENT PIPE TO BE MIN. 2" DIAMETER VENT THRU ROOF MAX.
(4) FIVE FIXTURES PER VENT.
- G... PROVIDE AT EACH ROOF VENT. A 26 GAGE, GALVANIZED STEEL, FLASHING WITH 6" SKIRTS.
- H... CLEANOUTS SHALL BE INSTALLED WHERE SHOWN ON THE DRAWINGS OR WHERE REQUIRED BY CODE AND AT ALL BENDS, ANGLES AND UPPER TERMINALS. TOPS OF COVER PLATES SHALL BE FLUSH WITH THE FINISHED FLOOR OR GRADE.
- I... ALL WALLS BEHIND SHOWERS AND TUBS TO HAVE APPROVED WATER PROOF GREEN BOARD OR WONDER BOARD OVER STUDS PRIOR TO INSTALLATION OF FIXTURES AND FINAL LAYER OF ENAMEL BASE PAINT OR VINYL TILE BACKING.
- J... TOILETS: PROVIDE 30" CLEAR WIDTH FOR WATER CLOSET COMPARTMENTS AND 24" MIN. CLEARANCE IN FRONT OF WATER CLOSET.
- K... WATER HEATERS: SHALL BE PROVIDED WITH PRESSURE TEMPERATURE RELIEF VALVE WITH DRAIN TO OUTSIDE.
- L... ALL NEW & EXISTING WATER HEATERS TO BE SEISMIC STRAPPED TO WALL AT TOP AND BOTTOM WITH 26 GAUGE GAUGE METAL STRAPS PER CBC 2022.

ADDITIONAL MECH / ELECT / PLUMBING NOTES

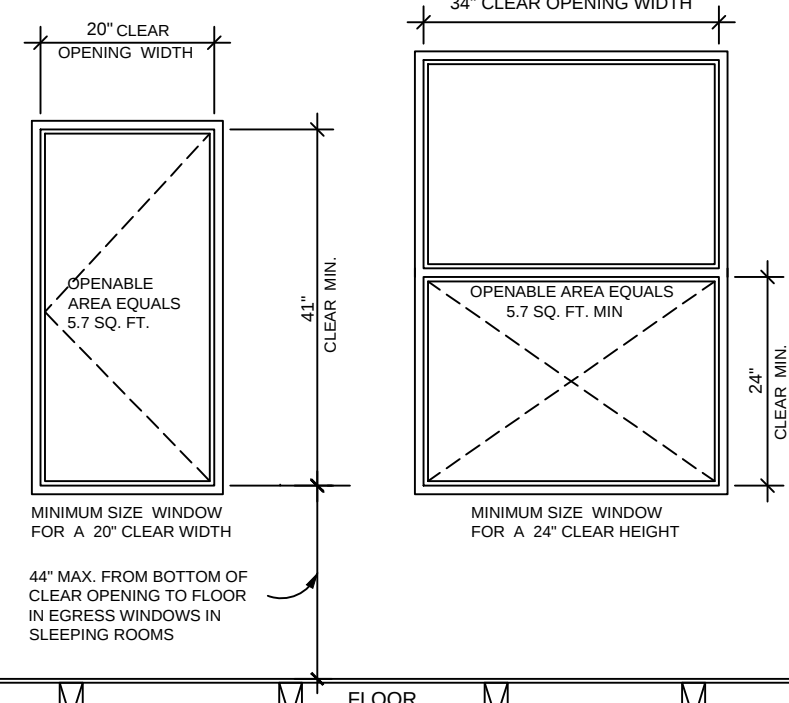
- A MINIMUM OPENING OF 100 SQUARE INCHES FOR MAKEUP AIR SHALL BE PROVIDED IN THE DOOR OR BY OTHER APPROVED MEANS. CMC SECTION 504.3.2
- PER CBC SECTION 402.2.2, SINGLE FLUSH WATER CLOSETS SHALL HAVE AN EFFECTIVE FLUSH VOLUME NOT TO EXCEED 1.28 GALLONS.
- PROVIDE A WATER TIGHT PAN OF CORROSION RESISTANT MATERIALS BENEATH THE WASHER WITH A DRAIN TO AN APPROVED LOCATION
- ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE PHASE, 15-AND 20 AMPERE RECEPTACLE OUTLETS INSTALLED IN A DWELLING UNIT LIVING, DINING AND FAMILY ROOMS, PARLORS, BEDROOMS, LIBRARIES, DEN, HALLWAYS, RECREATION ROOM, CLOSET OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTE BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT. CEC ARTICLE 210.12



PROPOSED 2ND FLOOR PLANS

SCALE: 1/4" = 1'-0"

RESIDENTIAL EGRESS WINDOWS (2022 CBC) EMERGENCY ESCAPE AND RESCUE



Because so many fire deaths occur when occupants of residential buildings are asleep at the time of a fire, the 2022 California Building Code (CBC), Section 1029 requires that:
● Basements in dwelling units and
● Every sleeping room below the fourth story
Shall have at least one operable window or exterior door opening approved for emergency escape and rescue. Such openings shall open directly into a public way or to a yard or court that opens to public way.
The net clear operable area shall be no less than 5.7 square feet (5 square feet for grade floor openings and basement window wells).
In addition to the above requirement, the net clear operable height dimension shall be a minimum of 24 inches. The net clear operable width dimension shall be a minimum of 20 inches. (Note: using both minimum figures will not obtain the required 5.7 square feet.)

GENERAL INTERIOR NOTES

- ALL LANDING AT MAIN ENTRY DOOR TO BE NOT MORE THAN 1/2" BELOW THE DOOR'S THRESHOLD PER CBC 311.3.1.
- ALL PLUMBING VENTS TO BE A MINIMUM 10 FEET AWAY FROM, OR AT LEAST 3 FEET ABOVE ANY OPERABLE SKYLIGHTS PER CPC 906.2.
- ALL BATHTUB AND SHOWER FLOORS AND WALLS TO BE FINISHED WITH A NONABSORBENT SURFACE UP TO A HEIGHT OF 6 FEET (72") ABOVE FLOOR PER CBC 307.2.
- PROVIDE EXHAUST FAN KITCHEN AREA FOR LOCAL VENTILATION. INDOOR AIR QUALITY REQUIREMENTS PER 2022 CALIFORNIA ENERGY CODE SECTION 150 (0) AND ASHRAE 62.2. OTHERWISE SPECIFY KITCHEN HOOD RANGE TO BE 100 CFM MINIMUM.
- PROVIDE CARBON MONOXIDE ALARMS OUTSIDE EACH BEDROOM PER CBC 315.2.
- ENSURE AFCI PROTECTED RECEPTACLES IN LIVING ROOM PER CEC 210.12
- ALL EXTERIOR RECEPTACLES TO BE GFCI PROTECTED.
- ALL 125-VOLT, 15-AND 20-AMPERE RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES PER CEC 406.11.
- PROVIDE SEPARATE SWITCHES FOR ALL EXHAUST FANS IN BATHROOMS PER CALIFORNIA ENERGY CODE 150(K)(6).
- ALL NEW WINDOWS SHALL HAVE A MAXIMUM U-FACTOR OF 0.30

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ELECTRICAL/ MECHANICAL LEGEND

	EXISTING WALLS		CHIME
	NEW WALLS		DOORBELL PUSHBUTTON
	WALLS TO BE REMOVED		COMB. EXHAUST & LIGHT FIXT
	CLOSE WALLS		ELECT. FAN
	DUPLEX RECEPTABLE OUTLET		HEAT LAMP
	GROUND FAULT INTERRUPT CIRCUIT		HEATER REGIST.
	DUP. REC. OUTLET W/GROUND		CEILING AIR REGISTER
	FOUR PLEX RECEPTICLE		WATER HEATER
	220 V RECEPTABLE OUTLET		FURNACE
	RECESSED CEILING LIGHT		HOSE BIBB
	HIGH EFFICACY LIGHT		CARBON MONOXIDE ALARMS
	WALL LIGHT		INTERCOM
	WATERPROOF WALL LIGHT FIXTURE		ELECT. METER & MAIN PANEL
	FLUORESCENT LIGHT		ELECTRICAL SUB-PANEL
	SMALL FLUORESCENT FIXTURE		RECESSED LIGHT
	SPOTLIGHT		DISPOSAL
	WALL SWITCH		CONCRETE
	THREE-WAY SWITCH		STUCCO
	FOUR-WAY SWITCH		EXISTING
	SMOKE DETECTOR		H.S. HORIZONTAL SLIDER
	TELEPHONE OUTLET		S.H. SINGLE HUNG
	TV CABLE OUTLET		FIX. FIXED GLASS

SPECIAL SHOWER NOTE

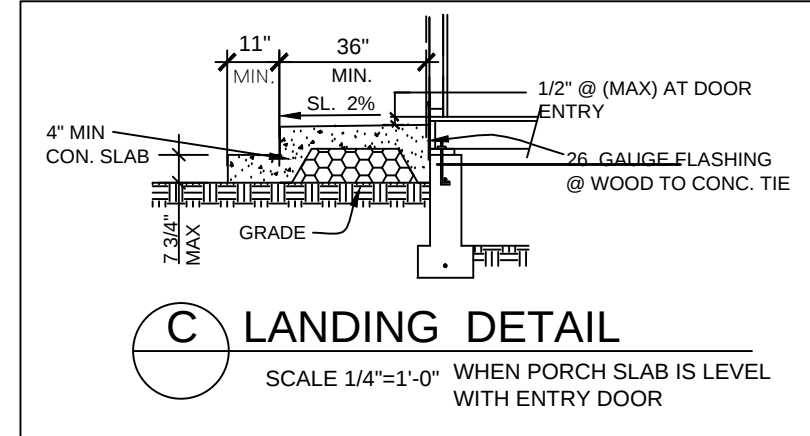
- A) . . . SHOWER PAN DIMENSIONS SHALL BE A MINIMUM AREA OF 1024 SQ. INCHES AND A MINIMUM FINISH DIMENSION OF 30 INCHES IN ANY DIRECTIONS.
- SHOWER DOORS SHALL OPEN TO MAIN FLOOR NOT LESS THAN A 22" UN OBSTRUCTED OPENING FOR EGRESS.
- TILE SHOWER ENCLOSURE TO BE FURNISHED W/ NON- ABSORBENT FINISH TO 72" ABOVE DRAIN INLET (SEE ALSO GENERAL NOTES)

ELECTRICAL NOTES

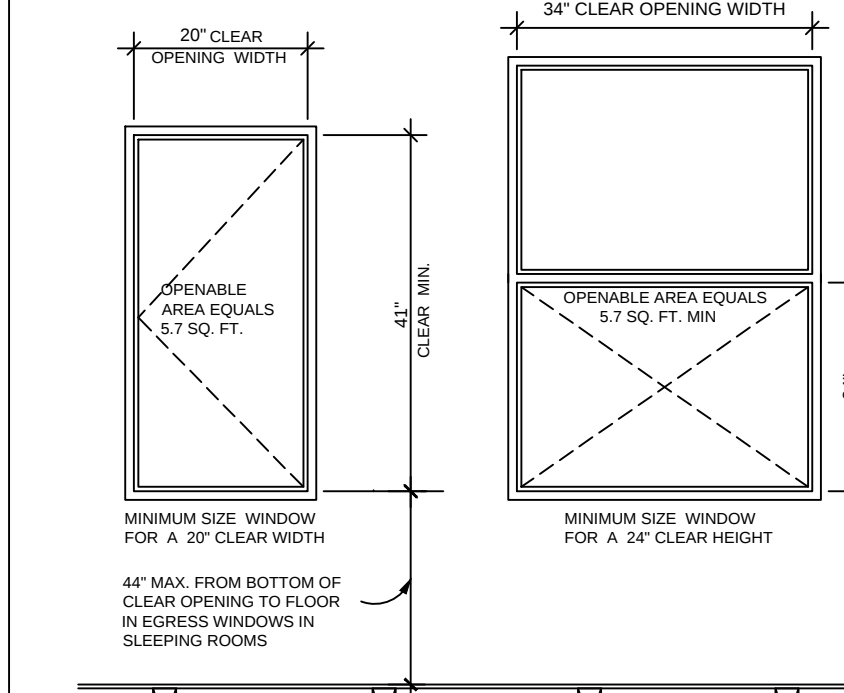
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- ALL RECEPTACLES IN BATHROOM, GARAGES, ACCESSORY BUILDINGS, OUTDOORS, CRAWL SPACES, UNFINISHED BASEMENTS, KITCHENS (WHERE RECEPTACLES SERVE COUNTER TOP SURFACES), LAUNDRY AREA, CIRCUIT INTERRUPTER (GFCI) PROTECTION. (CEC210.8)
- IN ALL AREAS SPECIFIED IN 210.52, ALL 125-VOLT, 15- AND 20- AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. (CEC406.12)

SPECIAL ELECTRICAL NOTES

- A ... All lights in the kitchen to be high efficacy luminaires or comply with the exceptions as follows:
- At least 50% of the installed wattage must be high efficacy.
 - Provide completed CF-6R-LTG-01 form confirming required wattage clearly identify on the plans the location and type of lighting fixtures in the kitchen, corresponding to the fixtures specified on the CF-6R-LTG-01.
 - High efficacy lighting must be switched separately from low efficacy lighting. Clearly show and identify switch types and locations on the plans.



RESIDENTIAL EGRESS WINDOWS (2022 CBC) EMERGENCY ESCAPE AND RESCUE



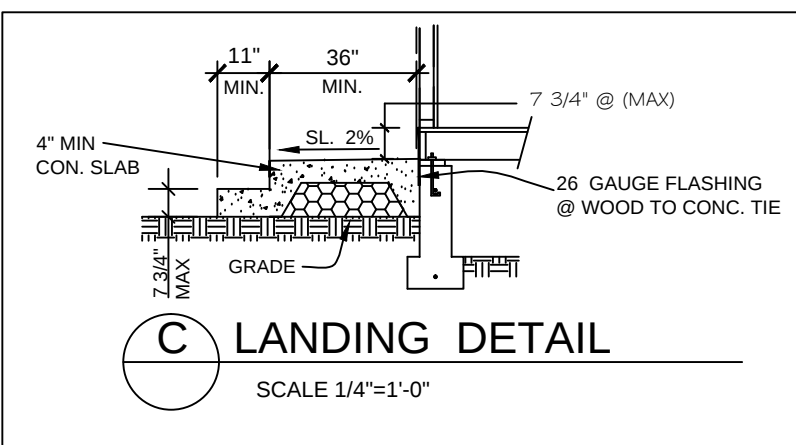
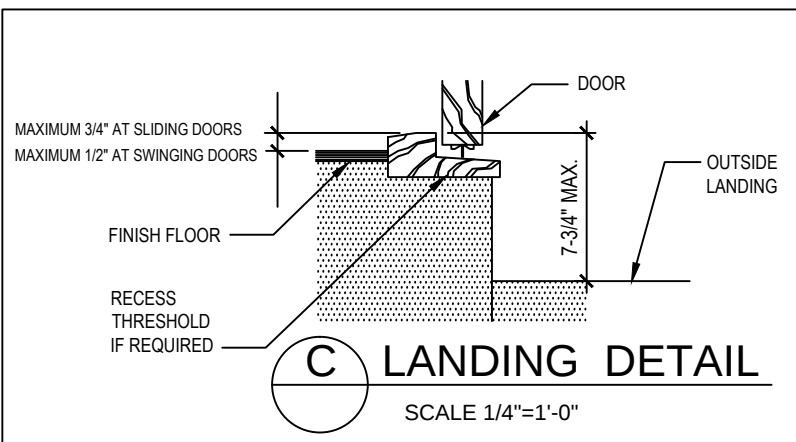
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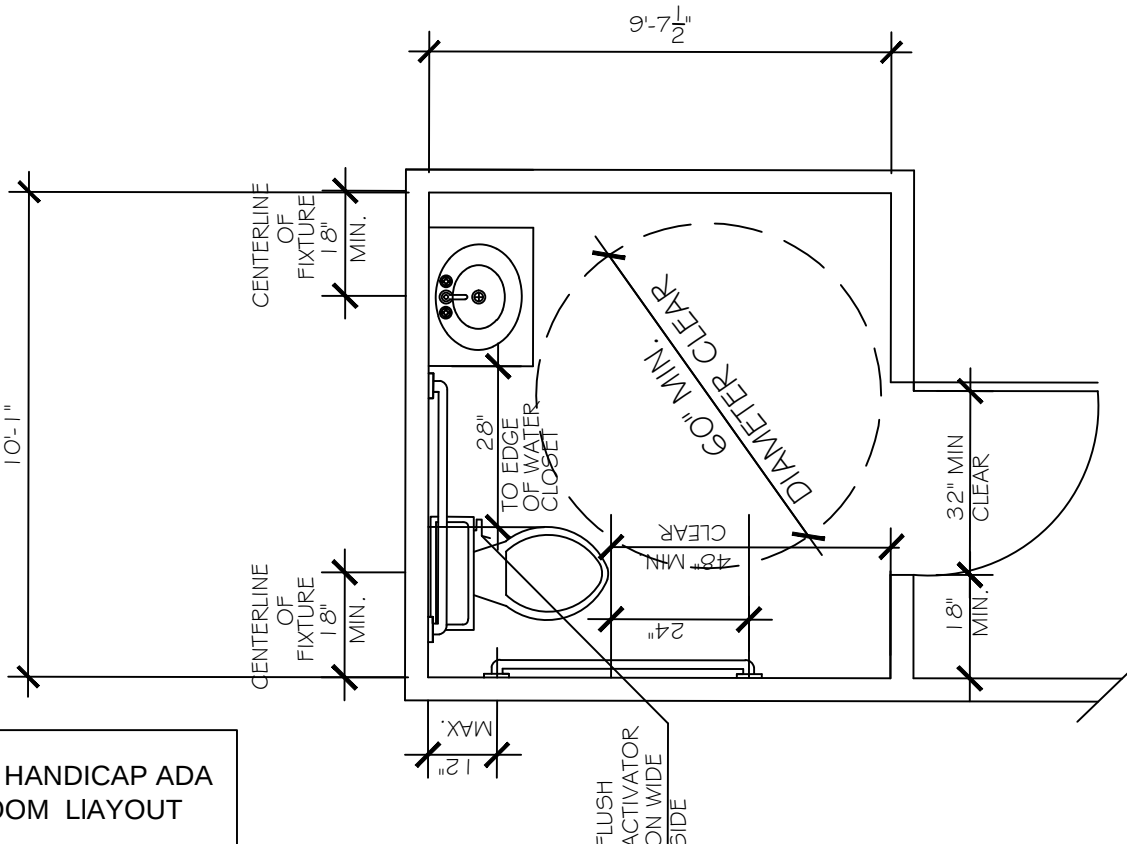
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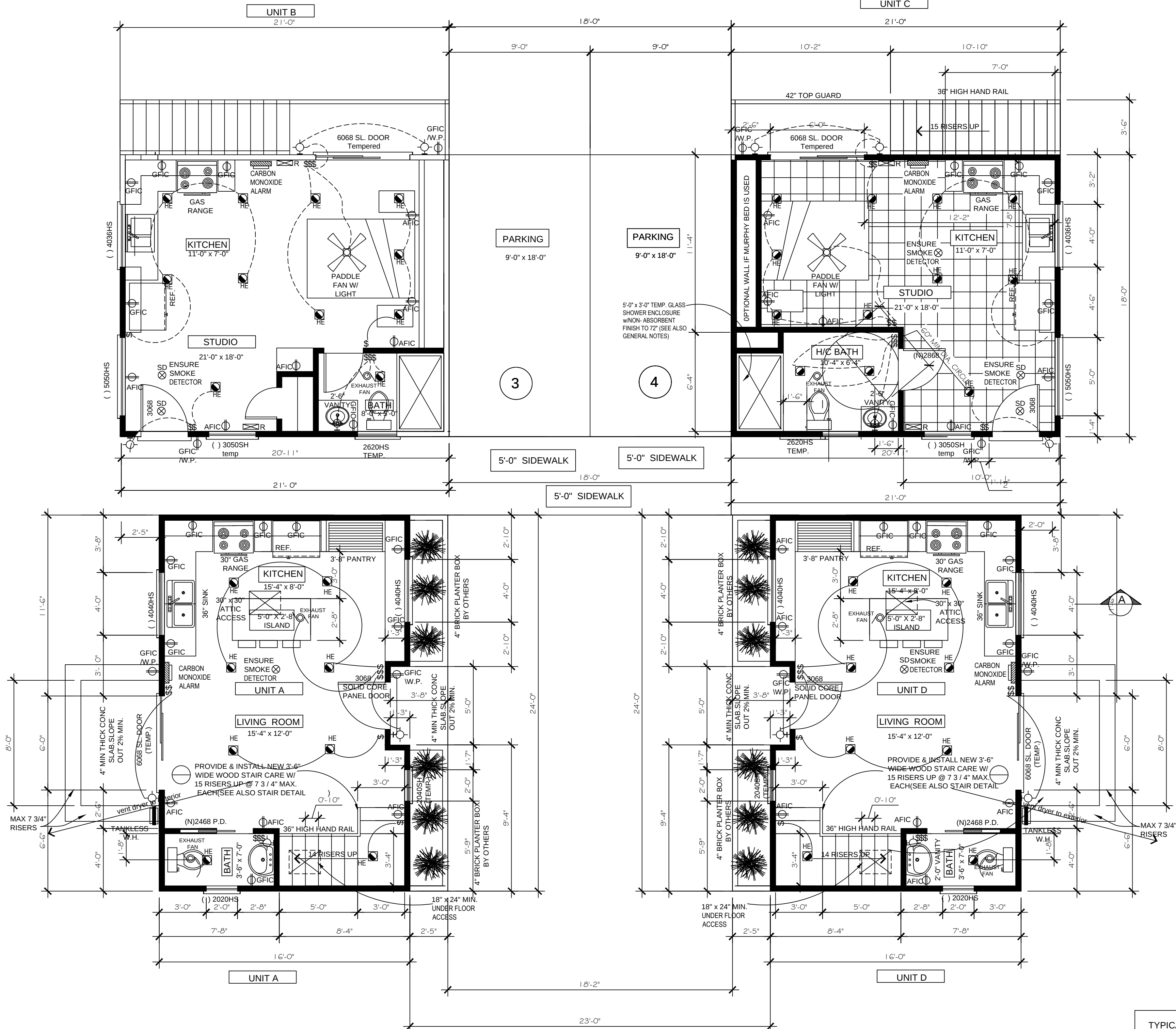
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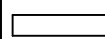
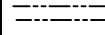
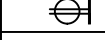
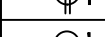
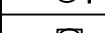
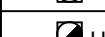
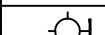
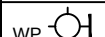
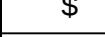
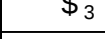
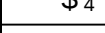
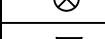
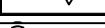
- THE BATHROOM OUTLET IS TO BE A DEDICATED CIRCUIT, PER SECTION 210.11C OF THE 2022 CEC
- THE KITCHEN COUNTERTOP OUTLETS TO HAVE A MIN OF 2 DEDICATED CIRCUITS, PER SECTION 210.52B (2) OF THE 2022 CEC
- PER SECTION 210.52C OF THE 2022 CEC, ELECTRICAL OUTLETS ARE REQUIRED TO BE SPACED SUCH THAT NO SECTION OF WALL IS MORE THAN 24-INCHES FROM AN OUTLET FOR KITCHEN COUNTERTOPS.
- ALL BEDROOM CIRCUITS SHALL BE LISTED COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTERS PROTECTED AT THE PANEL. CIRCUITS INCLUDE LUMINARY CIRCUITS, HARD-WIRED SMOKE DETECTORS, AND RECEPTACLE OUTLETS. ROOMS WITHIN BEDROOMS (SUCH AS CLOSETS AND OPEN BATHROOMS/VANITIES) SHALL ALSO BE INCLUDED. PER SECTION 210.12 (B) OF 2022 CEC.
- FAN AND LIGHTS TO HAVE SEPARATE SWITCHES PER CURRENT ENERGY CODE, SECTION 150 (K) 7 (B). THIS INCLUDES FAN/LIGHT COMBO, UNLESS EXCEPTION FROM (K) 7 (B) IS USED (FAN CONTINUING FOR EXTENDED PERIOD OF TIME AFTER LIGHT IS SWITCH OFF).

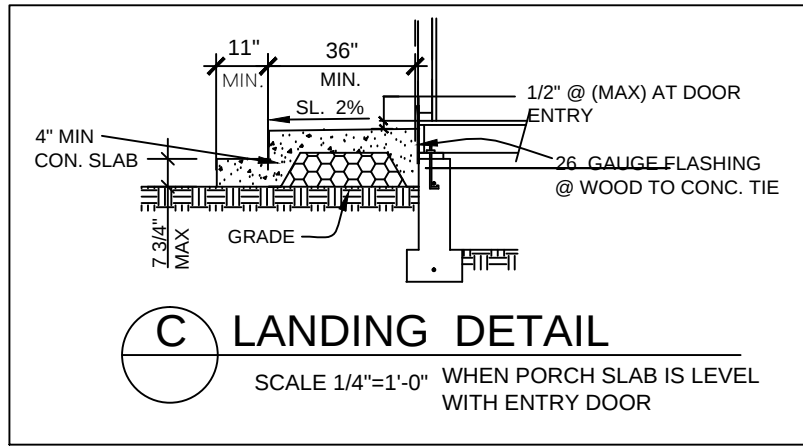
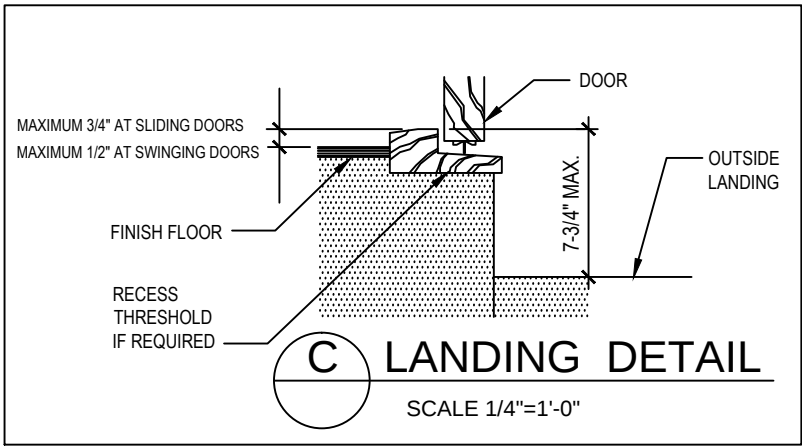
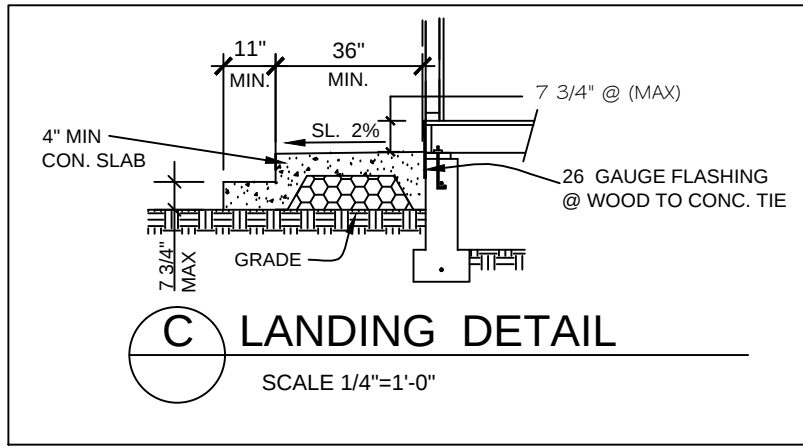


ELECTRICAL 1ST FLOOR PLANS

SCALE: 1/4" = 1'-0"



ELECTRICAL/ MECHANICAL LEGEND			
	EXISTING WALLS		CHIME
	NEW WALLS		DOORBELL PUSHBUTTON
	WALLS TO BE REMOVED		COMB. EXHAUST & LIGHT FIXT
	CLOSE WALLS		ELECT. FAN
	DUPLEX RECEPTABLE OUTLET		HEAT LAMP
GFIC	GROUND FAULT INTERRUPT CIRCUIT		HEATER REGISTER.
W.P.	DUP. REC. OUTLET W/GROUND		CEILING AIR REGISTER
	FOUR PLEX RECEPTICLE		WATER HEATER
	220 V RECEPTABLE OUTLET		FURNACE
	RECESSED CEILING LIGHT		HOSE BIBB
	HIGH EFFICACY LIGHT		CARBON MONOXIDE ALARMS
	WALL LIGHT		INTERCOM
W.P.	WATERPROOF WALL LIGHT FIXTURE		ELECT. METER & MAIN PANEL
	FLUORESCENT LIGHT		ELECTRICAL SUB-PANEL
	SMALL FLUORESCENT FIXTURE		RECESSED LIGHT
	SPOTLIGHT		DISPOSAL
	WALL SWITCH		CONCRETE
	THREE-WAY SWITCH		STUCCO
	FOUR-WAY SWITCH	(E)	EXISTING
	SMOKE DETECTOR	H.S.	HORIZONTAL SLIDER
	TELEPHONE OUTLET	S.H.	SINGLE HUNG
	TV/ CABLE OUTLET	FIX.	FIXED GLASS



SPECIAL SHOWER NOTE

A)... SHOWER PAN DIMENSIONS SHALL BE A MINIMUM AREA OF 1024 SQ. INCHES AND A MINIMUM FINISH DIMENSION OF 30 INCHES IN ANY DIRECTIONS.

SHOWER DOORS SHALL OPEN TO MAINTAIN NOT LESS THAN A 22" UN OBSTRUCTED OPENING FOR EGRESS.

TILE SHOWER ENCLOSURE TO BE FURNISHED w/ NON-ABSORBENT FINISH TO 72" ABOVE DRAIN INLET (SEE ALSO GENERAL NOTES)

SPECIAL ELECTRICAL NOTES

- 1... A MINIMUM OF ONE RECEPTACLE MUST BE INSTALLED WITHIN A RESIDENTIAL BATHROOM WITHIN 3 FEET OF THE SINK.
A)... ON THE WALL ADJACENT TO THE SINK; OR,
B)... ON THE SIDE OR FACE OF THE SINK CABINET.
- 2... BATHROOM RECEPTACLES SHALL BE INSTALL ON A 20-AMPERE BRANCH CIRCUIT THAT IS
A)... DEDICATED TO ONLY BATHROOM RECEPTACLES, OR,
B)... DEDICATED TO THE RECEPTACLES AND LIGHTING WITHIN A SINGLE BATHROOM ONLY.
- 3... PROVIDE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION FOR ALL BATHROOM RECEPTACLES
- 4... NO RECEPTACLES MAY NOT BE INSTALLED WITHIN OR DIRECTLY OVER A BATHTUB OR SHOWER STALL

ADDITIONAL... BATHROOM FIXTURE / ELECT / PLUMBING, MECH AND INSULATION NOTES

PLUMBING

1. ALL SINK FAUCETS, SHOWER HEADS, TOILETS AND URINALS SHALL COMPLY WITH CALIFORNIA CIVIL CODE SECTION 1101.8 (KITCHEN FAUCETS SHALL NOT EXCEED 1.8 MAX PER FLUSH)... LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GALLONS. SHOWER HEADS SHALL NOT EXCEED 2.0 GALLONS... AND URINALS SHALL NOT EXCEED 5 GALLONS PER FLUSH
 2. PER CPC SECTION 402.2.2, SINGLE FLUSH WATER CLOSETS SHALL HAVE AN EFFECTIVE FLUSH VOLUME NOT TO EXCEED 1.28 GALLONS.
 3. INDOOR WATER USE SHALL BE REDUCED BY AT LEAST 20% BY USING WATER SAVING FIXTURES OR FLOW RESTRICTIONS OR DEMONSTRATE A 20% REDUCTION IN BASELINE WATER PER SECTION 4.303.1
 4. ALL ADDITIONS ON OR AFTER JANUARY 1, 2014 SHALL REPLACE NON COMPLIANT PLUMBING FIXTURES WITH WATER CONSERVING PLUMBING FIXTURES
- NON-COMPLIANT PLUMBING FIXTURES SHALL BE REPLACED WITH WATER CONSERVING PLUMBING FIXTURES PER CBC SECTION 301.1.1. PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY OR FINAL PERMIT APPROVAL BY THE BUILDING DEPARTMENT

ELECTRICAL

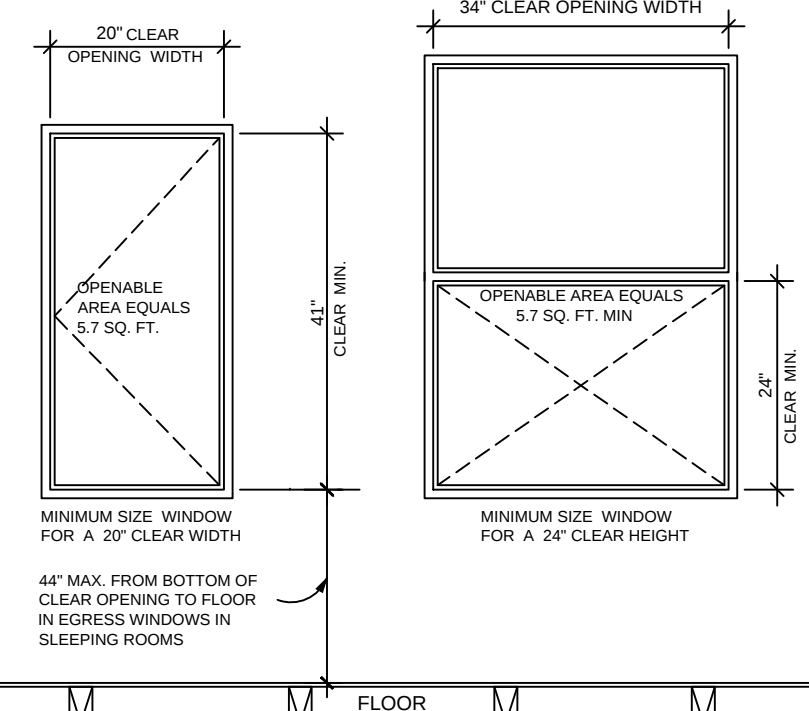
1. ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE PHASE, 15- AND 20-AMPERE RECEPTACLE OUTLETS INSTALLED IN A DWELLING UNIT LIVING, DINING AND FAMILY ROOMS, PARLORS, BEDROOMS, LIBRARIES, DEN, HALLWAYS, RECREATION ROOM, CLOSET OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT. CEC ARTICLE 210.12
2. ALL NEW AND REPLACED DUPLEX RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLE. 2022 CEC ART 406.12
3. AT LEAST TWO 20-AMP BRANCH CIRCUITS SHALL BE PROVIDED FOR SMALL KITCHEN APPLIANCES AT THE COUNTER TOP (CEC 210.52)
4. ALL RECEPTACLES IN KITCHEN AREAS TO BE GFCI TAMPER PROOF NOT TO EXCEED. 4'-0" O.C.
5. ALL EXHAUST FANS THROUGHOUT THE RESIDENCE SHALL BE SWITCHED SEPARATELY FROM ANY LIGHTING SYSTEM
6. ALL KITCHEN EXHAUST SHALL BE DUCTED TO THE EXTERIOR
7. ALL RECESSED LIGHTING FIXTURES INSTALLED IN INSULATED CEILINGS SHALL BE IC (INSULATION COVER) AND AIR TIGHT RATED AND SHALL BE SEALED BETWEEN THE FIXTURE HOUSING AND THE GYP WITH A GASKET OR CAULK. RECESSED LIGHTING FIXTURES SHALL NOT CONTAIN SCREW BASE SOCKETS. CEC 150.9(k)(1)

PLUMBING NOTES:

(ALL NEW ELECTRICAL WORK TO CONFORM TO... CALIFORNIA PLUMBING CODE, NATIONAL EDITION 2022)

- ALL WORK SHALL BE PERMITTED AND INSPECTED BY THE CITY BUILDING DEPT. AND PLUMBING DEPT.
- ALL FAUCETS ON ALL SINKS AND FLUSH VALVES ON ALL TOILETS SHALL HAVE A FLOW RATE IN COMPLIANCE WITH THE STATE OF CALIFORNIA C.E.C. CONSERVATION STANDARDS.
- ALL PLUMBING WALLS TO BE 2 x @ 16" O.C. WALL CONSTRUCTION, (UNLESS OTHERWISE NOTED).
- ALL NEW HOT AND COLD WATER LINES SHALL BE COPPER PIPE FOR THIS TYPE OF WORK, USE APPROVED CONNECTORS.
- PLUMBING SIZE REQUIRED:
1) TOILETS.....3" MIN. WASTE
2) SHOWERS.....2" MIN. WASTE
3) SINKS.....2" MIN. WASTE
4) TUBS.....2" MIN. WASTE
5) HOT / COLD WATER LINES.....3/4" MIN. COPPER
- PLUMBING VENTS AND CLEANOUTS
1) VENT PIPE TO BE MIN. 2" DIAMETER VENT THRU ROOF MAX. (4) FOUR FIXTURES PER VENT.
- PROVIDE AT EACH ROOF VENT, A 26 GAGE, GALVANIZED STEEL, FLASHING WITH 6" SKIRTS.
- CLEANOUTS SHALL BE INSTALLED WHERE SHOWN ON THE DRAWINGS OR WHERE REQUIRED BY CODE AND AT ALL BENDS, ANGLES AND UPPER TERMINALS, TOPS OF COVER PLATES SHALL BE FLUSH WITH THE FINISHED FLOOR OR GRADE.
- ALL WALLS BEHIND SHOWERS AND TUBS TO HAVE APPROVED WATER PROOF GREEN BOARD OR WONDER BOARD OVER STUDS PRIOR TO INSTALLATION OF FIXTURES AND FINAL LAYER OF ENAMEL BASE PAINT OR VINYL TILE BACKING.
- TOILETS: PROVIDE 30" CLEAR WIDTH FOR WATER CLOSET COMPARTMENTS AND 24" MIN. CLEARANCE IN FRONT OF WATER CLOSET.
- WATER HEATERS: SHALL BE PROVIDED WITH PRESSURE TEMPERATURE RELIEF VALVE WITH DRAIN TO OUTSIDE.
- ALL NEW & EXISTING WATER HEATERS TO BE SEISMIC STRAPPED TO WALL AT TOP AND BOTTOM WITH 26 GAUGE GAUGE METAL STRAPS PER CBC 2022.

RESIDENTIAL EGRESS WINDOWS (2022 CBC) EMERGENCY ESCAPE AND RESCUE

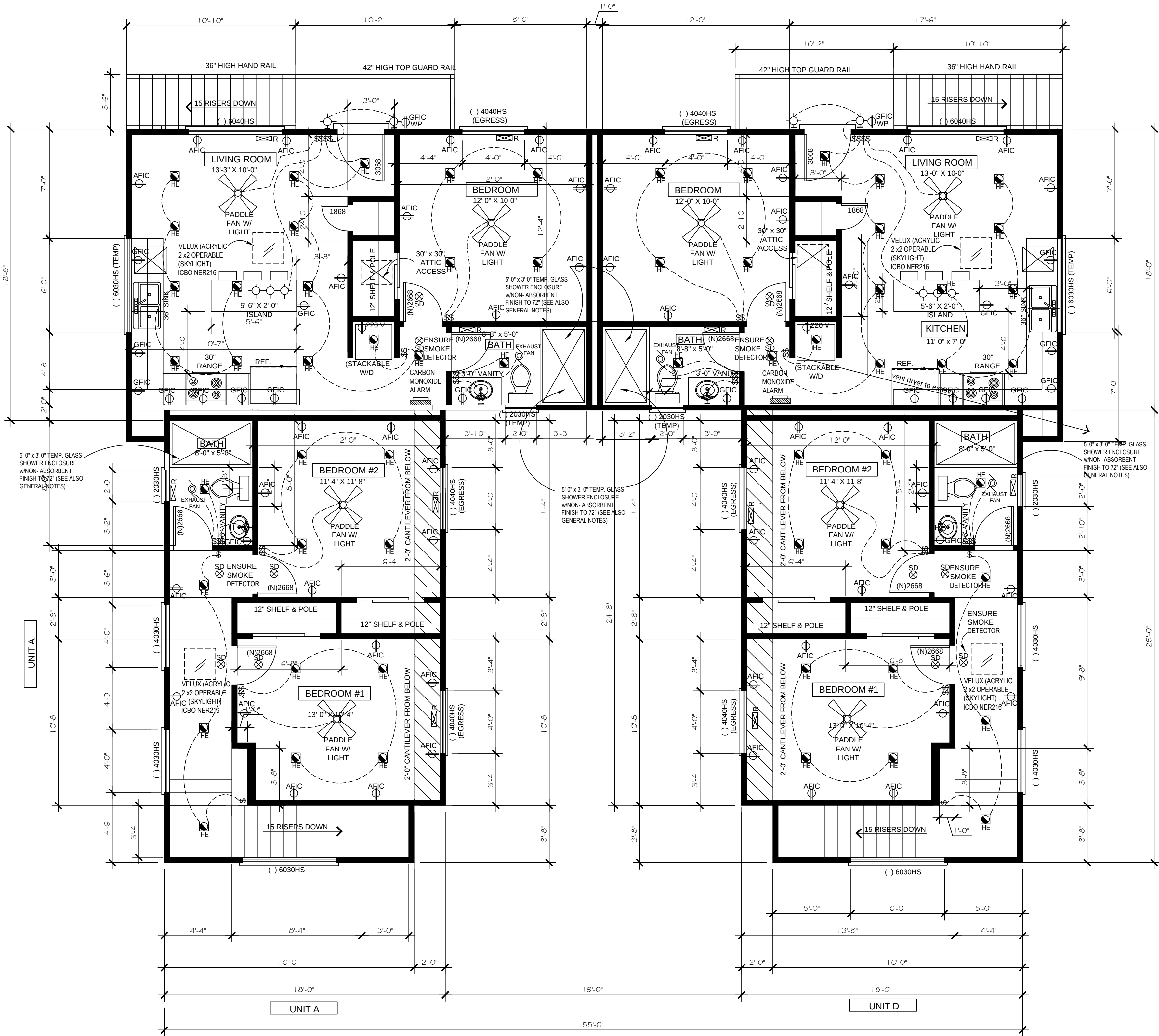


Because so many fire deaths occur when occupants of residential buildings are asleep at the time of a fire, the 2022 California Building Code (CBC), Section 1029 requires that:

- Basements in dwelling units and
 - Every sleeping room below the fourth story
- Shall have at least one operable window or exterior door opening approved for emergency escape and rescue. Such openings shall open directly into a public way or to a yard or court that opens to public way.

The net clear operable area shall be no less than 5.7 square feet (5 square feet for grade floor openings and basement window wells).

In addition to the above requirement, the net clear operable height dimension shall be a minimum of 24 inches. The net clear operable width dimension shall be a minimum of 20 inches. (Note: using both minimum figures will not obtain the required 5.7 square feet.)



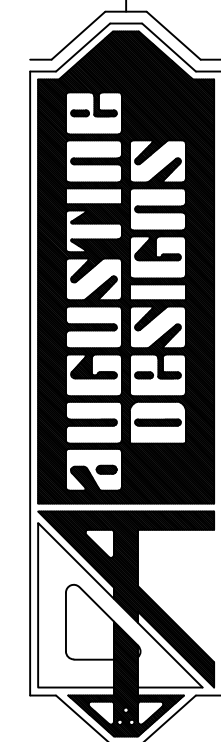
ELECTRICAL 2ND FLOOR PLANS

SCALE: 1/4" = 1'-0"

REVISIONS

DATE:

Professional Design Consultants
3033 Moorpark Ave. #1 San Jose, CA 95128
(408) 294-7060



OWNER
HBD APARTMENTS
224 PALM AVENUE
MARINA, CA. 93933
(831) 601-6861

PROPOSED 6 UNIT
RESIDENTIAL COMPLEX

DATE: 2 -20 -2023

SCALE: 1/4" = 1'-0"

DRAWN: BRA

JOB:

7

OF SHEETS

FLOOR JOISTS NOTES

1. THE ALLOWABLE SPANS FOR HORIZONTAL LOAD BEARING MEMBERS SHALL BE TAKEN AS THE CLEAR HORIZONTAL DISTANCE BETWEEN SUPPORTS.
2. ALL JOIST SHALL HAVE MINIMUM BEARING OF 1 1/2" INCHES WHEN SUPPORTED ON WOOD OR METAL AND THREE INCHES BEARING ON MASONRY WALLS EXCEPT WHEN SUPPORTED ON A RIBBON BOARD AND NAILED SECURELY TO THE ADJOINING STUD.
3. ALL FLOOR JOISTS UNDER AND PARALLEL TO BEARING PARTITIONS SHALL BE DOUBLED, SPIKED TOGETHER OR MAY BE SEPARATED BY SOLID BLOCKING NO MORE THAN FOUR FEET ON CENTER TOO PERMIT THE PASSAGE OF PIPES.
4. SOLID BLOCKING NOT LESS THAN TWO INCHES THICK AND THE FULL DEPTH OF THE JOISTS SHALL BE PROVIDED OVER EACH SUPPORT AND THE ENDS OF EACH JOIST.
5. HEADER JOISTS OVER SIX FEET LONG AND TAIL JOISTS OVER 12 FEET LONG SHALL BE HUNG IN APPROVED JOISTS HANGERS. TRIMMERS AND HEADERS MORE THAN FOUR FEET LONG SHALL BE DOUBLED.
6. NOTICES ON THE END OF JOISTS SHALL NOT EXCEED ONE-FOURTH THE JOIST DEPTH. HOLES BORED IN JOISTS SHALL NOT BE WITHIN TWO INCHES OF THE TOP OR BOTTOM OF THE JOIST AND DIAMETER OF ANY SUCH HOLES SHALL NOT EXCEED ONE-THIRD THE DEPTH OF JOIST. NOTCHES IN THE TOP OR BOTTOM OF JOISTS SHALL NOT EXCEED ONE SIXTH THE DEPTH AND SHALL NOT TO BE LOCATED IN THE MIDDLE THIRD OF THE SPAN.
7. ALL JOISTS AND BEAMS SHALL BE KEPT NOT LESS THAN TWO INCHES FROM ALL FLUES AND CHIMNEYS EXCEPT THAT REDUCTION TO ONE INCH IS PERMITTED FOR FIREPLACES AND CHIMNEYS IN EXTERIOR WALLS, AND AT LEAST TWO INCHES FROM BACK OF FIREPLACES. ALL SPACES BETWEEN CHIMNEYS AND WOOD FRAMING AT FLOORS, CEILINGS AND ROOF SHALL BE FIRE STOPPED WITH NONCOMBUSTIBLE MATERIAL.

UNIT "A"

UNDERFLOOR VENTILATION

ENSURE 1 SF MIN UNDERFLOOR VENTILATION FOR EACH 150 S.F. OF UNDERFLOOR AREA

FORMULA

AREA OF NEW UNDERFLOOR
378 S.F. ÷ 150 S.F. = 3.52
3.52 S.F. X 144 S.I. = 363
(144 SQUARE INCHES = 1 S.F.) =
(AREA OF VENT) = (6 X14) 84 SI

MIN. UNDERFLOOR VENTS
REQUIRED: 6 MIN.
6 NEW VENTS MIN. @ 6" x 14"
x 1/4" WWM 10/10 MESH EACH.

UNIT "D"

UNDERFLOOR VENTILATION

ENSURE 1 SF MIN UNDERFLOOR VENTILATION FOR EACH 150 S.F. OF UNDERFLOOR AREA

FORMULA

AREA OF NEW UNDERFLOOR
378 S.F. ÷ 150 S.F. = 3.52
3.52 S.F. X 144 S.I. = 363
(144 SQUARE INCHES = 1 S.F.) =
(AREA OF VENT) = (6 X14) 84 SI

MIN. UNDERFLOOR VENTS
REQUIRED: 6 MIN.
6 NEW VENTS MIN. @ 6" x 14"
x 1/4" WWM 10/10 MESH EACH.

UNIT "B"

UNDERFLOOR VENTILATION

ENSURE 1 SF MIN UNDERFLOOR VENTILATION FOR EACH 150 S.F. OF UNDERFLOOR AREA

FORMULA

AREA OF NEW UNDERFLOOR
352 S.F. ÷ 150 S.F. = 2.34
2.34 S.F. X 144 S.I. = 338
(144 SQUARE INCHES = 1 S.F.) =
(AREA OF VENT) = (6 X14) 84 SI

MIN. UNDERFLOOR VENTS
REQUIRED: 5 MIN.
5 NEW VENTS MIN. @ 6" x 14"
x 1/4" WWM 10/10 MESH EACH.

UNIT "C"

UNDERFLOOR VENTILATION

ENSURE 1 SF MIN UNDERFLOOR VENTILATION FOR EACH 150 S.F. OF UNDERFLOOR AREA

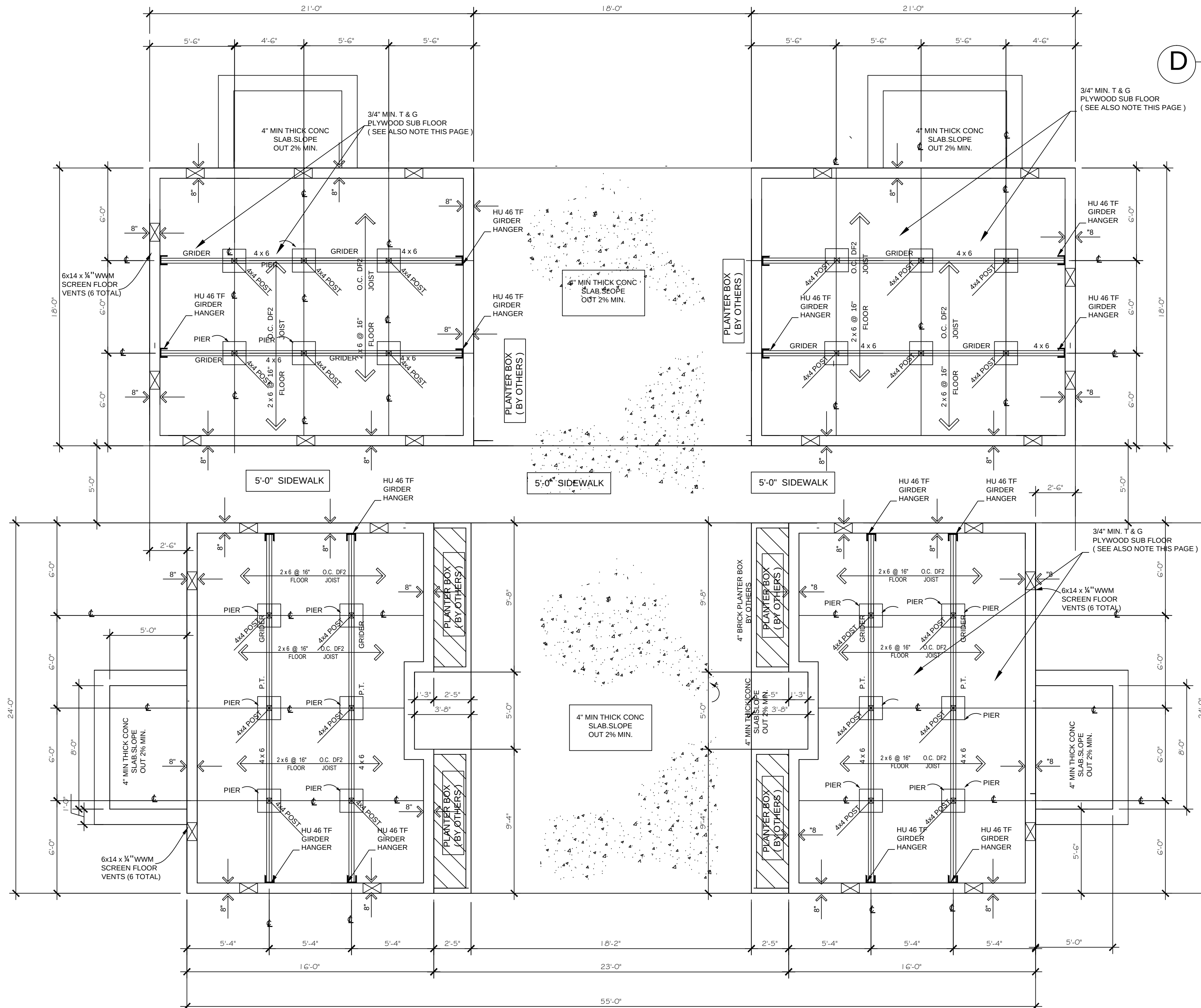
FORMULA

AREA OF NEW UNDERFLOOR
378 S.F. ÷ 150 S.F. = 3.52
3.52 S.F. X 144 S.I. = 363
(144 SQUARE INCHES = 1 S.F.) =
(AREA OF VENT) = (6 X14) 84 SI

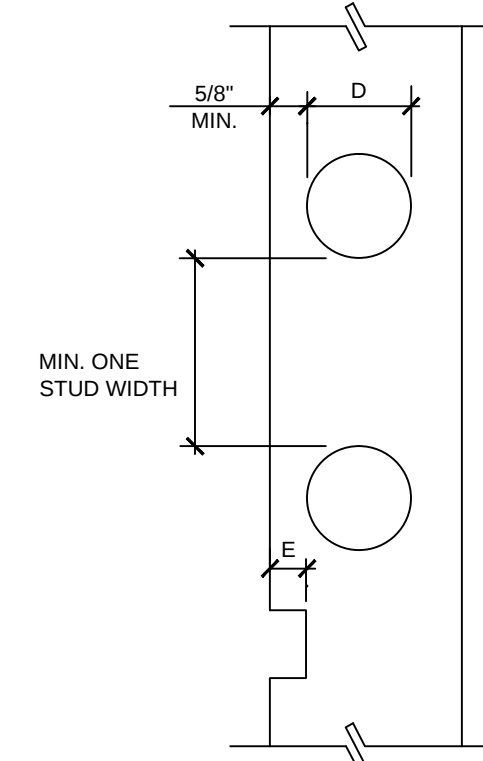
MIN. UNDERFLOOR VENTS
REQUIRED: 6 MIN.
6 NEW VENTS MIN. @ 6" x 14"
x 1/4" WWM 10/10 MESH EACH.

CONCRETE AND FOUNDATION NOTES:

- A. All concrete shall be regular weight, 5 sack mix, and have a minimum 28-day compressive strength of 2,500 PSI, unless specifically noted otherwise on the plans. Maximum slump shall be 4 inches. Type II cement per ASTM C150.
- J. All reinforcing steel to be ASTM A615, deformed bars, as follows, (unless otherwise noted on the plans):
#4 # smaller, gr. 40
#5 # larger, gr. 60
- K. Minimum cover for all rebar is:
3" for concrete cast against the earth
2" for formed concrete against the earth
1.5" concrete not exposed to earth or weather
- L. Minimum lap for staggered contact splices of rebar is 48 bar diameters.
- N. Anchor bolts shall be as a minimum: 5/8" dia. X 12" long., spaced at 4'-0" O.C. They shall have a minimum embedment of 8" into the concrete, and be configured with a standard hook or "J" at the embedded end. 1/2" X 3 1/2" embedded HILTI-KWIK II bolts may be substituted for 5/8" dia. Anchor bolts unless specifically prohibited by the engineer or local building department. A minimum of two bolts shall be placed per sill piece, within 12" of each end. Anchor bolts less than 1 1/2" from the sill edge shall be replaced with an expansion anchor. See the plans for special anchor bolt spacing requirements per shear wall schedules. All anchor bolts to be A307 steel, grade "A" unless otherwise noted.
- O. Expansion anchor bolts shall not be installed until concrete has reached its full design strength.
- P. For shear wal and holdown locations, coordinate with floor plan on dwg. No. 2
- Q. For shear wall fastener schedule, see detail 1 on this drawing.
- R. For exact location of posts, coordinate with roof framing plan on dwg. No. 4 and with floor plan on dwg. No. 2. Face of posts shall be flush with face of studs unless otherwise noted.



D ALLOWABLE HOLES & NOTCHES IN LOAD-BEARING STUDS



NOTES:
IF THE BORED HOLE DIAMETER EXCEEDS 40% OF THE STUD WIDTH DOUBLE UP THE STUDS, PROVIDED THAT THE HOLE DIAMETER IS LESS THAN 60% OF THE STUD WIDTH AND NOT MORE THAN TWO SUCH SUCCESSIVE DOUBLE STUDS ARE SO BORED.
-BORED HOLES SHALL NOT BE LOCATED AT THE SAME SECTION OF STUD AS A CUT OR NOTCH.

SIZE	D (IN)	E (IN)
2x4	1-3/8"	7/8"
2x6	2-3/16"	1-3/8"

PLYWOOD FLOOR SHEATHING:

B: PLYWOOD FLOOR SHEATHING SHALL BE 3/4" CDX STURD-I-FLOOR APA RATED SHEATHING EXPOSURE 1 USING 10D NAILS OR EQUIVALENT WOOD SCREWS AT 6" O.C. MAX. EDGE NAILING, 10" O.C. MAX. FIELD NAILING. PLYWOOD TO APPLY WITH FACE GRAIN PERPENDICULAR TO FRAMING MEMBERS BELOW. STAGGER ADJACENT PANELS BY 4 FEET.

PLYWOOD SUB FLOOR SHEATHING:

A..... PLYWOOD FLOOR SHEATHING SHALL BE 3/4" CDX STURD-I-FLOOR APA RATED SHEATHING EXPOSURE 1 USING 10D NAILS OR EQUIVALENT WOOD SCREWS AT 6" O.C. MAX. EDGE NAILING, 10" O.C. MAX. FIELD NAILING. PLYWOOD TO APPLY WITH FACE GRAIN PERPENDICULAR TO FRAMING MEMBERS BELOW. STAGGER ADJACENT PANELS BY 4 FEET.

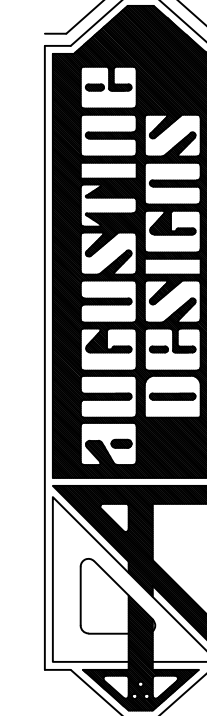
PROPOSED FOUNDATION PLANS (FOR REFERENCE ONLY ... SEE ALSO STRUCTURAL SHEETS)

SCALE: 1/4" = 1'-0"

REVISIONS

DATE:

Professional Design Consultants
3033 Moorpark Ave., #1 San Jose, CA 95128
(408) 274-7666



OWNER
HBD APARTMENTS
224 PALM AVENUE
MARINA, CA. 93933
(831) 601 - 6861

PROPOSED 6 UNIT
RESIDENTIAL COMPLEX

DATE: 2-19-2023

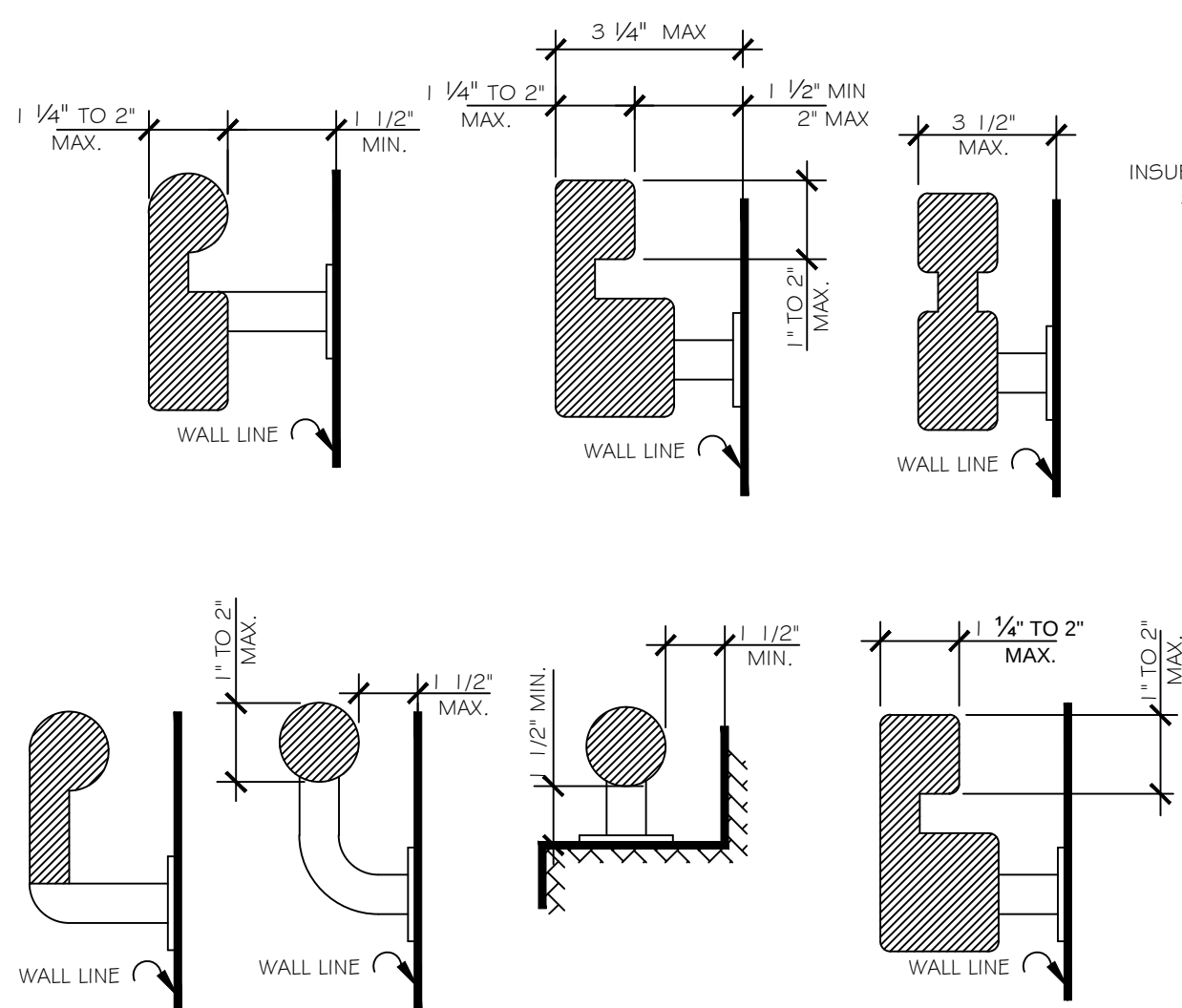
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DRAWN: BRA

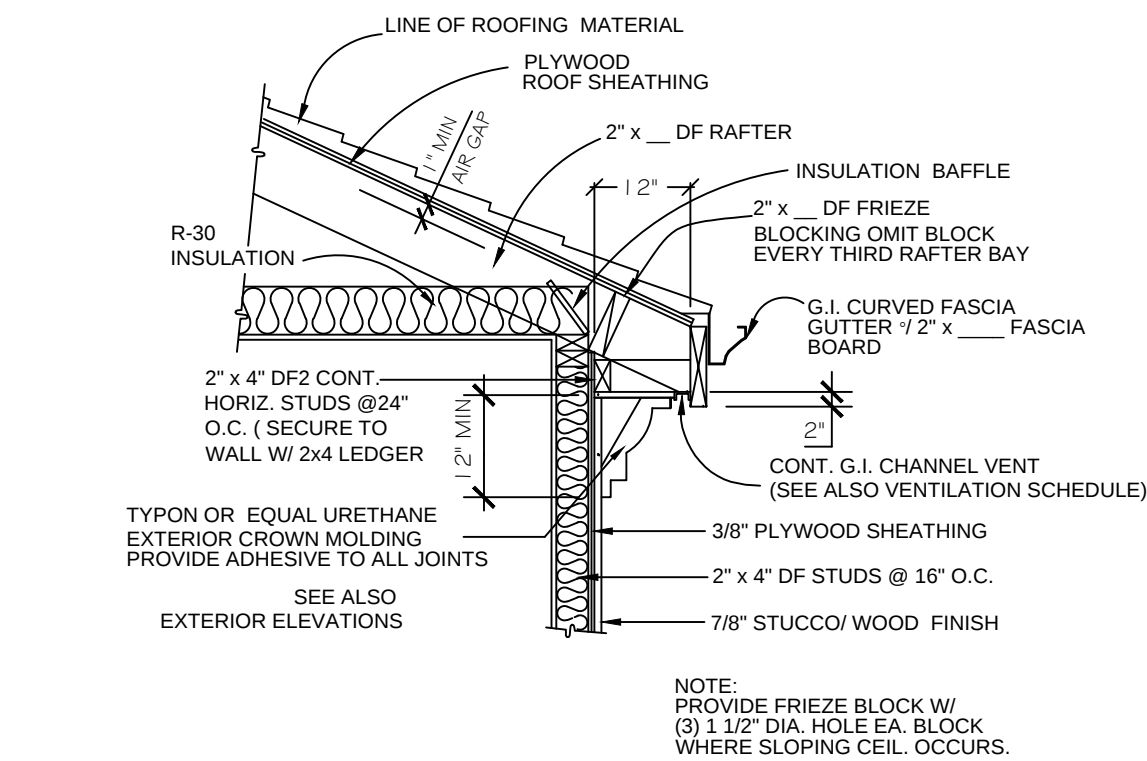
JOB:

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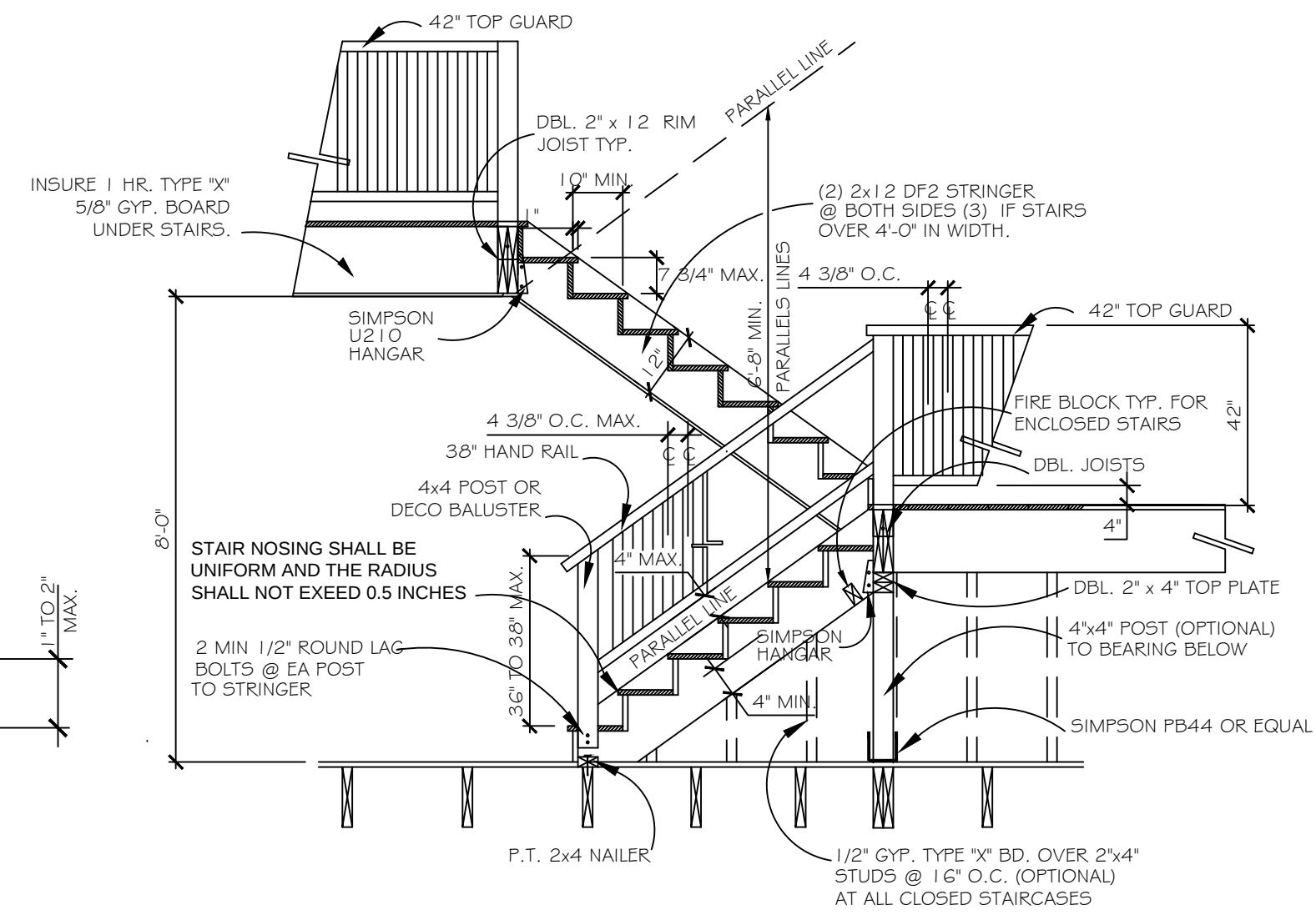
OF SHEETS



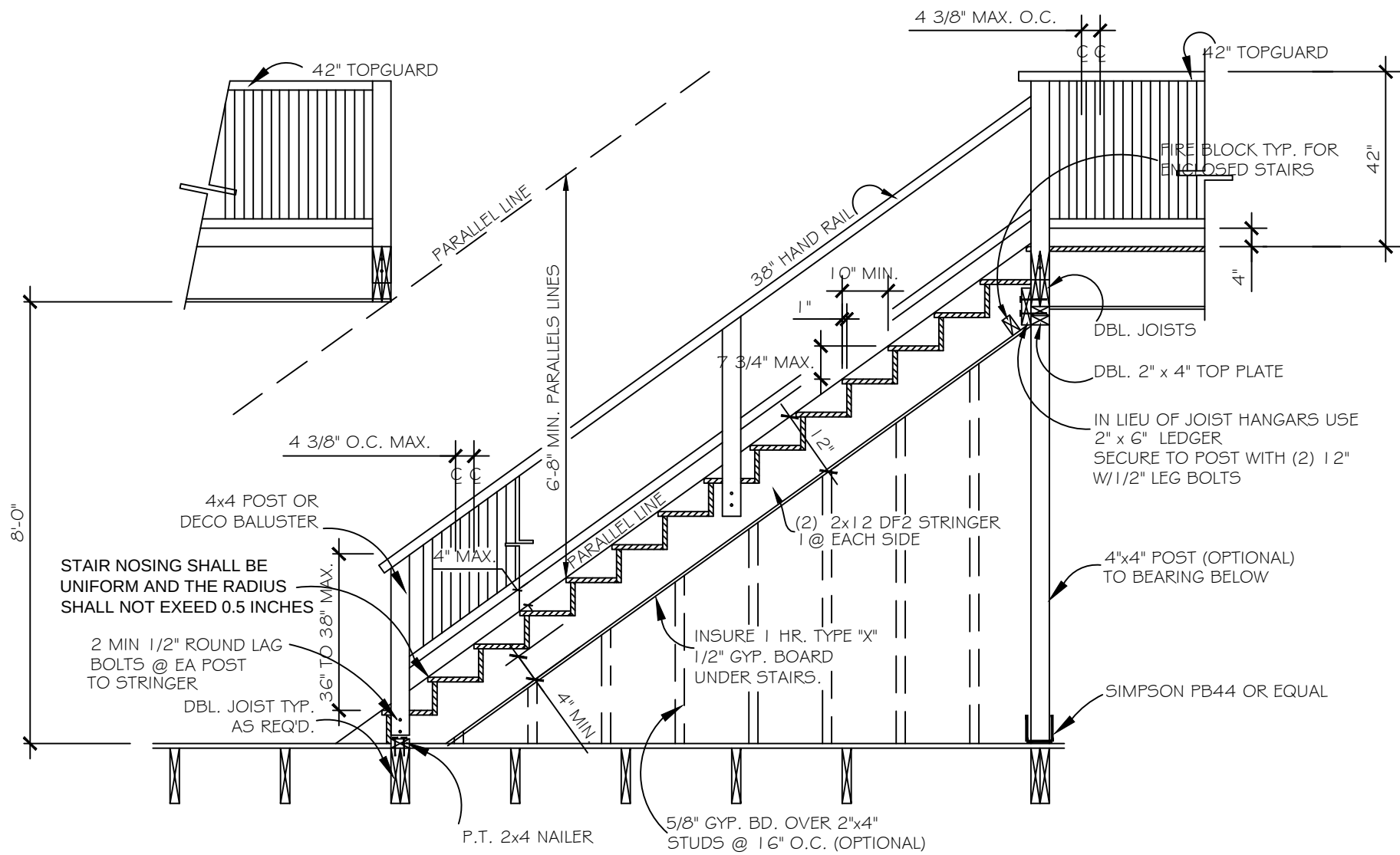
J HAND RAIL OPTIONS
N.T.S.



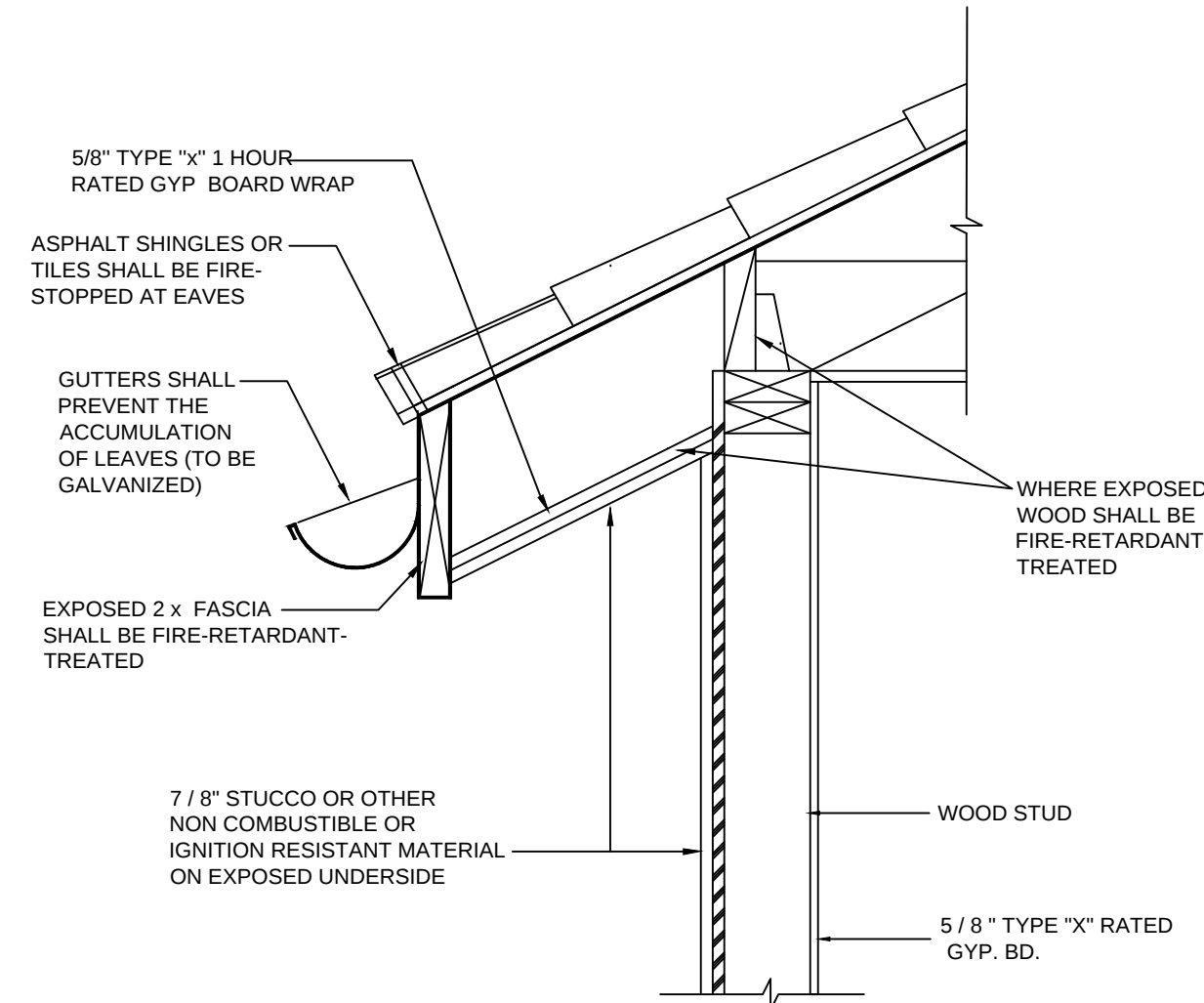
E BOX SOFFIT/ TRIM DETAIL
NOT TO SCALE (ALTERNATE DETAIL)



A STANDARD STAIR SECTION
SCALE: 3/8" = 1'-0" (REVERSE RUN)



B STANDARD STAIR SECTION
SCALE: 3/8" = 1'-0"



R 1 HR RATED EAVE DETAIL
NOT TO SCALE

NO OPENINGS OR VENT HOLES TO BE PERMITTED WITHIN 5' 0" OF PROPERTY LINE. ANY VENTILATION TO BE PROVIDED WITH EYEBROW OR RIDGE VENTING.

ATTIC VENTILATION NOTE

ENSURE 1 SF MIN. OF ATTIC VENTILATION FOR EACH 150 S.F. OF ATTIC AREA.

FORMULA

AREA OF NEW ATTIC

598 S.F. + 150 S.F. = 3.98

3.98 S.F. X 144 S.I. = 574 S.I.

(144 SQUARE INCHES = 1 S.F.) = " "

(AREA OF VENT) = (8 X 22) 176

TOTAL ATTIC VENTS REQUIRED: 4 MIN.

6 NEW VENTS MIN. @ 8" x 22"

x 1/4" WWM 10/10 MESH EACH.

NOTE: ENSURE 50% OF TOTAL VENTILATION AT UPPER ROOF PORTION. VENTILATION CAN BE ACCOMPLISHED BY USE OF: 1) COVERED GABLE VENTS 2) EYEBROW VENTS AND 3) EVE VENTS. IF SO, CONTRACTOR TO RADIAN BARRIER AT BACK OF GABLE VENTS AND APPROVED WWM BUG SCREEN.

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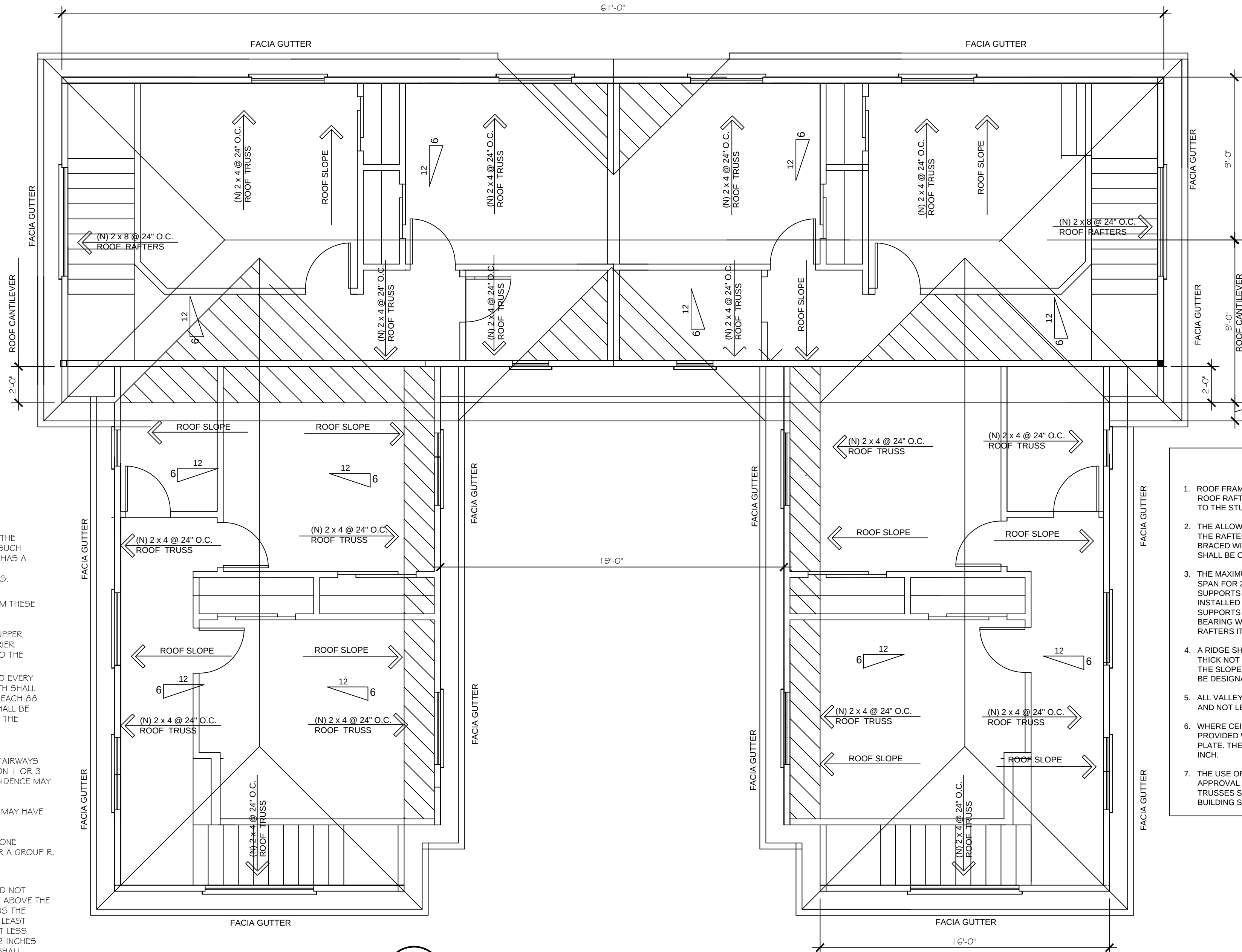
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STAIRWAYS

- [WIDTH]** THE MINIMUM STAIRWAY WIDTH SHALL NOT BE LESS THAN 44 INCHES (1118 MM). STAIRWAYS SERVING AN OCCUPANT LOAD OF 49 OR LESS SHALL NOT BE LESS THAN 36 INCHES (914 MM) IN WIDTH. HANDRAILS MAY PROJECT INTO THE REQUIRED WIDTH A DISTANCE OF 3 1/2 INCHES (89 MM) FROM EACH SIDE OF A STAIRWAY. STRINGERS AND OTHER PROJECTIONS SUCH AS TRIM AND SIMILAR DECORATIVE FEATURES MAY PROJECT INTO THE REQUIRED WIDTH 1 1/2 INCHES (38 MM) EACH SIDE.
- [RISE AND RUN]** THE RISE OF STEPS SHALL NOT BE LESS THAN 4 INCHES (102 MM) OR GREATER THAN 7 INCHES (178 MM). THE RUN SHALL NOT BE LESS THAN 11 INCHES (279 MM) AS MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FURTHERMOST PROJECTION OF ADJACENT TREADS. THE LARGEST TREAD RUN WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCHES (9.5 MM). THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCHES (9.5 MM).
EXCEPTIONS:
A: PRIVATE STEPS AND STAIRWAYS SERVING AN OCCUPANT LOAD OF LESS THAN 10 AND ST AIRWAYS TO UNOCCUPIED ROOFS MAY BE CONSTRUCTED WITH AN 7 3/4 INCH MAXIMUM RISE AND A 10 INCH MINIMUM RUN.
B: WHERE THE BOTTOM OR TOP RISER ADJOINS A SLOPING PUBLIC WAY, WALK OR DRIVE WAY HAVING AN ESTABLISHED GRADE AND SERVING AS A LANDING THE BOTTOM OR TOP RISER MAY BE REDUCED ALONG THE SLOPE TO LESS THAN 4 INCHES (102 MM) IN HEIGHT WITH THE VARIATION IN HEIGHT OF THE BOTTOM OR TOP RISER NOT TO EXCEED 3 INCHES (76 MM) IN EVERY 3 FEET (914 MM) OF STAIRWAY WIDTH.
- [WINDING STAIRWAYS]** IN WINDERS MAY BE USED IF THE REQUIRED WIDTH OF RUN IS PROVIDED AT A POINT NOT MORE THAN 12 INCHES (305 MM) FROM THE SIDE OF THE STAIRWAY WHERE THE TREADS ARE NARROWER, BUT IN NO CASE SHALL ANY WIDTH OF RUN BE LESS THAN 6 INCHES (152 MM) AT ANY.
- [CIRCULAR STAIRWAYS]** CIRCULAR STAIRWAYS MAY BE USED AN EXIT PROVIDED THE MINIMUM WIDTH OF RUN IS NOT LESS THAN 10 INCHES (254 MM) AND THE SMALLER RADIUS IS NOT LESS THAN TWICE THE WIDTH OF THE STAIRWAY. THE LARGEST TREAD WIDTH OR RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCHES (9.5 MM).
- [SPIRAL STAIRWAYS]** SPIRAL STAIRWAYS MAY BE INSTALLED SUCH STAIRWAYS MAY BE USED FOR REQUIRED EXITS WHEN THE AREA SERVED IS LIMITED TO 400 SQUARE FEET (37.16 SQ. METERS).
THE TREAD MUST PROVIDE A CLEAR WALKING AREA MEASURING AT LEAST 26 INCHES (660 MM) FROM THE OTHER EDGE OF THE SUPPORTING COLUMN TO THE INNER EDGE OF THE HANDRAIL. A RUN OF AT LEAST 7 1/2 INCHES (191 MM) IS TO BE PROVIDED AT A POINT 12 INCHES (305 MM) FROM WHERE THE TREAD IS THE NARROWEST. THE RISE MUST BE SUFFICIENT TO PROVIDE 6-FOOT 6-INCHES (1981 MM) HEADROOM. THE RISE SHALL NOT EXCEED 9 1/2 INCHES (241 MM).
- [LANDINGS]** EVERY LANDING SHALL HAVE A DIMENSION MEASURED IN THE DIRECTION OF TRAVEL NOT LESS THAN THE WIDTH OF THE STAIRWAY. SUCH DIMENSION NEED NOT EXCEED 44 INCHES (1118 MM) WHEN THE STAIR HAS A STRAIGHT RUN. THERE SHALL NOT BE MORE THAN 12 FEET (3659 MM) VERTICALLY BETWEEN LANDINGS. FOR LANDING WITH ADJOINING DOORS, SEE SECTION 1004.10.
EXCEPTION: STAIRS SERVING AN UNOCCUPIED ROOF ARE EXEMPT FROM THESE PROVISIONS.
- [STAIRWAYS]** WHEN A BASEMENT STAIRWAY AND A STAIRWAY TO AN UPPER STORY TERMINATE IN THE SAME EXIT ENCLOSURE, AN APPROVED BARRIER SHALL BE PROVIDED TO PREVENT PERSONS FROM CONTINUING ON INTO THE STAIRWAY.
- [HANDRAILS]** STAIRWAYS SHALL HAVE HANDRAILS ON EACH SIDE, AND EVERY STAIRWAY REQUIRED TO BE MORE THAN 66 INCHES (2235 MM) IN WIDTH SHALL BE PROVIDED WITH NOT LESS THAN ONE INTERMEDIATE HANDRAIL FOR EACH 66 INCHES (2235 MM) OF REQUIRED WIDTH. INTERMEDIATE HANDRAILS SHALL BE SPACED APPROXIMATELY EQUALLY ACROSS WITH THE ENTIRE WIDTH OF THE STAIRWAY.
EXCEPTIONS:
A: STAIRWAY LESS THAN 44 INCHES (1118 MM) IN WIDTH OR STAIRWAYS SERVING ONE INDIVIDUAL DWELLING UNIT IN GROUP R DIVISION 1 OR 3 OCCUPANCIES OR A GROUP R DIVISION 3 CONGREGATE RESIDENCE MAY HAVE ONE HANDRAIL.
B: PRIVATE STAIRWAY 30 INCHES (762 MM) OR LESS IN HEIGHT MAY HAVE HANDRAILS ON ONE SIDE ONLY.
C: STAIRWAYS HAVING LESS THAN FOUR RISERS AND SERVING ONE INDIVIDUAL DWELLING UNIT IN GROUP R DIVISION 1 OR 3, OR A GROUP R DIVISION 3 CONGREGATE RESIDENCE OR SERVING GROUP U OCCUPANCIES NEED NOT HAVE HANDRAILS.
- THE TOP OF HANDRAILS AND HANDRAIL EXTENSIONS SHALL BE PLACED NOT LESS THAN 34 INCHES (864 MM) OR MORE THAN 36 INCHES (965 MM) ABOVE THE NOSING OF TREADS AND LANDINGS. HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS AND EXCEPT FOR PRIVATE STAIRWAYS, AT LEAST ONE HANDRAIL SHALL EXTEND IN THE DIRECTION OF THE STAIR RUN NOT LESS THAN 12 INCHES (305 MM) BEYOND THE TOP RISER NOR LESS THAN 12 INCHES (305 MM) BEYOND THE BOTTOM RISER. END SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POST OR SAFETY TERMINALS.
- THE HANDGRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1 1/4 (32 MM) INCHES NOR MORE THAN 2 INCHES (51 MM) IN CROSS-SECTIONAL DIMENSION OR THE SHAPE PROVIDE AN EQUIVALENT GRIPPING SURFACE. THE HANDGRIP PORTION OF HANDRAILS SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS.



PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"

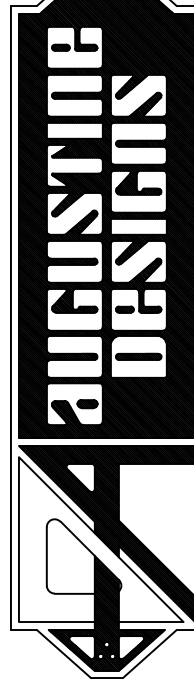
ROOF FRAMING NOTES

- ROOF FRAMING AND TRUSSES SHALL BE EFFECTIVELY ANGLE-BRACED ROOF RAFTERS, WHEN SUPPORTED ON A RIBBON, SHALL BE WELL NAILED TO THE STUDS. TRUSSES SHALL NOT BE NAILED TO INTERIOR WALLS.
- THE ALLOWABLE SPAN OF ROOF RAFTERS SHALL BE MEASURED ALONG THE RAFTER FROM PLATE TO RIDGE EXCEPT THAT WHERE RAFTERS ARE BRACED WITH PURLINS AND STRUTS TO BEARING PARTITIONS, THE SPAN SHALL BE MEASURED BETWEEN PURLINS.
- THE MAXIMUM SPAN FOR 2 x 4 PURLINS IS FOUR FEET. THE MAXIMUM SPAN FOR 2 x 6 PURLINS IS SIX FEET. THE MINIMUM SIZE FOR PURLING SUPPORTS (KICKERS) IS 2 x 4. SHALL BE INSTALLED VERTICAL OR MAY BE INSTALLED AT ANGLE UP TO 45% MEASURED FROM VERTICAL. ALL PURLIN SUPPORTS (KICKERS) SHALL BE CONNECTED TO THE TOP PLATE OF A BEARING WALL. IN NO CASE SHALL A PURLIN BE LESS IN SIZE THAN THE RAFTERS IT SUPPORTS.
- A RIDGE SHALL BE INSTALLED AT ALL RIDGES AT LEAST TWO INCHES THICK NOT LESS IN DEPTH THAN THE END CUT OF THE RAFTER. WHERE THE SLOPE OF THE ROOF IS LESS THAN 3:12 THE RIDGE MEMBER SHALL BE DESIGNATED AS A LOAD-BEARING MEMBER.
- ALL VALLEY AND HIP RAFTERS SHALL BE NOT LESS THAN 2 INCHES THICK AND NOT LESS IN DEPTH THAN THE END CUT OF THE RAFTER.
- WHERE CEILING JOISTS RUN OPPOSITE TO RAFTERS, RAFTERS SHALL BE PROVIDED WITH CROSS TIES AT 48 INCHES ON CENTER PLACED NEAR THE PLATE. THE MINIMUM SIZE FOR THE CROSS TIES SHALL BE 1 INCH BY 4 INCH.
- THE USE OF ROOF TRUSSES SHALL REQUIRE BUILDING SAFETY DIVISION APPROVAL OF ENGINEERING DESIGN, DETAILS AND CALCULATIONS. TRUSSES SHALL NOT BE CUT WITHOUT REVIEW AND APPROVAL FROM THE BUILDING SAFETY DIVISION.

REVISIONS

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224 PALM AVENUE
MARINA, CA. 93933
(831) 601 - 6861

PROPOSED 6 UNIT
RESIDENTIAL COMPLEX

DATE: 2-20-2023

SCALE: 1/4" = 1'-0"

DRAWN: BRA

JOB:

9

OF SHEETS

DATE:

**PROPOSED 6 UNIT
RESIDENTIAL COMPLEX**

DB:

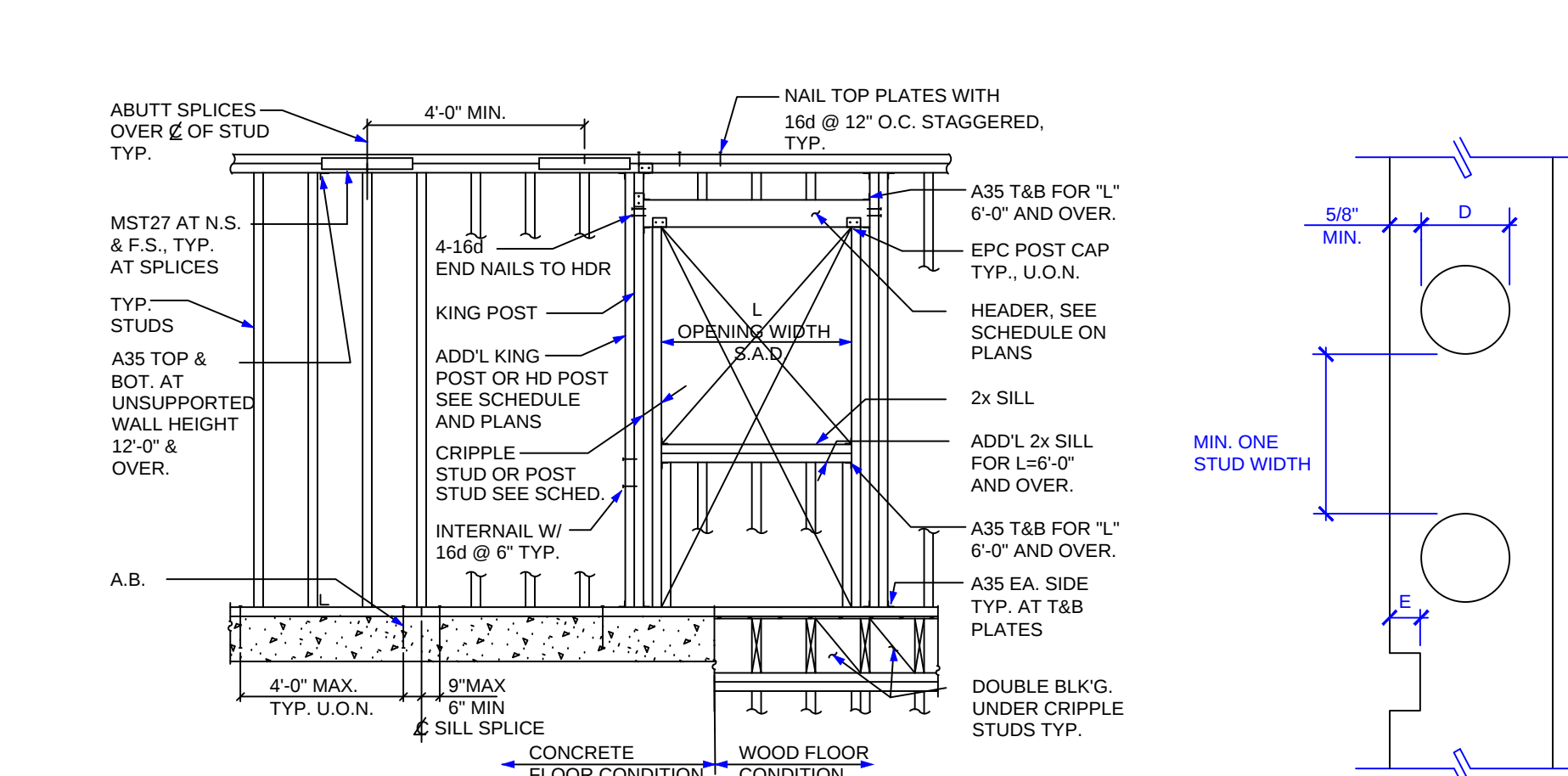
SHEETS

- ## ATTIC VENTILATION NOTE
- ENSURE 1 SF MIN ATTIC VENTILATION FOR EACH 150 S.F. OF ATTIC AREA
- FORMULA**
- AREA OF NEW ATTIC
- $$S.F. + 150 S.F. =$$
- $$S.F. \times 144 \text{ S.I.} =$$
- (144 SQUARE INCHES = 1 F.S.I.) = _____
- (AREA OF VENT) = _____
- TOTAL ATTIC VENT REQUIRED = _____
- NEW VENTS MIN @ 12" x 14" x 1/4" WWM/100 MESH EGGS
- NOTE:
ENSURE 50% OF TOTAL VENTILATION AT UPPER ROOF PORTION: VENTILATION CAN BE ACCOMPLISHED BY USE OF: 1) COVERED GABLE VENTS, 2) EYEBROW VENTS AND 3) EAVE VENTS. IF SO, CONTRAST TO RADIANT BARRIER AT BACK OF GABLE VENTS AND APPROVED WWM BUG SCREEN.

B CROSS SECTION
SCALE: 1/4" = 1'-0"

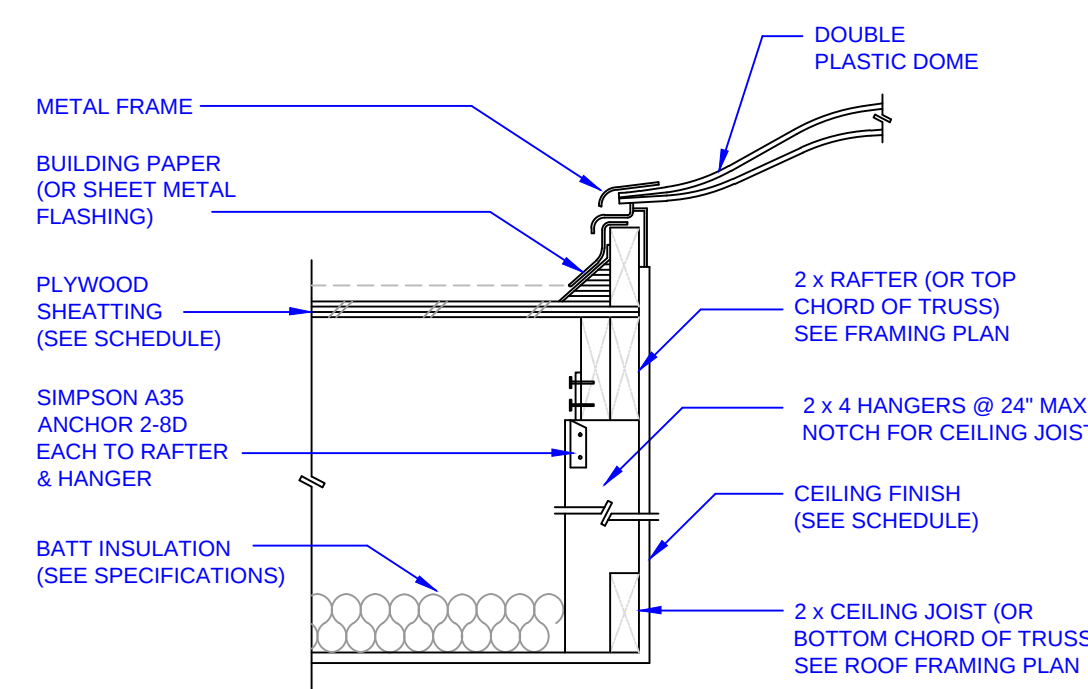
NO OPENINGS OR VENT HOLES TO BE PERMITTED WITHIN 4' 0" OF PROPERTY LINE .ANY VENTILATION TO BE PROVIDED WITH EYEBROW OR RIDGE VENTING

69



TYP. OPENING WIDTH (MAX.)	ALL WALLS			EXTERIOR WALL			INTERIOR WALL		
	KING POST	CRIPPLE STUDS/POSTS	CRIPPLE STUDS/POSTS	KING POST	CRIPPLE STUDS/POSTS	CRIPPLE STUDS/POSTS	KING POST	CRIPPLE STUDS/POSTS	CRIPPLE STUDS/POSTS
≤ 3'-0"	(1)2x4	(1)2x4	(1)2x4	(1)2x4	(1)2x4	(1)2x4	(1)2x4	(1)2x4	(1)2x4
4'-0"	(2)2x4	(2)2x4	(2)2x4	(2)2x4	(2)2x4	(2)2x4	(2)2x4	(2)2x4	(2)2x4
6'-0"	(2)2x4	(2)2x4	(2)2x4	(2)2x4	(2)2x4	(2)2x4	(2)2x4	(2)2x4	(2)2x4
12'-0"	(3)2x4	(3)2x4	(3)2x4	(3)2x4	(3)2x4	(3)2x4	(3)2x4	(3)2x4	(3)2x4
16'-0"	(3)2x4	(3)2x4	(3)2x4	(3)2x4	(3)2x4	(3)2x4	(3)2x4	(3)2x4	(3)2x4

W TYPICAL WALL FRAMING ELEVATION
NOT TO SCALE
REVISED 1-23-2019



SKYLIGHT/ LIGHTWELL ATACHMENT DETAIL (SEE ALSO)

- PLUMBING NOTES:**
(ALL NEW ELECTRICAL WORK TO CONFORM TO CALIFORNIA PLUMBING CODE, NATIONAL EDITION 2022).
- A... ALL WORK SHALL BE PERMITTED AND INSPECTED BY THE CITY BUILDING DEPT. AND PLUMBING DEPT.
- B... ALL FAUCETS ON ALL SINKS AND FLUSH VALVES ON ALL TOILETS SHALL HAVE A FLOW RATE IN COMPLIANCE WITH THE STATE OF CALIFORNIA C.E.C. CONSERVATION STANDARDS.
- C... ALL PLUMBING WALLS TO BE 2" x 16" O.C. WALL CONSTRUCTION. (UNLESS OTHERWISE NOTED).
- D... ALL NEW HOT AND COLD WATER LINES SHALL BE COPPER PIPE FOR THIS TYPE OF WORK. USE APPROVED CONNECTORS.
- E... PLUMBING SIZE REQUIRED:
1) TOILETS.....2" MIN. WASTE
2) SHOWERS.....2" MIN. WASTE
3) SINKS.....2" MIN. WASTE
4) TUBS.....2" MIN. WASTE
5) HOT/ COLD WATER LINES.....3/4" MIN. COPPER
- F... PLUMBING VENTS AND CLEANOUTS
1) VENT PIPE TO BE MIN. 2" DIAMETER VENT THRU ROOF MAX.
(4) FOUR FIXTURES PER VENT.
- G... PROVIDE AT EACH ROOF VENT. A 26 GAGE. GALVANIZED STEEL, FLASHING WITH 6" SKIRTS.
- H... CLEANOUTS SHALL BE INSTALLED WHERE SHOWN ON THE DRAWINGS OR WHERE REQUIRED BY CODE AND AT ALL BENDS, ANGLES AND UPPER TERMINALS. TOPS OF COVER PLATES SHALL BE FLUSH WITH THE FINISHED FLOOR OR GRADE.
- I... ALL WALLS BEHIND SHOWERS AND TUBS TO HAVE APPROVED WATER PROOF GREEN BOARD OR WONDER BOARD OVER STUDS PRIOR TO INSTALLATION OF FIXTURES AND FINAL LAYER OF ENAMEL PAINT OR VINYL TILE BACKING.
- J... TOILETS: PROVIDE 30" CLEAR WIDTH FOR WATER CLOSET COMPARTMENTS AND 24" MIN. CLEARANCE IN FRONT OF WATER CLOSET.
- K... WATER HEATERS: SHALL BE PROVIDED WITH PRESSURE TEMPERATURE RELIEF VALVE WITH DRAIN TO OUTSIDE.
- L... ALL NEW & EXISTING WATER HEATERS TO BE SEISMIC STRAPPED TO WALL AT TOP AND BOTTOM WITH 26 GAUGE GAUGE METAL STRAPS PER CBC 2022.

SPECIAL TITLE - 24 NOTES

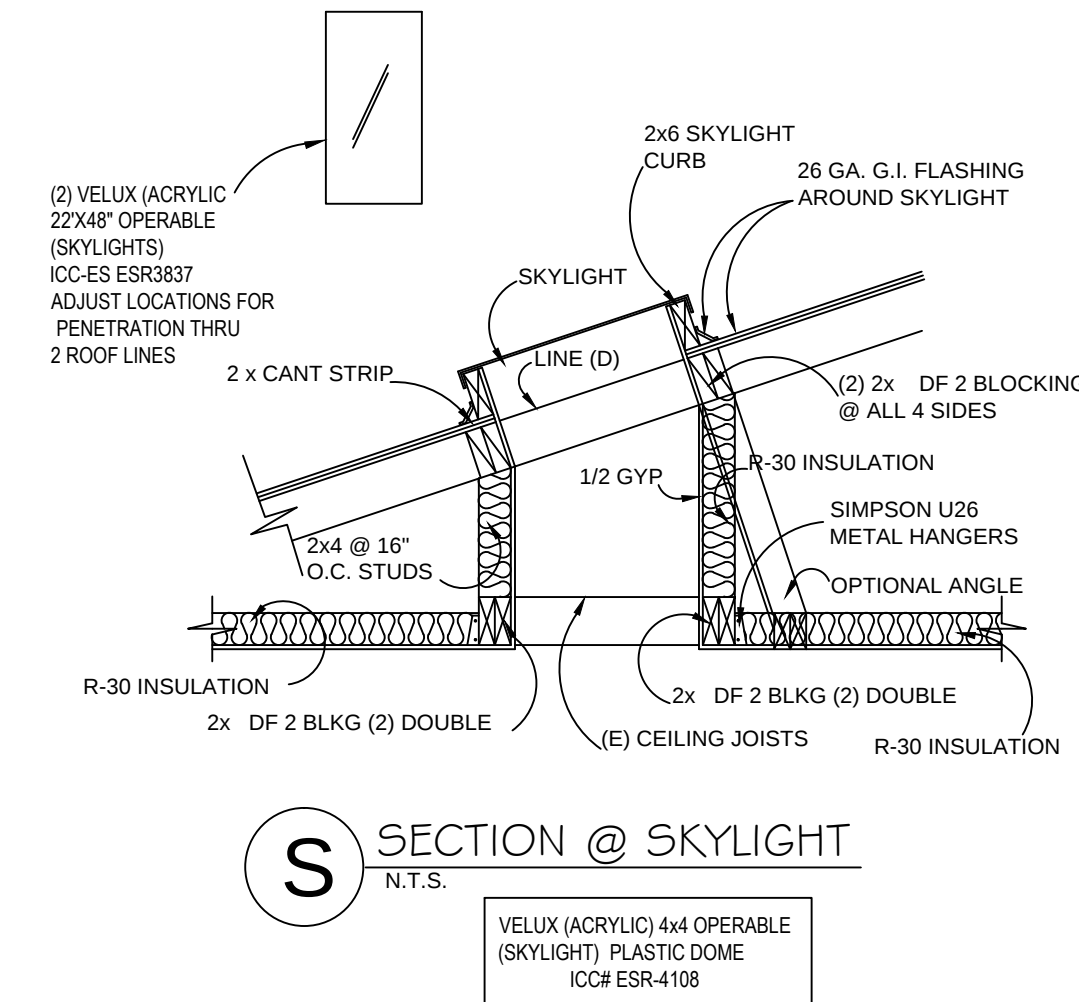
- ALL LIGHTING TO BE HIGH EFFICACY AND MEET THE REQUIREMENTS OF SECTION 150.0(K) AND JOINT APPENDIX 348.
- ALL LUMINAIRES THAT ARE INSTALLED WITH JAB-CERTIFIED LIGHT SOURCES NEED TO BE CONTROLLED BY A DIMMER OR VACANCY SENSOR. THIS IS NOT REQUIRED FOR LIGHTING IN CLOSETS LESS THAN 70 SQ FT OR IN HALLWAYS.
- ALL OUTDOOR LIGHTING TO BE HIGH EFFICACY AND CONTROLLED BY ONE OF THE FOLLOWING COMBINATIONS:
 - PHOTOCELL AND MOTION SENSOR
 - PHOTOCELL AND TIME SWITCH
 - ASTRONOMICAL TIME CLOCK
 - SMCS WITH FEATURES OF ASTRONOMICAL TIME CLOCK.
- LUMINAIRES RECESSED IN INSULATED CEILINGS SHALL COMPLY WITH THE FOLLOWING:
 - SHALL BE ZERO CLEARANCE IC LISTED AND CERTIFIED AIR TIGHT.
 - BE SEALED WITH GASKET OR CAULK BETWEEN LUMINAIRE HOUSING AND CEILING AND AT ALL AIR LEAKS
 - SHALL NOT CONTAIN SCREW BASE SOCKETS

ELECTRICAL NOTES

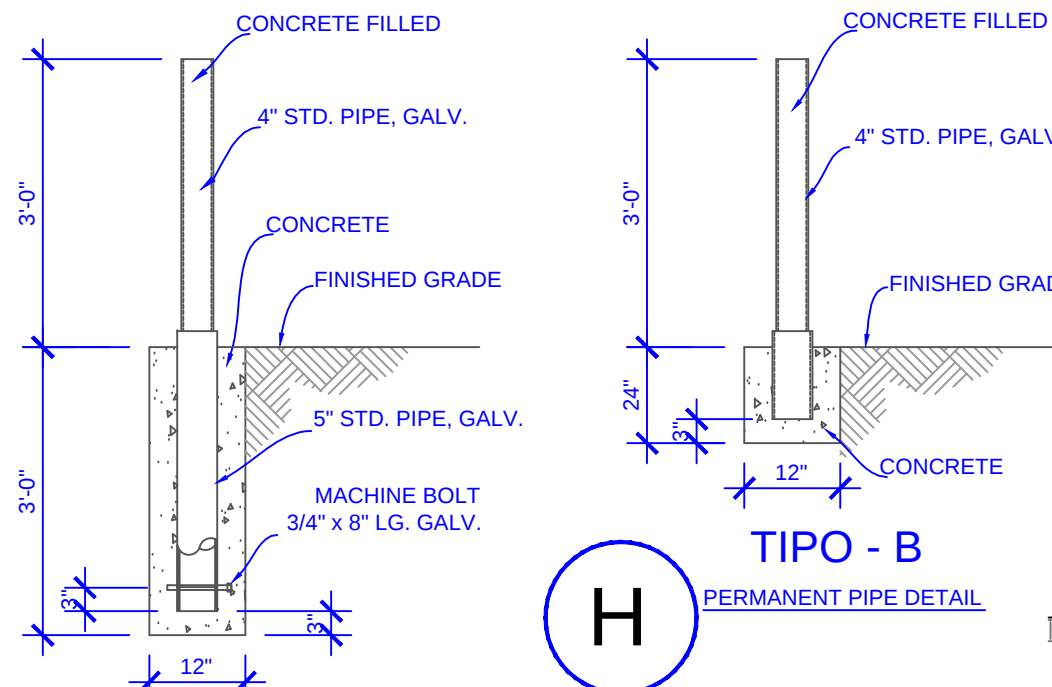
- ALL 120 - VOLT, SINGLE-PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS OR DEVICES INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, BENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARE-FAULT CIRCUIT INTERRUPTER. (CEC 210.12)
- ALL RECEPTACLES IN BATHROOM, GARAGES, ACCESSORY BUILDINGS, OUTDOORS, CRAWL SPACES, UNFINISHED BASEMENTS, KITCHENS (WHERE RECEPTACLES SERVE COUNTER TOP SURFACES), LAUNDRY AREA, CIRCUIT INTERRUPTER (GFI) PROTECTION. (CEC210.8)
- IN ALL AREAS SPECIFIED IN 210.52, ALL 125-VOLT, 15- AND 20-AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. (CEC406.12)

NOTES:
IF THE BORED HOLE DIAMETER EXCEEDS 40% OF THE STUD WIDTH DOUBLE UP THE STUDS. PROVIDED THAT THE HOLE DIAMETER IS LESS THAN 60% OF THE STUD WIDTH AND NOT MORE THAN TWO SUCH SUCCESSIVE DOUBLE STUDS ARE SO BORED.
-BORED HOLES SHALL NOT BE LOCATED AT THE SAME SECTION OF STUD AS A CUT OR NOTCH.

SIZE	D (IN)	E (IN)
2x4	1-3/8"	7/8"
2x6	2-3/16"	1-3/8"



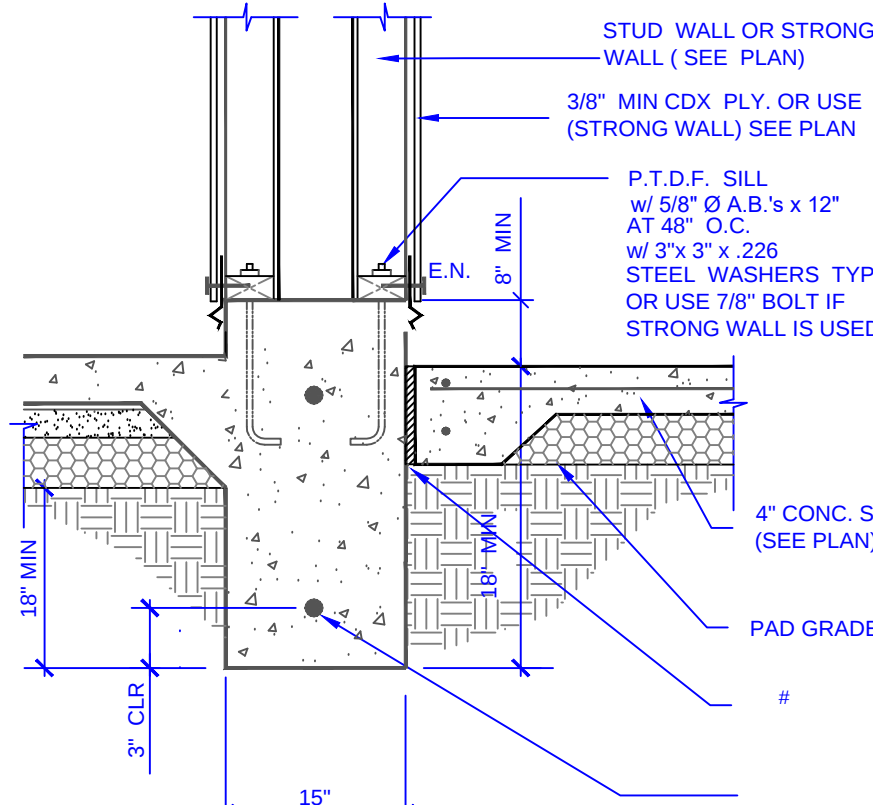
S SECTION @ SKYLIGHT
N.T.S.



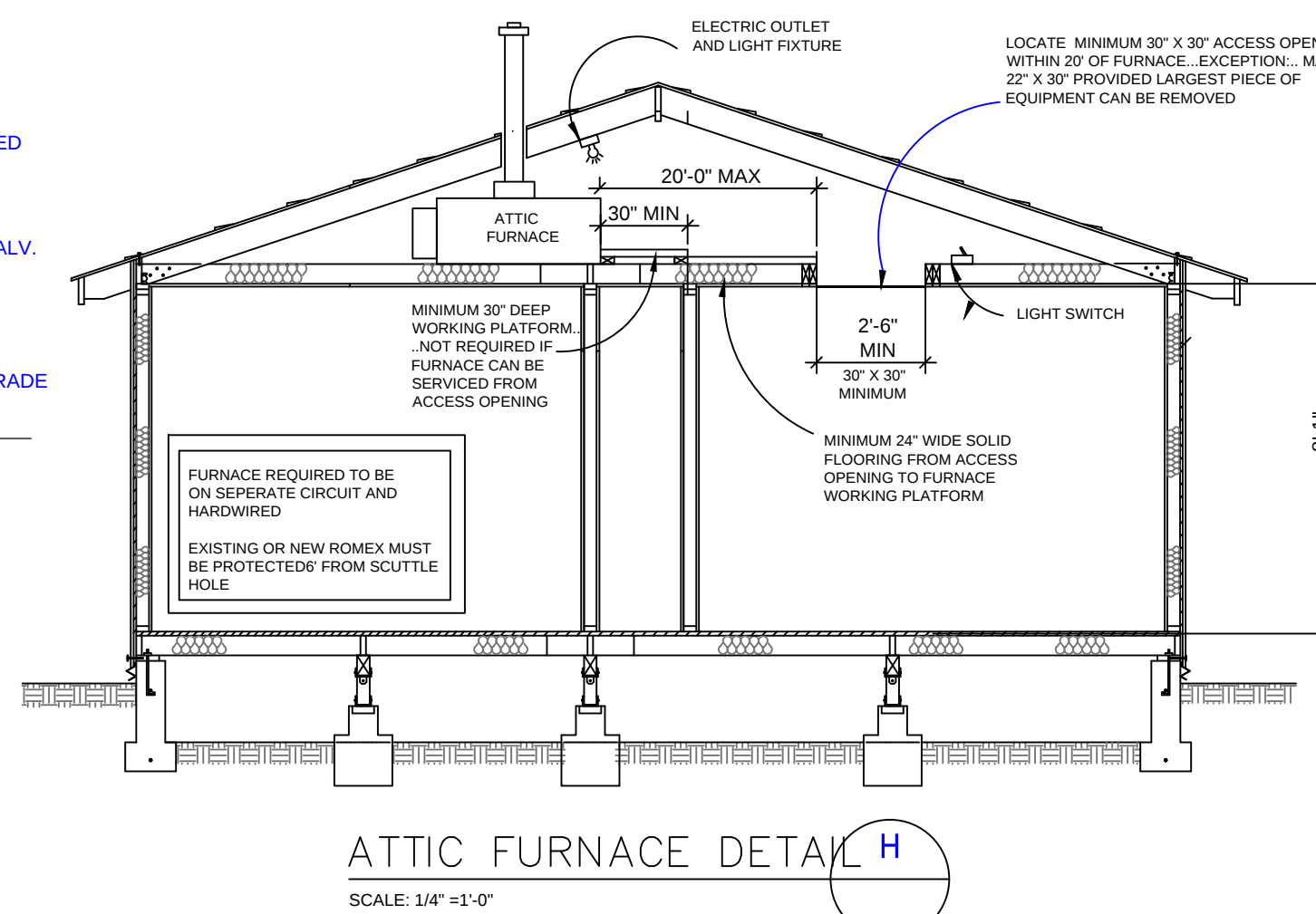
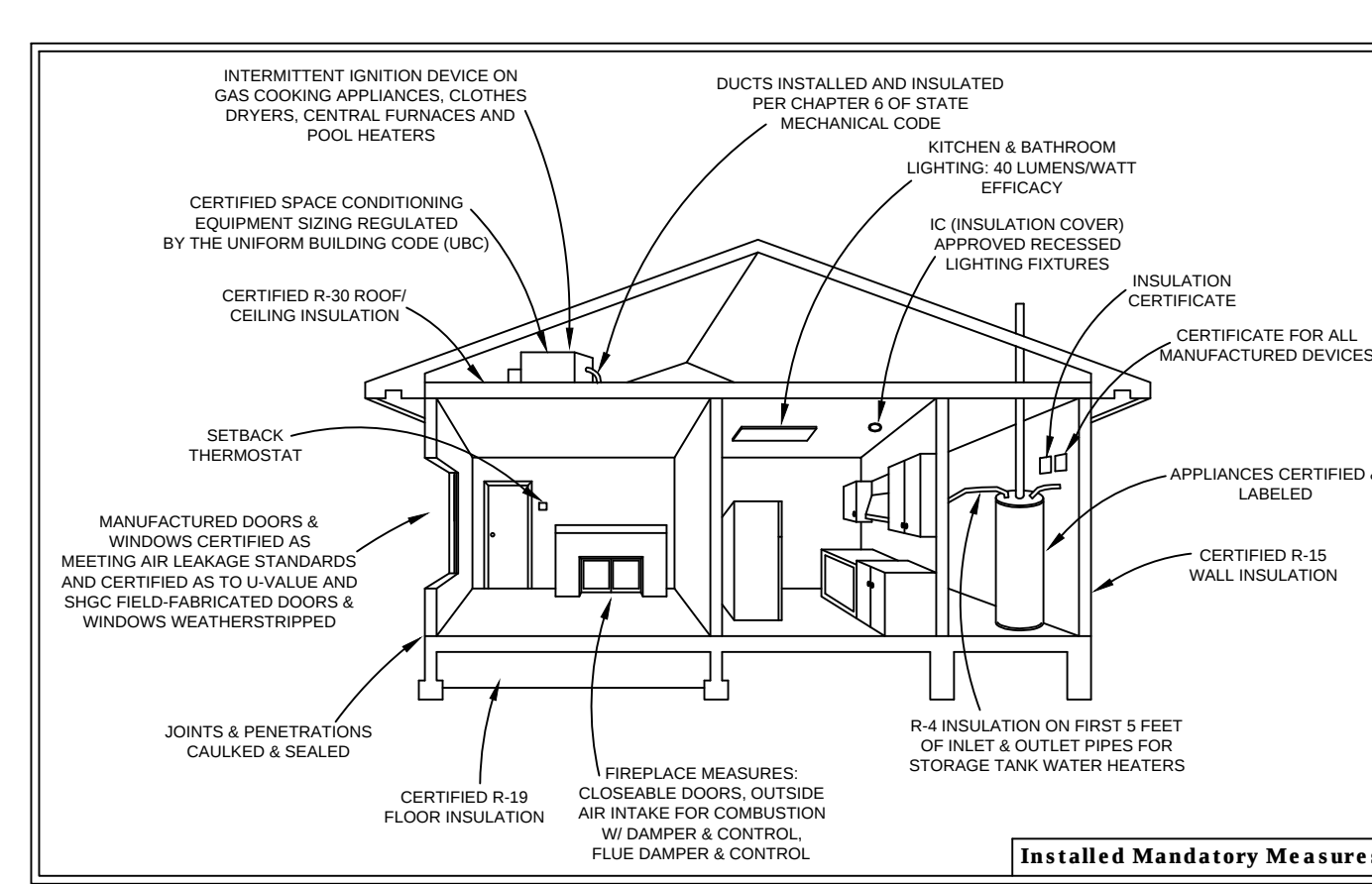
T TIPO - A
REMOVABLE GUARD PIPE

USE ONLY WHEN ABSOLUTELY NECESSARY AND WHEN SPECIFIED ON DRAWINGS

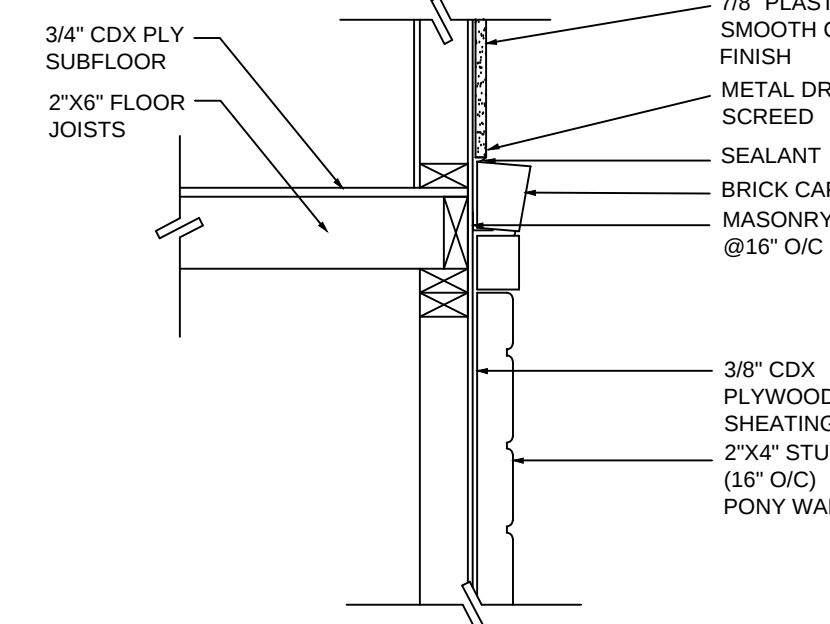
SPECIAL SHOWER NOTE
A)... SHOWER PAN DIMENSIONS SHALL BE A MINIMUM AREA OF 1024 SQ. INCHES AND A MINIMUM FINISH DIMENSION OF 30 INCHES IN ANY DIRECTIONS.
SHOWER DOORS SHALL OPEN TO MAINTAIN NOT LESS THAN A 22" UN OBSTRUCTED OPENING FOR EGRESS.



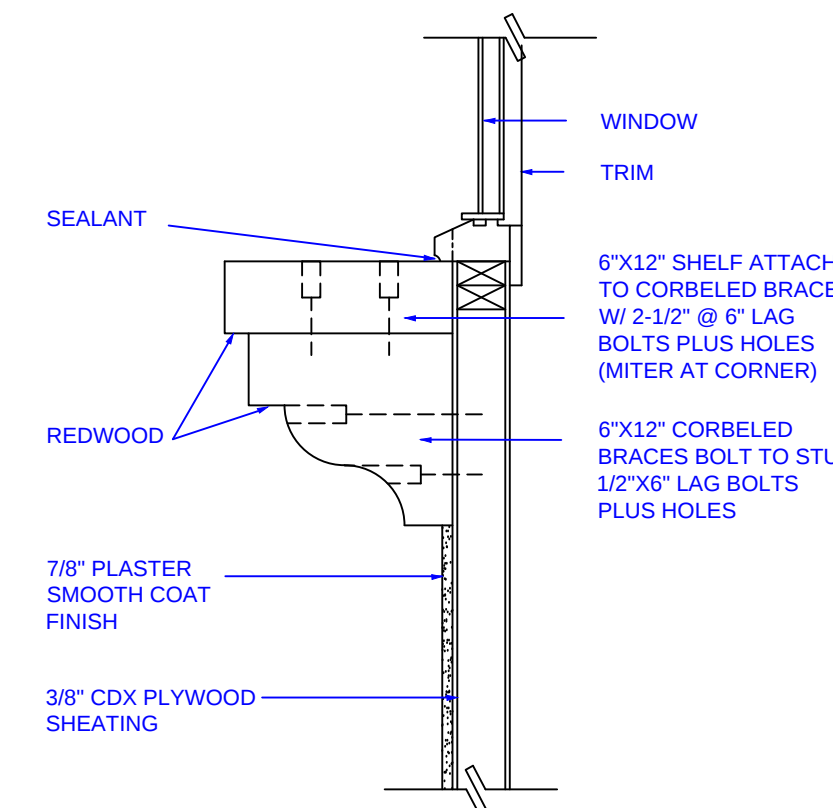
N COLUMN FOOTING DETAIL



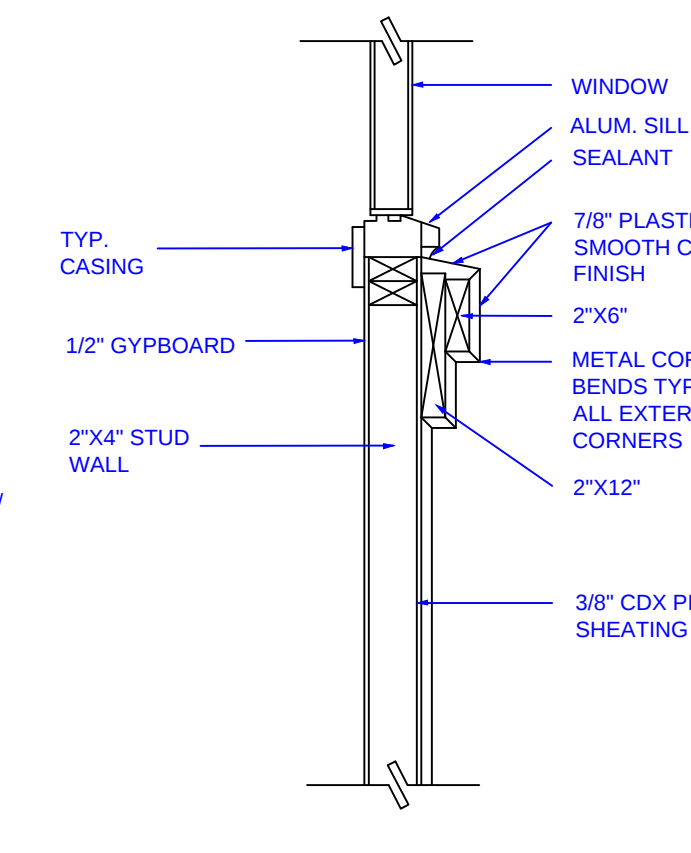
H ATTIC FURNACE DETAIL
SCALE: 1/4" = 1'-0"



K VENEER ATTACHMENT DETAIL
NOT TO SCALE



D POTSHIEFF / CORBEL ATTACHMENT DETAIL
NOT TO SCALE



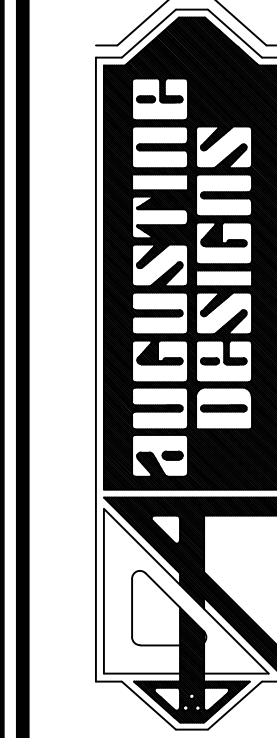
L EXTERIOR TRIM DETAIL
NOT TO SCALE

No.	CONNECTION	FASTENING ^{MIN}	NAILING
1.	Joist to sill or girder	3-8d common (2 1/2" x 0.131") 3" x 0.131" nails 3" x 14 gage staples	toenail
2.	Bridging to joist	3-8d common (2 1/2" x 0.131") 3" x 0.131" nails 3" x 14 gage staples	toenail each end
3.	1" x 6" (25 mm x 152 mm) subfloor or less to each joist	2-8d common (2 1/2" x 0.131") 3-8d common (2 1/2" x 0.131")	face nail
4.	Wider than 1" x 6" (25 mm x 152 mm) subfloor to each joist	2-16d common (3 1/2" x 0.162") 3" x 0.131" nails at 16" o.c.	blind and face nail
5.	2" (51 mm) subfloor to joist or girder	16d (3 1/2" x 0.162") at 16" o.c. 4" x 0.131" nails at 16" o.c. 4" x 14 gage staples per 16"	typical face nail
6.	Sole plate to joist or blocking	3-16d (3 1/2" x 0.162") at 16" o.c. 4" x 0.131" nails at 16" o.c. 4" x 14 gage staples per 16"	braced wall panels
7.	Top plate to stud	2-16d common (3 1/2" x 0.162") 3" x 0.131" nails 3" x 14 gage staples	end nail
8.	Stud to sole plate	2-16d common (3 1/2" x 0.162") 3" x 0.131" nails 3" x 14 gage staples	end nail
9.	Double studs	16d (3 1/2" x 0.162") at 24" o.c. 3" x 0.131" nails at 16" o.c. 3" x 14 gage staples	face nail
10.	Double top plates	2-16d common (3 1/2" x 0.162") 3" x 0.131" nails at 16" o.c. 3" x 14 gage staples	typical face nail
11.	Double top plates	2-16d common (3 1/2" x 0.162") 3" x 0.131" nails at 16" o.c. 3" x 14 gage staples	lap splice
12.	Blocking between joists or rafters to top plate	3-8d common (2 1/2" x 0.131") 3" x 0.131" nails 3" x 14 gage staples	toenail
13.	Rim joist to top plate	3-8d common (2 1/2" x 0.131") 3" x 0.131" nails at 16" o.c. 3" x 14 gage staples	toenail
14.	Top plates, laps and intersections	3-8d common (2 1/2" x 0.131") 3" x 0.131" nails at 16" o.c. 3" x 14 gage staples	face nail
15.	Continuous header, two pieces	16d common (3 1/2" x 0.162") 3" x 0.131" nails at 16" o.c. 3" x 14 gage staples	16" o.c. along edge
16.	Ceiling joists to plate	3-8d common (2 1/2" x 0.131") 3" x 0.131" nails 3" x 14 gage staples	toenail
17.	Ceiling joists, laps over partitions (see Section 2308.10.4.1, Table 2308.10.4.1)	3-16d common (3 1/2" x 0.162") minimum, Table 2308.10.4.1 4" x 0.131" nails	face nail
18.	Ceiling joists, to parallel rafters (see Section 2308.10.4.1, Table 2308.10.4.1)	3-16d common (3 1/2" x 0.162") minimum, Table 2308.10.4.1 4" x 0.131" nails	face nail
19.	Rafter to plate (see Section 2308.10.1, Table 2308.10.1)	3-8d common (2 1/2" x 0.131") 3" x 0.131" nails 3" x 14 gage staples	toenail
20.	1" diagonal brace to each stud and plate	3-8d common (2 1/2" x 0.131") 3" x 0.131" nails 3" x 14 gage staples	face nail
21.	1" x 8" (25 mm x 203 mm) sheathing to each bearing	3-8d common (2 1/2" x 0.131") 3" x 0.131" nails 3" x 14 gage staples	face nail
22.	Wider than 1" x 8" sheathing to each bearing	3-8d common (2 1/2" x 0.131") 3" x 0.131" nails 3" x 14 gage staples	face nail
23.	Built-up corner studs	16d common (3 1/2" x 0.162") 3" x 0.131" nails at 16" o.c. 3" x 14 gage staples	24" o.c. 16" o.c.
24.	Built-up girder and beams	3-8d common (2 1/2" x 0.131") 3" x 0.131" nails at 24" o.c. 3" x 14 gage staples at 24" o.c.	face nail at top and bottom staggered on opposite sides
25.	2" (51 mm) planks	3-8d common (2 1/2" x 0.131") 3" x 0.131" nails 3" x 14 gage staples	face nail at ends and at each splice
26.	Wood structural panels and particleboard Subfloor and wall sheathing (to framing): 1/2" (12.7 mm) and less 19/32"-3/4" (15 mm - 19 mm) 7/8"-1" (22 mm - 25 mm) 1 1/8" - 1 1/4" (29 mm - 32 mm) Combination subfloor-underlayment (to framing): 3/4" (19 mm) and less 1 1/8" - 1 1/4" (29 mm - 32 mm)	6d 8d or 6d 8d 10d or 8d 6d 10d or 8d	
27.	Panel siding (to framing): 1/2" (12.7 mm) or less 5/8" (16 mm)	6d 8d	
28.	Fiberboard sheathing 1/2" (12.7 mm) 25/32" (20 mm)	No. 11 ga. No. 15 ga. No. 11 ga. No. 15 ga.	
29.	Interior paneling 1/4" (6.4 mm) 3/8" (9.5 mm)	4d 6d	

REVISIONS

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PROPOSED 6 UNIT
RESIDENTIAL COMPLEX

DATE: 02 -24 - 2023

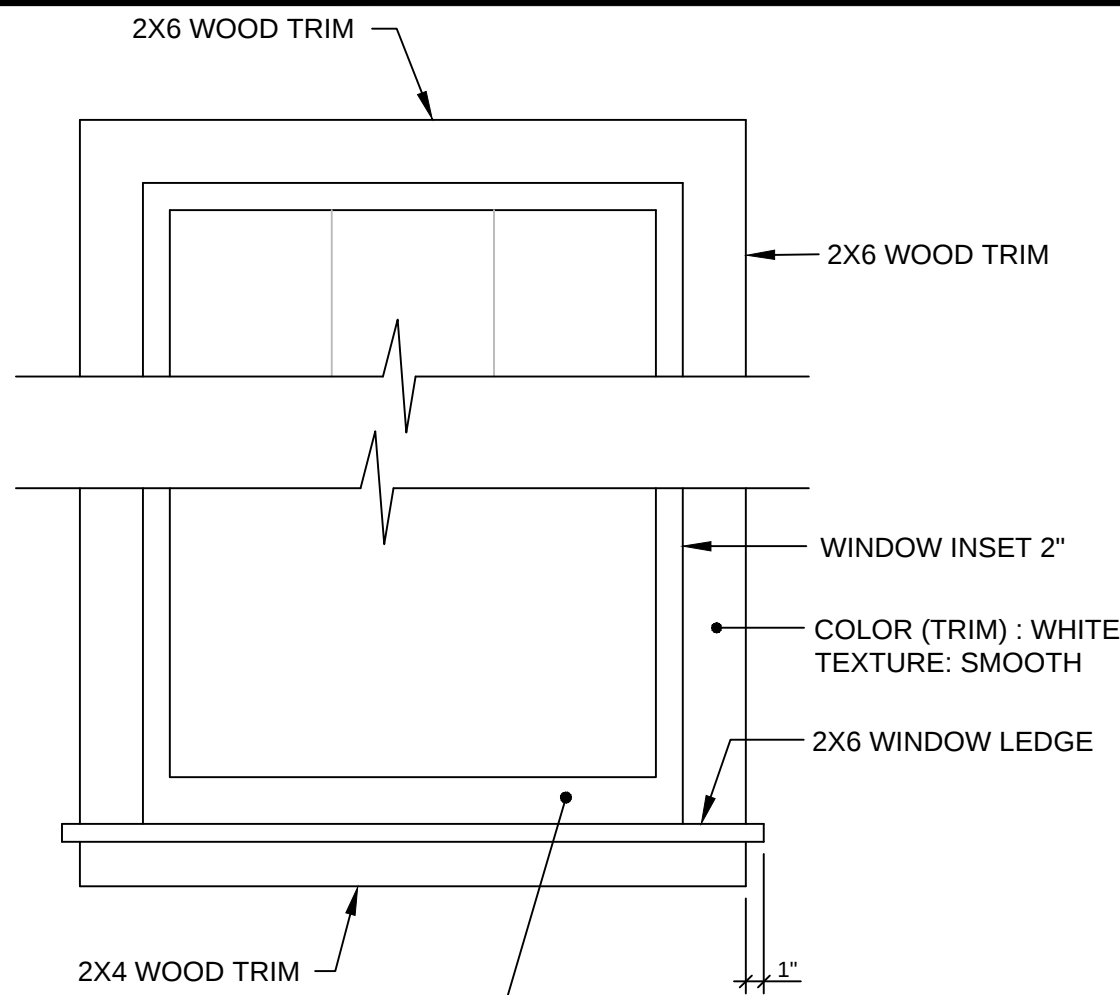
SCALE: 1/4" = 1'-0"

DRAWN: BRA

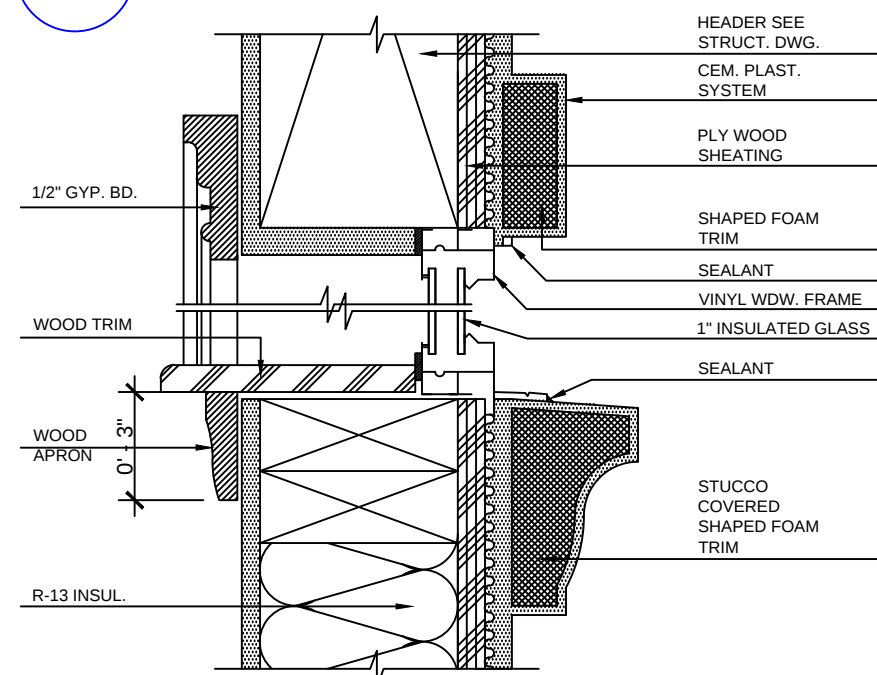
JOB:

11

OF SHEETS



X WINDOW TRIM DETAIL
N.T.S.



N WINDOW-HEAD & SILL
SCALE: 3/4" = 1' - 0"

ROOM FINISH SCHEDULE							LEVEL	
							1	2
							3	4
No.	NAME	FLOOR	BASE	WALL	CL'G	REMARKS		
		ENTRY	WOOD	VINYL FLOORING	CERAMIC TILE	WOOD		
			6" RESILIENT CORE (CONT)	CERAMIC TILE	1/2" GYPSUM W/ LATEX FINISH	1/2" GYPSUM BOARD		
			1/2" GYPSUM	APPROV. PLASTER PLANERS	CERAMIC TILE	1/2" GYPSUM W/ ENAMEL FINISH		
			1/2" GYPSUM	1/2" GYPSUM LATEX FINISH	1/2" GYPSUM W/ ENAMEL FINISH			
1.	ENTRY							
2.	HALL							
3.	GUEST BEDROOM							
4.	LIVING ROOM							
5.	DINING ROOM							
6.	NOOK							
7.	KITCHEN							
8.	PANTRY							
9.	BAR							
10.	FAMILY ROOM							
11.	BEDROOMS							
12.	BATHS							

APPROVED BY COUNTY HEALTH DEPT.

DOOR SCHEDULE				
No.	LOCATION	DESCRIPTION	SIZE	TOTAL
1.	LOBBY	* TEMP GLASS	3080	2
2.	BARBER SHOP	* TEMP GLASS	3080	1
3.	SERVICE KITCHEN	PANEL	3070	1
4.	SMALL OFFICE	PANEL	3070	1
5.	STORAGE ROOM	PANEL	3070	1
6.	H/C BATH	(SEE ADA SHT)	3070	1
7.	REAR INTERIOR EXIT	SOLID CORE	3070	1
8.	EXIT DOOR	* SOLID CORE	3070	1
9.	CLOSET UNDER STAIRS	SOLID CORE	2468	1
10.	JANITORS CLOSET	SOLID CORE	2870	1
11.	MECHANICAL ROOM	SOLID	2070	2
12.				
13.	(RESIDENTIAL UNIT UPSTAIRS)			
14.	ATTIC ACCESS	HOLLOW CORE	2040 HS	✓
15.	ENTRY	SOLID CORE	3068 PANEL	1
16.	BATH	PANEL	2668	1
17.	BATH	PANEL	2668	1
18.	BEDROOM	PANEL	2868	1
19.	BEDROOM	PANEL	2868	1
20.	BALCONY	FRENCH (TEMP)	2868	1

* TO BE EQUIPPED WITH APPROPRIATE PANIC HARDWARE

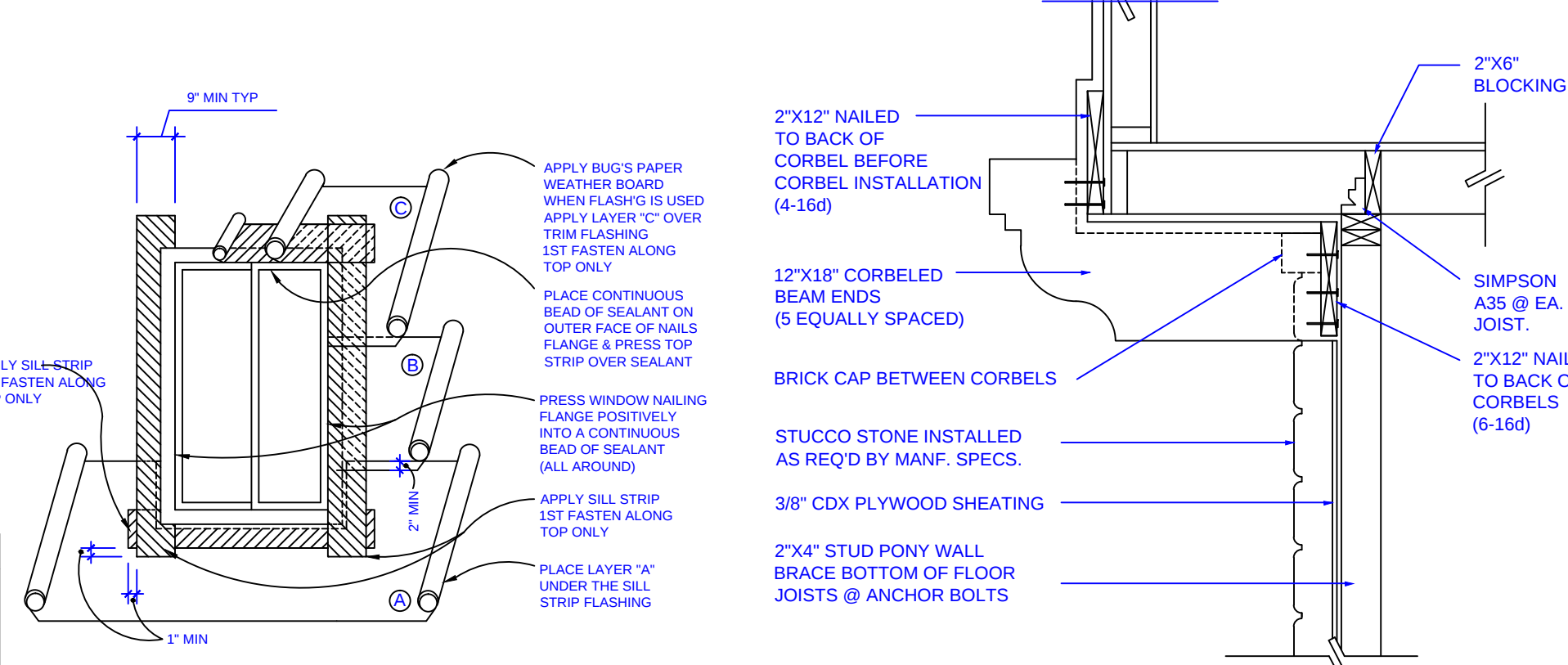
DOOR LEGEND

H.S. = HOLLOW CORE
S.C. = SOLID CORE
FIX. = FIXED
TEMP. = TEMPERED GLASS
F.R. = FRENCH DOOR
P.D. = POCKET DOOR
PANEL = PANEL DOOR

WINDOW SCHEDULE				
No.	LOCATION	SIZE	TYPE	TOTAL
1.	ENTRY LOBBY	3070	TEMP FIX	2
2.	ENTRY LOBBY	3020	AWNING	2
3.	RETAIL / SALES	3070	TEMP FIX	2
4.	RETAIL / SALES	3020	AWNING	2
5.	RETAIL / SALES	2670	TEMP FIX	3
6.	RETAIL / SALES	2620	AWNING	3
7.	BARBER SHOP	5040	H.S.	1
8.	NAILS	3050	S.H.	2
9.	SERVICE KITCHEN	3040	H.S.	1
10.	OFFICE	4040	H.S.	1
11.				
12.	(RESIDENTIAL UNIT UPSTAIRS)			
13.	DINING	4050	H.S.	
14.	BATH #2	2030	H.S. (TEMP)	1
15.	BATH #1	3030	H.S. (TEMP)	1
16.	LIVING / DINING	3050	S.H.	2
17.	KITCHEN	5036	H.S.	1
18.	BEDROOM 1	5040	H.S.	1
19.	BEDROOM 2	4040	H.S.	1
20.	STUDY ROOM	4040	H.S.	2

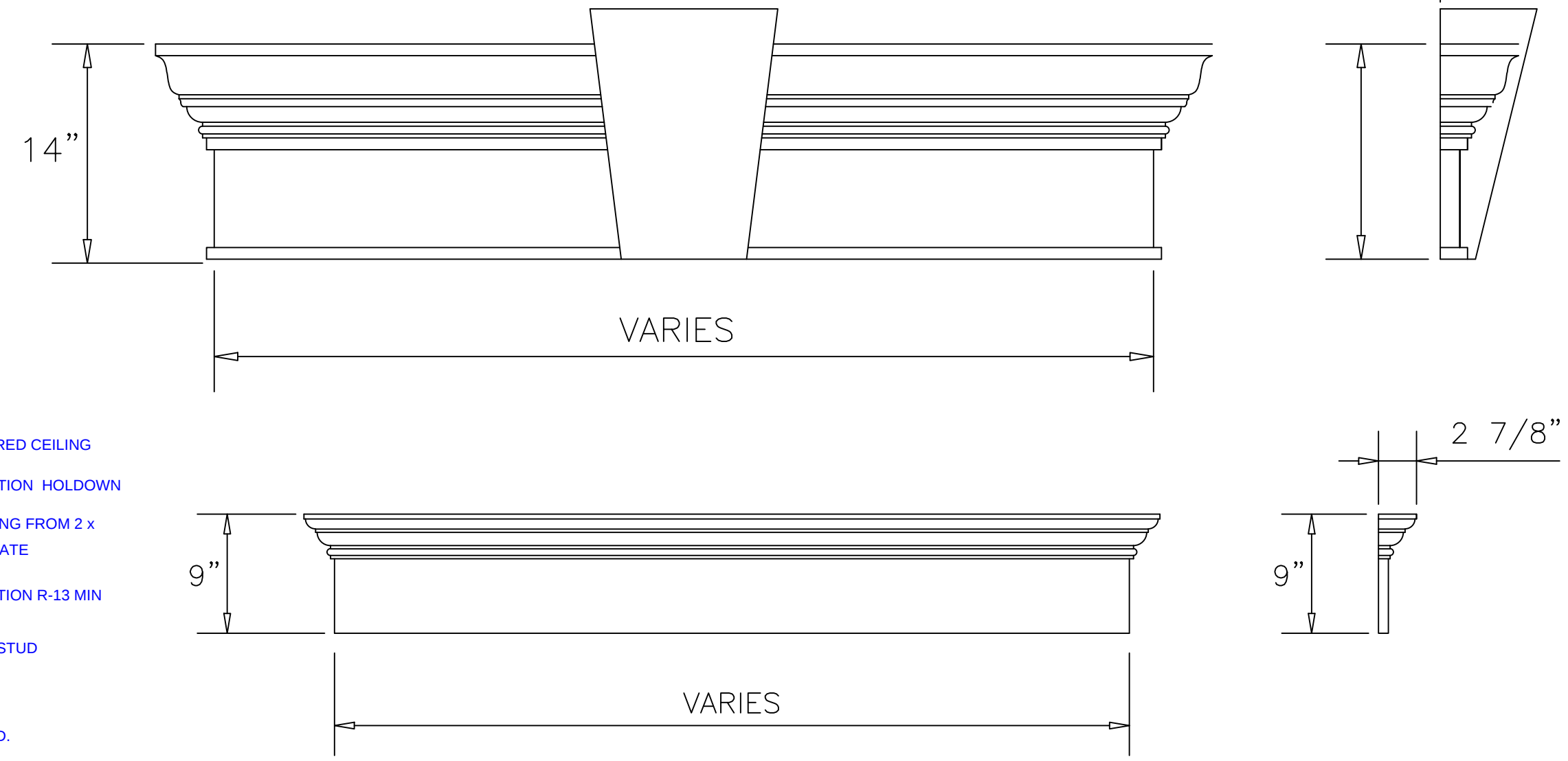
WINDOW LEGEND

AS = ALUMINIUM SLIDER
SH = SINGLE HUNG
FIX = FIXED GLASS
TEMP = TEMPERED GLASS
SD = SLIDER DOOR
HS = HORIZONTAL SLIDER
CSMT = CASEMENT



H TYP. WINDOW/ DOOR FLASHING
NOT TO SCALE

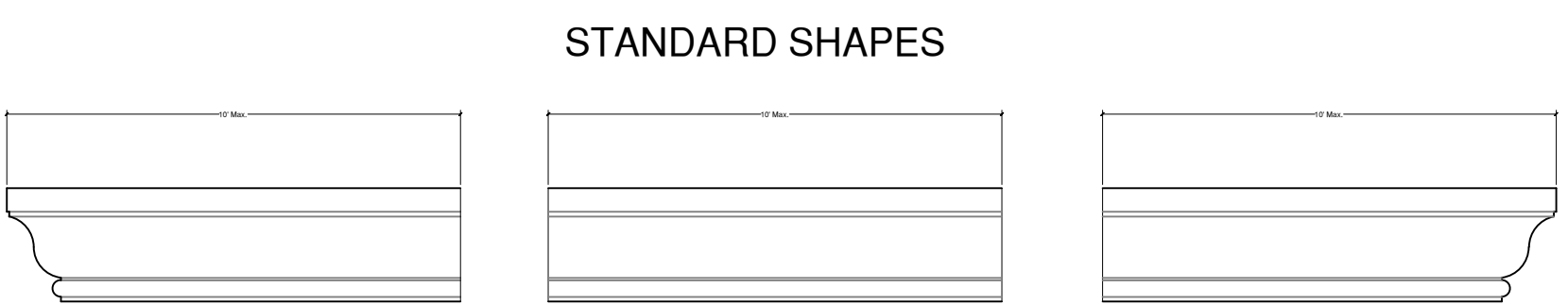
J CORBEL / STUCCO STONE ATTACHMENT DETAIL



OPTIONAL EXTERIOR DOOR HEADS

O BOX SOFFIT/ TRIM DETAIL
NOT TO SCALE (ALTERNATE DETAIL)

E ROOF SOFIT/ INSULATION BAFFLE/ TRIM DETAIL

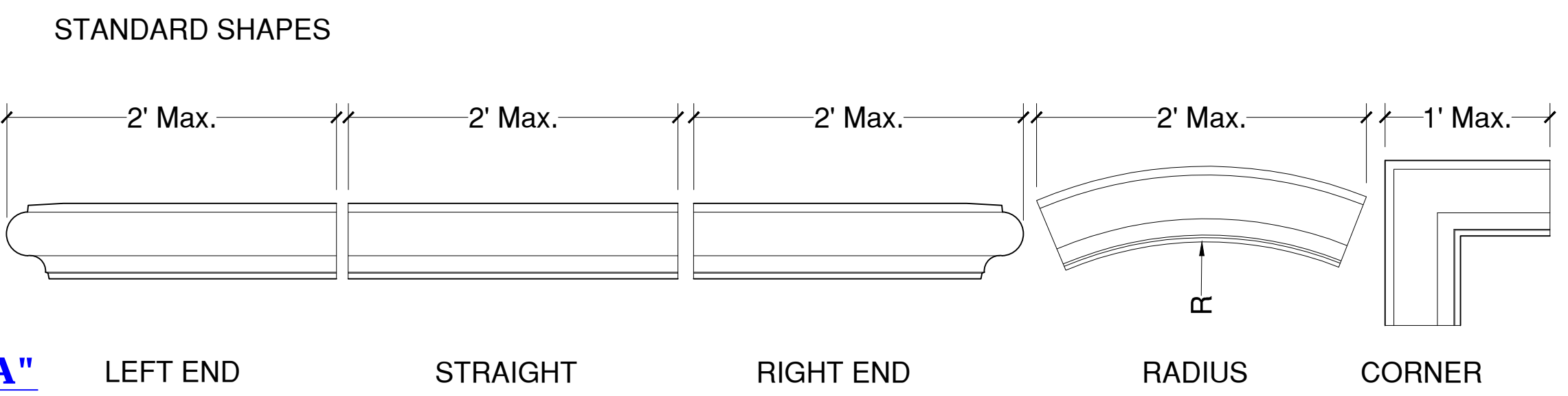


LEFT END

STRAIGHT

RIGHT END

DETAIL SHEET "A"



LEFT END

STRAIGHT

RIGHT END

RADIUS

CORNER

CUSTOMER SIGNATURE: _____ DATE: _____

WORTHINGTON
10175 FORTUNE PARKWAY, SUITE 502
JACKSONVILLE, FL 32256
PHONE: 1-800-872-1488 OR 904-281-1485
FAX: 904-281-1488 WorthingtonMillwork.com

DWG TITLE: LARGE MOULDING
PRODUCT NO: 01-208-12
DIM. TOLERANCE: N.A.
DRAWN BY: RZ

CUSTOMER SIGNATURE: _____ DATE: _____

WORTHINGTON
10175 FORTUNE PARKWAY, SUITE 502
JACKSONVILLE, FL 32256
PHONE: 1-800-872-1488 OR 904-281-1485
FAX: 904-281-1488 WorthingtonMillwork.com

DWG TITLE: MOULDING
PRODUCT NO: 01-111-16
DIM. TOLERANCE: N.A.
DRAWN BY: RZ

REVISIONS

DATE: _____

Professional Design Consultants
3033 Moorpark Ave. #1 San Jose, CA 95128
(408) 294-7060

4 AUGUSTING DESIGNS

OWNER
HBD APARTMENTS
224 PALM AVENUE
MARINA, CA. 93933
(831) 601 - 6861

PROPOSED 6 UNIT
RESIDENTIAL COMPLEX

DATE: 02/22/2023
SCALE: 1/4" = 1'-0"
DRAWN:
JOB:

12
OF SHEETS

DETAIL.dwg

GENERAL NOTES

THE CONTRACTOR SHALL MAKE A DETAILED AND THOROUGH STUDY OF THESE PLANS IN THEIR ENTIRETY PRIOR TO ANY WORK ON THE JOBSITE. THE CONTRACTOR IS TO VERIFY ALL EXISTING CONSTRUCTION CONDITIONS AND IS TO COORDINATE THESE DRAWINGS WITH ALL OTHER TRADE DISCIPLINES FOR THE COMPLETED WORK. THE CONTRACTOR IS ALSO TO UNDERSTAND THAT ANY FEATURE OF CONSTRUCTION NOT FULLY SHOWN OR DETAILED SHALL BE OF THE SAME TYPE AS SHOWN FOR SIMILAR CONDITIONS.

THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE ENGINEER ANY DISCREPANCY OCCURRING ON THE DRAWINGS OR FOUND IN HIS COORDINATION WORK. NO CHANGES IN APPROVED PLANS SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE PROJECT ENGINEER AND THE CITY OF MARINA DEPARTMENT OF PUBLIC WORKS.

ANY REQUEST FOR ALTERATIONS OR SUBSTITUTIONS MUST BE PRESENTED DIRECTLY TO THE PROJECT ENGINEER, ACCOMPANIED BY A DETAILED SKETCH, FOR REVIEW, BEFORE ANY APPROVAL WILL BE GIVEN AND BEFORE PROCEEDING WITH THE WORK. ABSOLUTELY NO ALTERATIONS OF THESE DOCUMENTS OF ANY KIND WILL BE APPROVED ON ANY SHOP DRAWINGS.

ALL CONSTRUCTION SHALL CONFORM TO THE APPLICABLE PROVISIONS OF THE STATE OF CALIFORNIA STANDARD SPECIFICATIONS (CALTRANS), LATEST EDITION, THE CITY OF MARINA DESIGN CRITERIA AND ALL APPLICABLE CODES AND ORDINANCES.

THE LOCATIONS OF EXISTING UTILITIES AS SHOWN ON THE PLANS WERE OBTAINED FROM RECORD DRAWINGS AND MAY NOT REPRESENT TRUE LOCATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND DEPTH OF THESE UTILITIES PRIOR TO CONSTRUCTION, AND TO NOTIFY THE PROJECT ENGINEER IN CASE OF CONFLICT.

THE CONTRACTOR SHALL SECURE ALL REQUIRED CONSTRUCTION PERMITS FROM THE CITY OF MARINA PRIOR TO THE START OF WORK.

CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR SHALL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD PROJECT ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE PROJECT ENGINEER.

GRADING SHALL BE DONE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATIONS AND THE REQUIREMENTS OF THE CITY OF MARINA.

THE CONTRACTOR SHALL NOTIFY THE CITY GRADING INSPECTOR, GEOTECHNICAL ENGINEER, THE CITY CONSTRUCTION ENGINEER AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

WORK SHALL BE LIMITED TO 8:00 A.M. TO 5:00 P.M. WEEKDAYS. NON-NOISE PRODUCING ACTIVITIES, SUCH AS INTERIOR PAINTING, SHALL NOT BE SUBJECT TO THIS RESTRICTION.

DESIGNATE A "DISTURBANCE COORDINATOR" TO RESPOND TO CITIZEN COMPLAINTS AND INQUIRIES REGARDING CONSTRUCTION NOISE AND DUST. THE NAME, PURPOSE AND TELEPHONE NUMBER OF THE DISTURBANCE COORDINATOR SHALL BE POSTED ON A SIGN EASILY VISIBLE FROM OFFSITE DURING THE ENTIRE TIME PROJECT GRADING AND CONSTRUCTION OCCURS. THE DISTURBANCE COORDINATOR SHALL INVESTIGATE THE CONCERN AND TAKE REMEDIAL ACTION, IF NECESSARY, WITHIN 24 HOURS OF RECEIVING A COMPLAINT OR INQUIRY.

ALL FIGURE (FIG.) REFERENCES, UNLESS OTHERWISE SPECIFIED, REFER TO STANDARD DRAWINGS IN THE CURRENT EDITION OF THE "CITY OF MARINA STANDARD DETAILS."

NO LAND CLEARING, GRADING OR EXCAVATING SHALL TAKE PLACE BETWEEN OCTOBER 15 AND APRIL 15 UNLESS THE PLANNING DIRECTOR APPROVES A SEPARATE WINTER EROSION CONTROL PLAN.

BETWEEN OCTOBER 15 AND APRIL 15, EXPOSED SOIL SHALL BE PROTECTED FROM EROSION AT ALL TIMES. DURING CONSTRUCTION SUCH PROTECTION MAY CONSIST OF MULCHING AND/OR PLANTING OF NATIVE VEGETATION OF ADEQUATE DENSITY. BEFORE COMPLETION OF THE PROJECT, ANY EXPOSED SOIL ON DISTURBED SLOPES SHALL BE PERMANENTLY PROTECTED FROM EROSION.

THE CONTRACTOR SHALL APPLY WATER TO ALL EXPOSED EARTH SURFACES AT INTERVALS SUFFICIENT TO PREVENT AIRBORNE DUST FROM LEAVING THE PROJECT SITE. ALL EXPOSED EARTH SHALL BE WATERED DOWN AT THE END OF THE WORK DAY.

WHILE IN TRANSIT TO AND FROM THE PROJECT SITE, ALL TRUCKS TRANSPORTING FILL SHALL BE EQUIPPED WITH TARPS.

DURING ALL GRADING AND SUBSURFACE EXCAVATIONS (INCLUDING UTILITY-LINE TRENCHING), CONSTRUCTION WILL BE HALTED WITHIN 50 METERS (150 FEET) OF THE FIND IF SIGNIFICANT ARCHAEOLOGICAL RESOURCES ARE DISCOVERED. SIGNIFICANT ARCHAEOLOGICAL RESOURCES SHALL INCLUDE THE REMAINS OF PREVIOUS INDIAN LIVING AREAS OR HUMAN BURIALS. IN THE INSTANCE OF INDIAN LIVING AREAS, THESE OBJECTS SHALL BE RECORDED AND MAPPED PRIOR TO FURTHER EXCAVATION ON THAT PORTION OF THE SITE. IN THE EVENT OF HUMAN BURIALS ARE DISCOVERED DURING EXCAVATION, WORK SHALL BE HALTED AND THE COUNTY CORONER, THE NORTHWEST INDIAN CEMETERY PROTECTIVE ASSOCIATION (NICPA), AND OTHER APPROPRIATE AUTHORITIES SHALL BE NOTIFIED. MITIGATION MEASURES DEVELOPED BY THE APPLICANT AND AUTHORIZED ARCHAEOLOGISTS SHALL BE SUBJECT TO THE APPROVAL OF THE PLANNING DEPARTMENT.

ALL CONSTRUCTION STAKING FOR CURB, GUTTER, SIDEWALK, SANITARY SEWER, STORM DRAINS AND WATER LINES SHALL BE DONE UNDER THE SUPERVISION OF A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER.

THE DIRECTOR OF PUBLIC WORKS, OR HIS AUTHORIZED REPRESENTATIVE, SHALL HAVE THE AUTHORITY TO "STOP WORK" IF THE WORK IS NOT BEING DONE IN ACCORDANCE WITH THE APPROVED IMPROVEMENT PLANS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF CONSTRUCTION QUANTITIES PRIOR TO ANY BIDDING ON ANY ITEM. QUANTITY REFERENCES SHOWN ON THESE PLANS OR ENGINEER'S ESTIMATES ARE FOR ESTIMATING PURPOSES ONLY AND SHALL NOT BE CONSIDERED AS A BASIS FOR CONTRACTOR PAYMENT. CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY FLUCTUATIONS IN SUCH QUANTITIES AND ESTIMATES.

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO, OR USES OF, THESE PLANS. ALL CHANGES MUST BE IN WRITING AND MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.

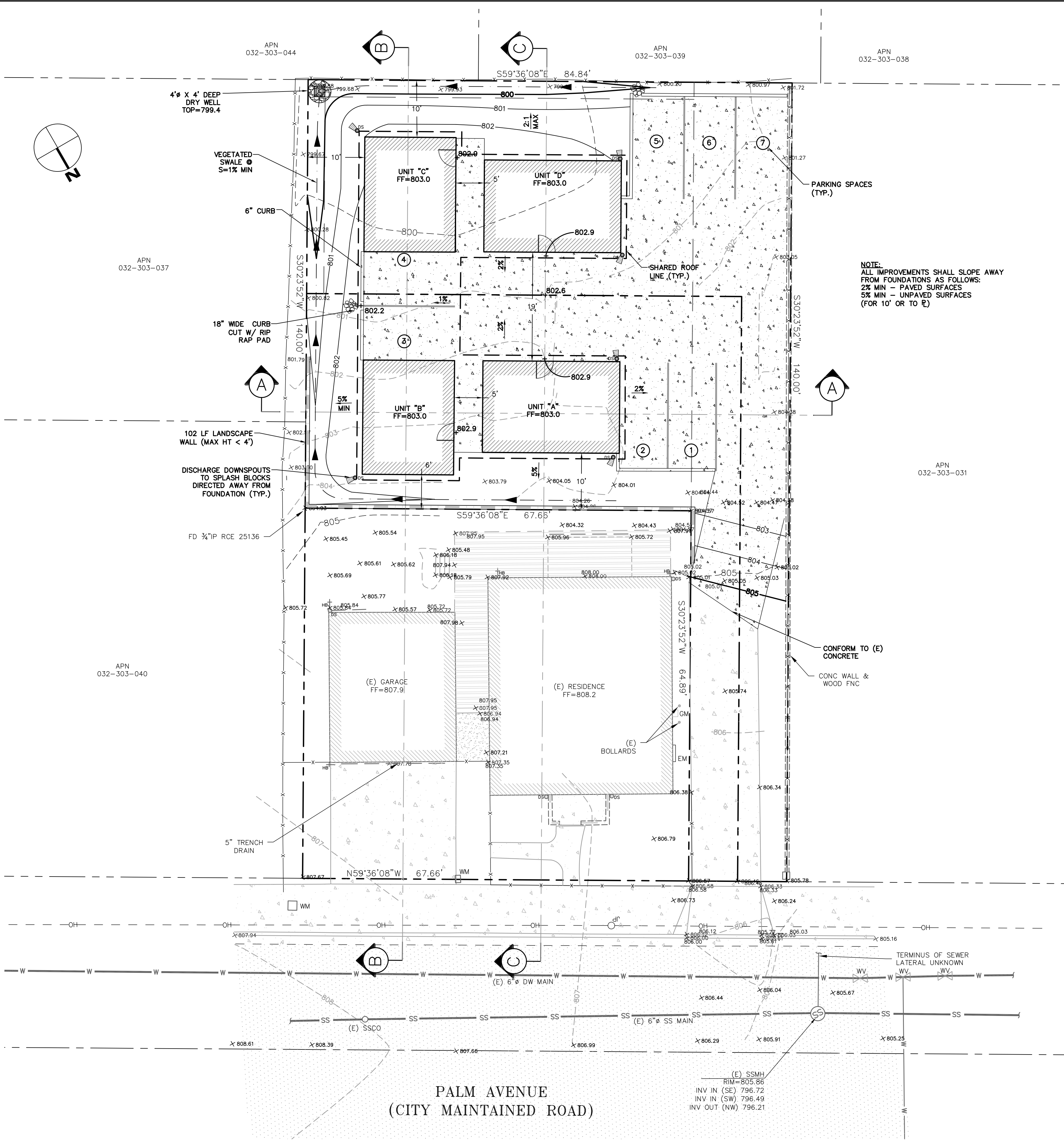
ON-SITE LATERAL PIPING SERVING ALL SEWERED BUILDINGS SHALL BE REMOVED. ALL UNUSED LATERALS SHALL BE ABANDONED AT THE PROPERTY LINE AND INSPECTED BY A SANITATION DISTRICT REPRESENTATIVE. BUILDINGS SHALL NOT BE DEMOLISHED OR RELOCATED WITHOUT PIPE REMOVAL AND LATERAL ABANDONMENT.

UNDERGROUND UTILITY LOCATIONS SHOWN ARE COMPILED FROM INFORMATION SUPPLIED BY UTILITY AGENCIES, AND ARE APPROXIMATE ONLY. CONTRACTOR SHALL VERIFY LOCATIONS OF AFFECTED UTILITY LINES PRIOR TO ANY TRENCHING OR EXCAVATING AND POTHOLES. THOSE AREAS WHERE POTENTIAL CONFLICTS EXIST OR WHERE DATA IS OTHERWISE INCOMPLETE, FOR LOCATION, CALL USA 1-800-824-1444.

ANY EXISTING UTILITIES THAT ARE REQUIRED TO BE RELOCATED AS A PART OF THIS CONSTRUCTION SHALL BE RELOCATED AT THE DEVELOPER'S EXPENSE.

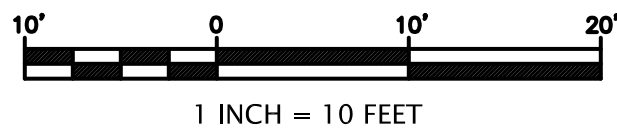
ABBREVIATIONS

BW	BOTTOM OF WALL
CB	CATCH BASIN
COM	CITY OF MARINA
CONST	CONSTRUCT
DIA, Ø	DIAMETER
DS	DOWNSPOUT
DTL	DETAIL
DWY	DRIVEWAY
EL	EXISTING
EOP	ELEVATION
EP	EDGE OF PAVEMENT
FF	FINISH FLOOR
FG	FINISH GRADE
HP	HIGH POINT
INV	INVERT
LF	LINEAR FEET
LP	LOW POINT
MAX	MAXIMUM
N.T.S.	NOT TO SCALE
RW	RETAINING WALL
RIM	RIM ELEVATION
S	SLOPE
SSCO	SANITARY SEWER CLEANOUT
SDCO	STORM DRAIN CLEANOUT
TYP	TYPICAL
TW	TYPICAL
WS	WATER SERVICE



PALM AVENUE
(CITY MAINTAINED ROAD)

PLAN



TOPOGRAPHIC SURVEY

THE TOPOGRAPHIC SURVEY AND BOUNDARY INFORMATION PROVIDED HEREON WAS COMPLETED BY WHITSON ENGINEERS. RI ENGINEERING INC. MAKES NO GUARANTEE AS TO THE ACCURACY OF BOTH. THE CONTRACTOR SHALL VERIFY THE BOUNDARY LOCATION AND TOPOGRAPHIC INFORMATION PRIOR TO COMMENCING WORK.

BASIS OF BEARINGS

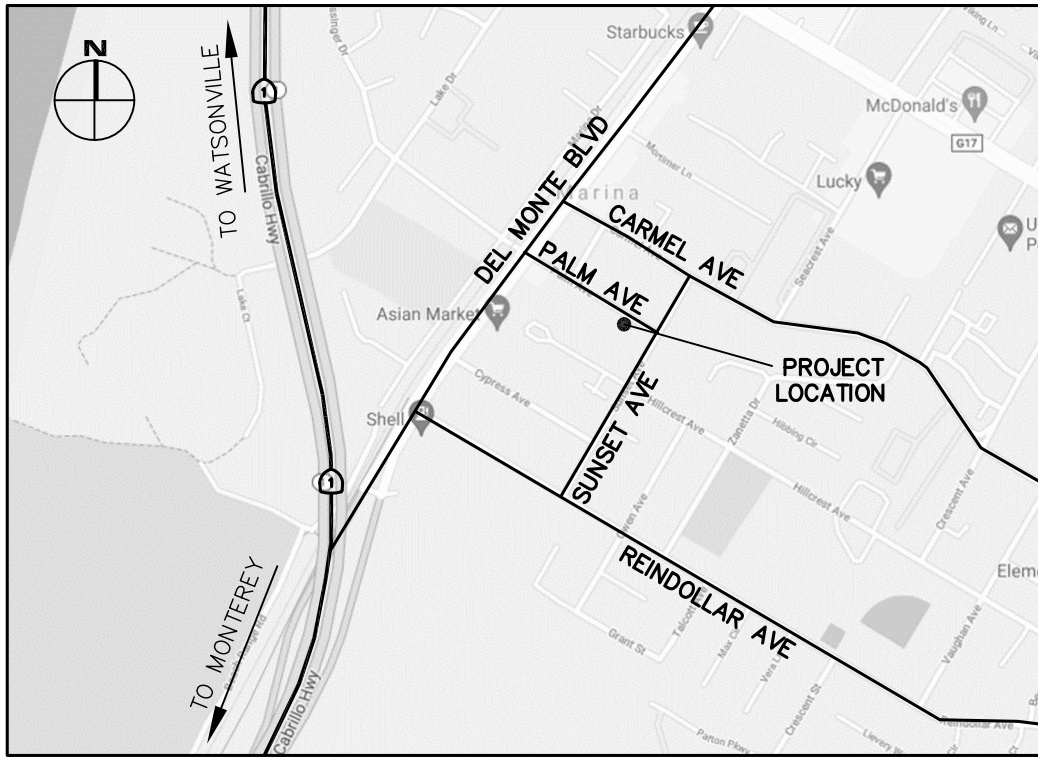
THE BASIS OF BEARINGS FOR THIS SURVEY IS THE WESTERN PROPERTY LINE OF THE EXISTING PARCELS BEARING S 30°23'52" W

BASIS OF ELEVATION

BENCHMARK: SET REBAR AND CAP.
ELEVATION: 800.00' (ASSUMED)

IMPERVIOUS AREA TABLE

NEW IMPERVIOUS	AREA (SF)
ROOF	2,150
CONC DRIVEWAY	2,670
TOTAL NEW IMPERVIOUS	4,820

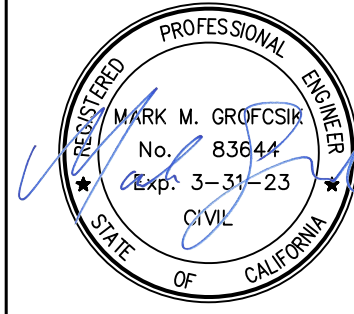


VICINITY MAP

NTS

LEGEND

	(E) AB
	(E) AC
	(E) CONCRETE
	PROPOSED CONCRETE
	(E) FLOWLINE
	(E) RETAINING WALL
	PROPERTY LINE
	PROPOSED SETBACK
	PROPOSED LIMIT OF GRADING
	PROPOSED RETAINING WALL
	PROPOSED AC BERM
	PROPOSED SWALE
	PROPOSED SD
	PROPOSED PERIMETER SD
	PROPOSED SDCO
	PROPOSED CB



RI Engineering, Inc.

303 Potrero St., Suite 42-202, Santa Cruz, CA 95060
831-425-3901 www.riengineering.com

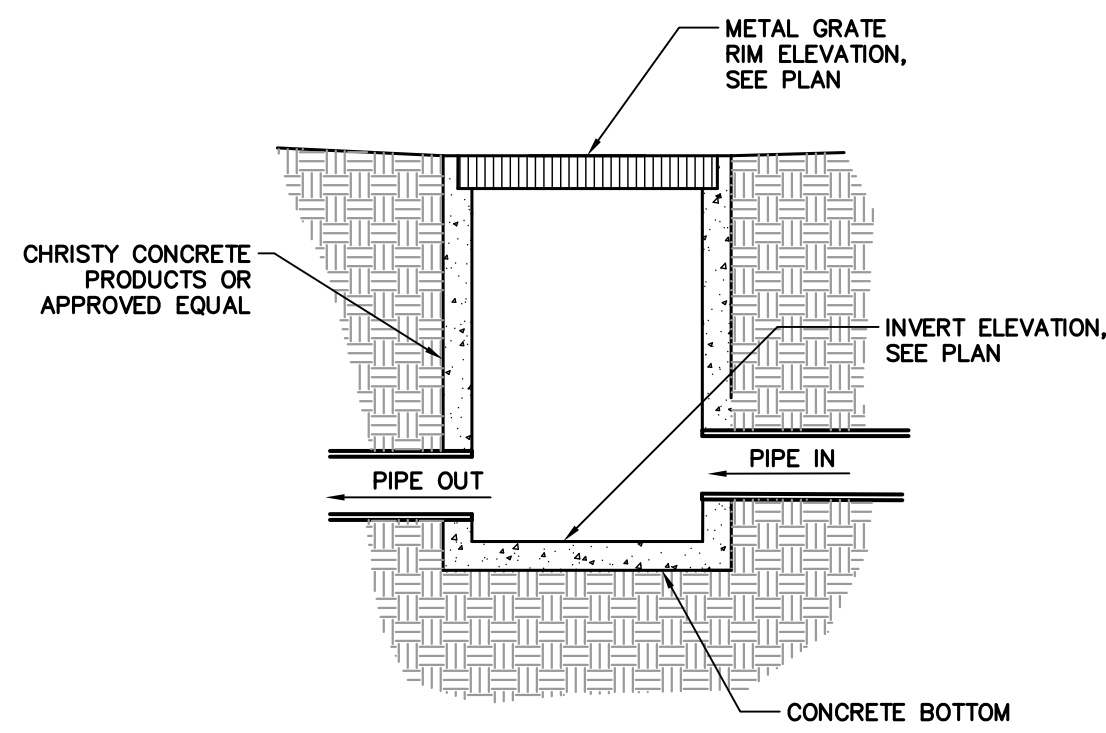
NEW FOUR-PLEX
FOR
BILL STROHMMEYER
224 PALM AVENUE
MARINA, CA 93933
APN 032-303-45, -46, -47

GRADING & DRAINAGE PLAN

project no.
20-121-1
date
MAY 2022
scale
AS SHOWN
dwg name
CIVIL1.dwg

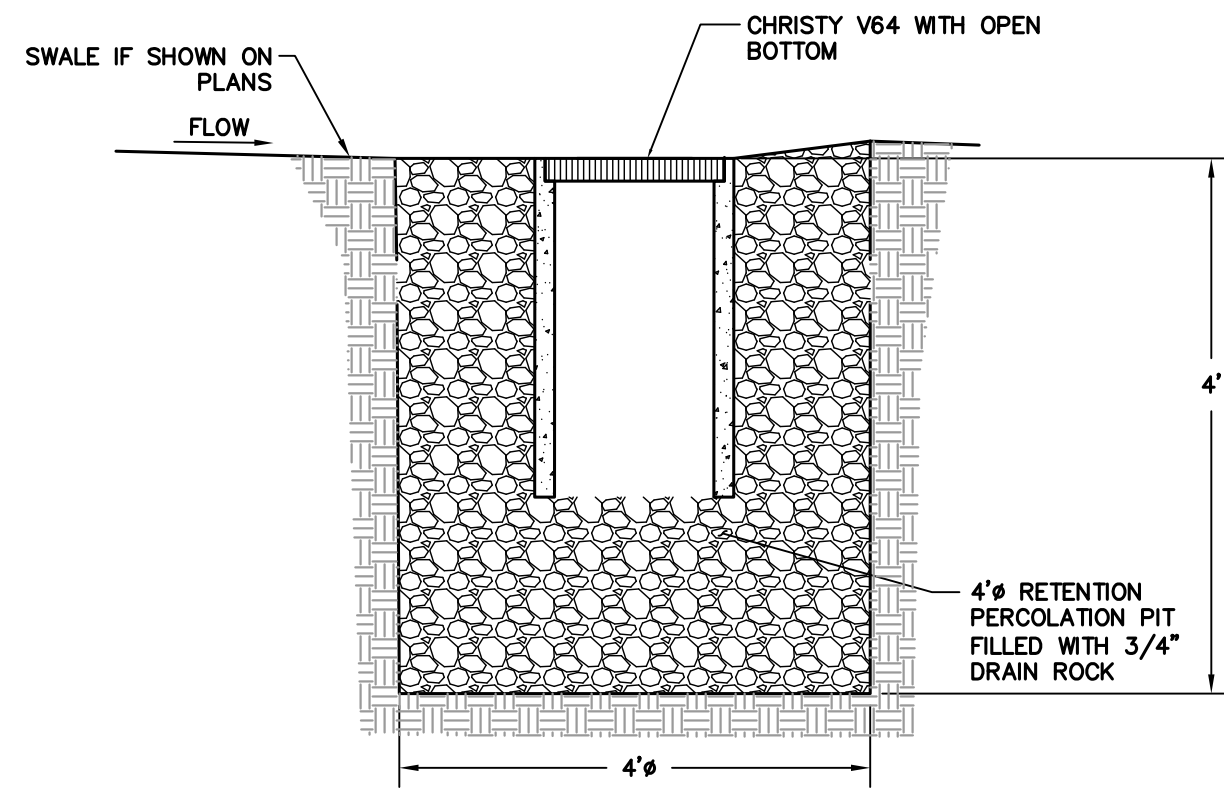
C-1

PLANNING SUBMITTAL

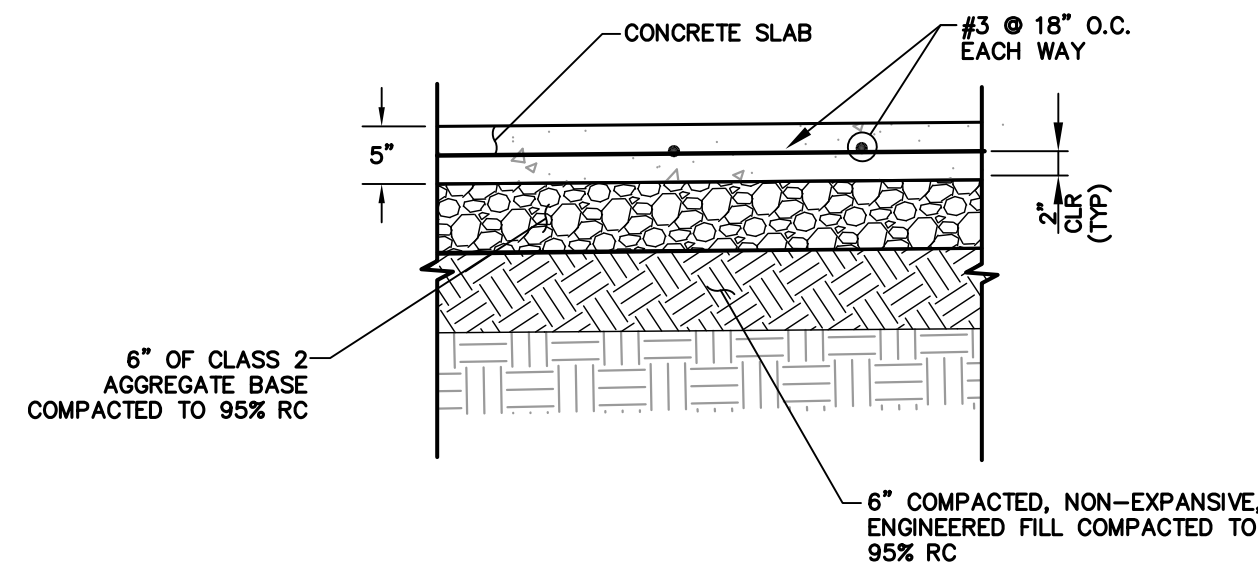


NOTE:
SEE PLAN FOR RIM & INVERT
ELEVATIONS AND PIPE DIAMETERS

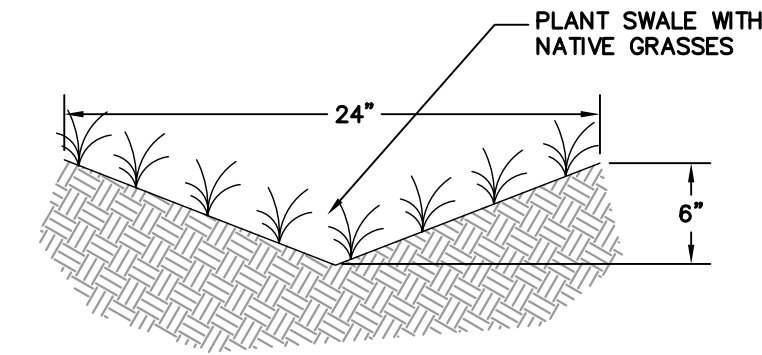
TYPICAL CATCH BASIN DETAIL (1 C-2)
NTS



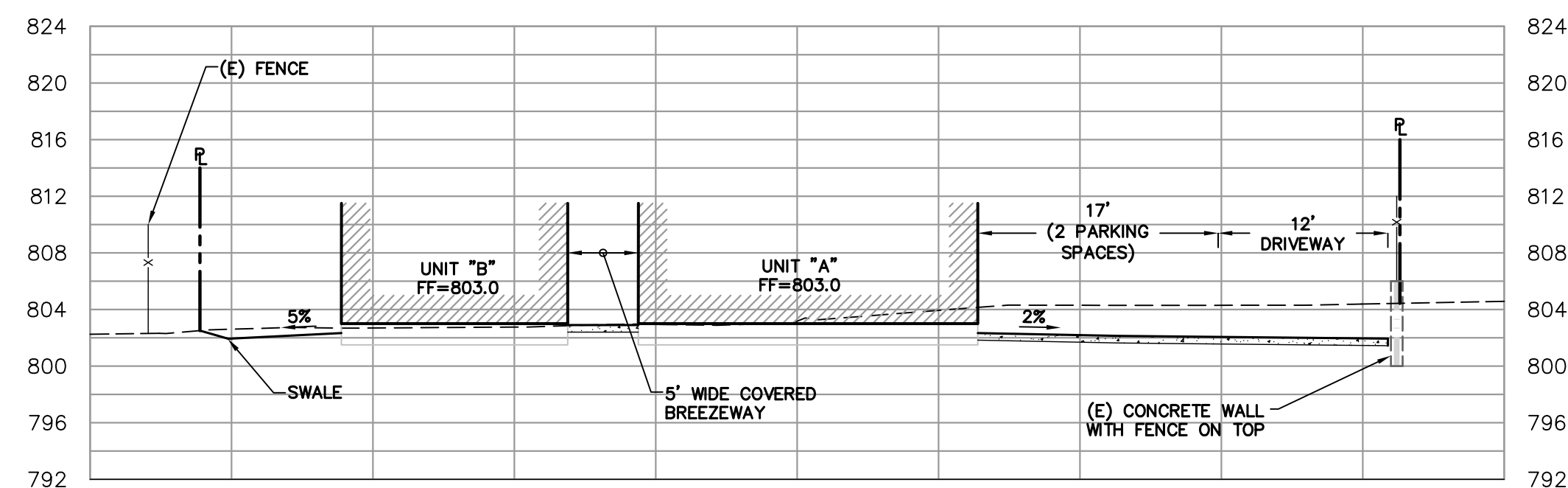
DRY WELL DETAIL (2 C-2)
NTS



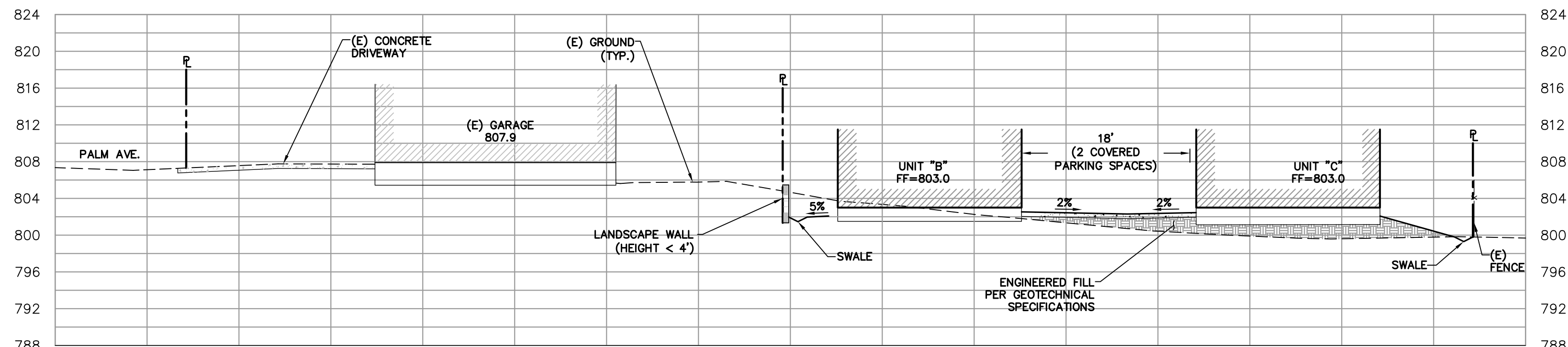
CONCRETE DRIVEWAY DETAIL (3 C-2)
NTS



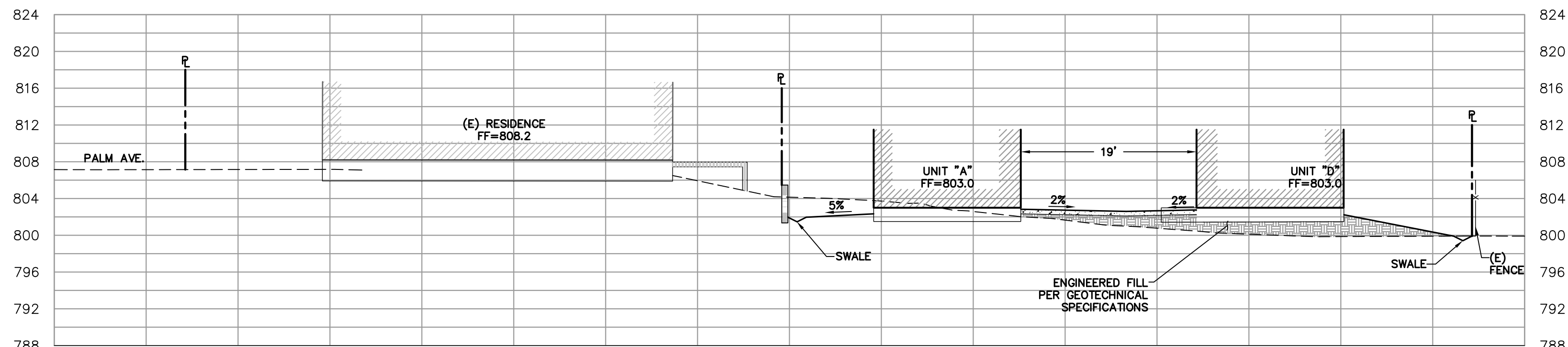
VEGETATED SWALE DETAIL (4 C-2)
NTS



SECTION A-A
SCALE: 1"=10' HORIZONTAL, VERTICAL



SECTION B-B



SECTION C-C
SCALE: 1"=10' HORIZONTAL, VERTICAL



5/10/2022

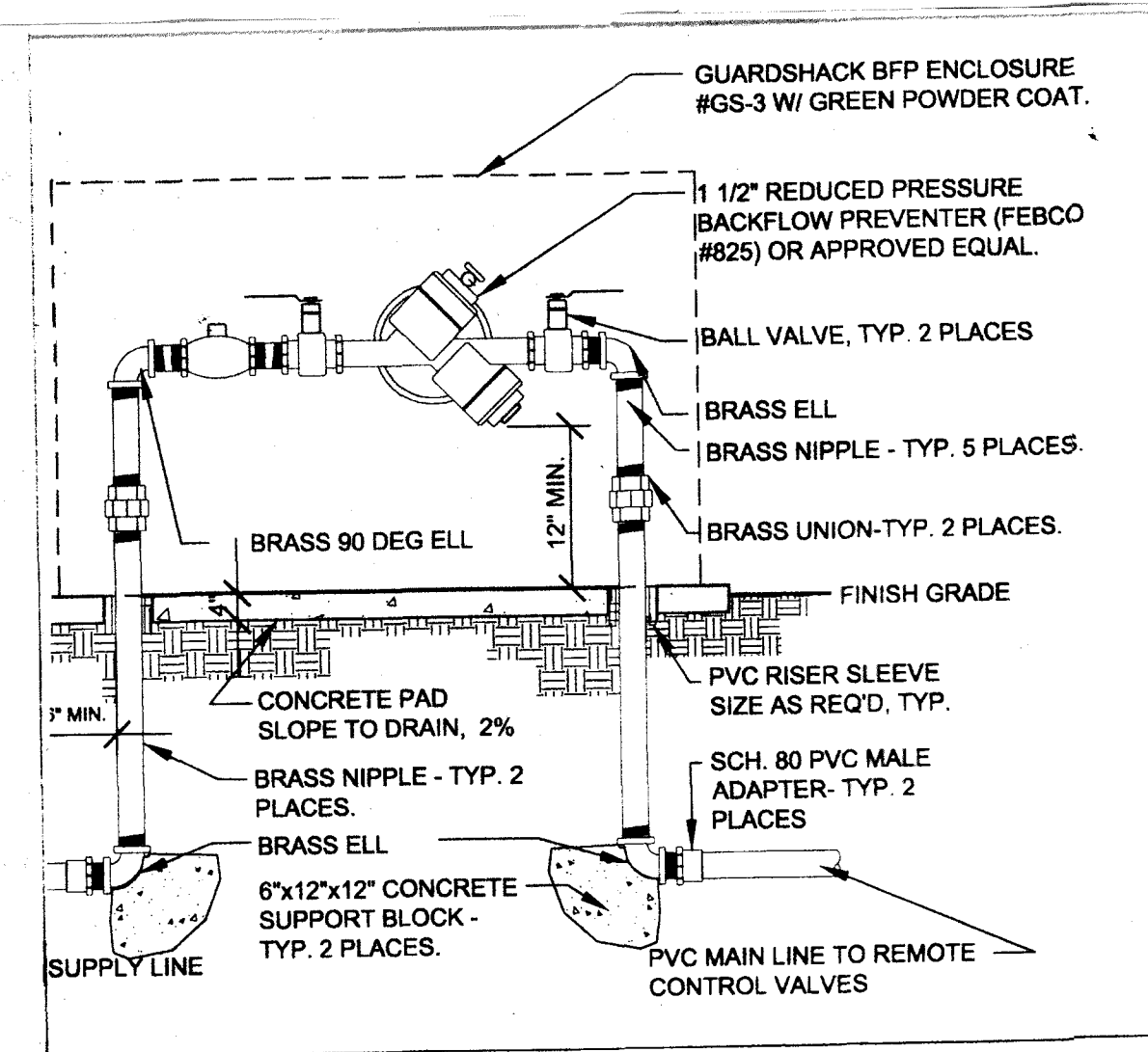
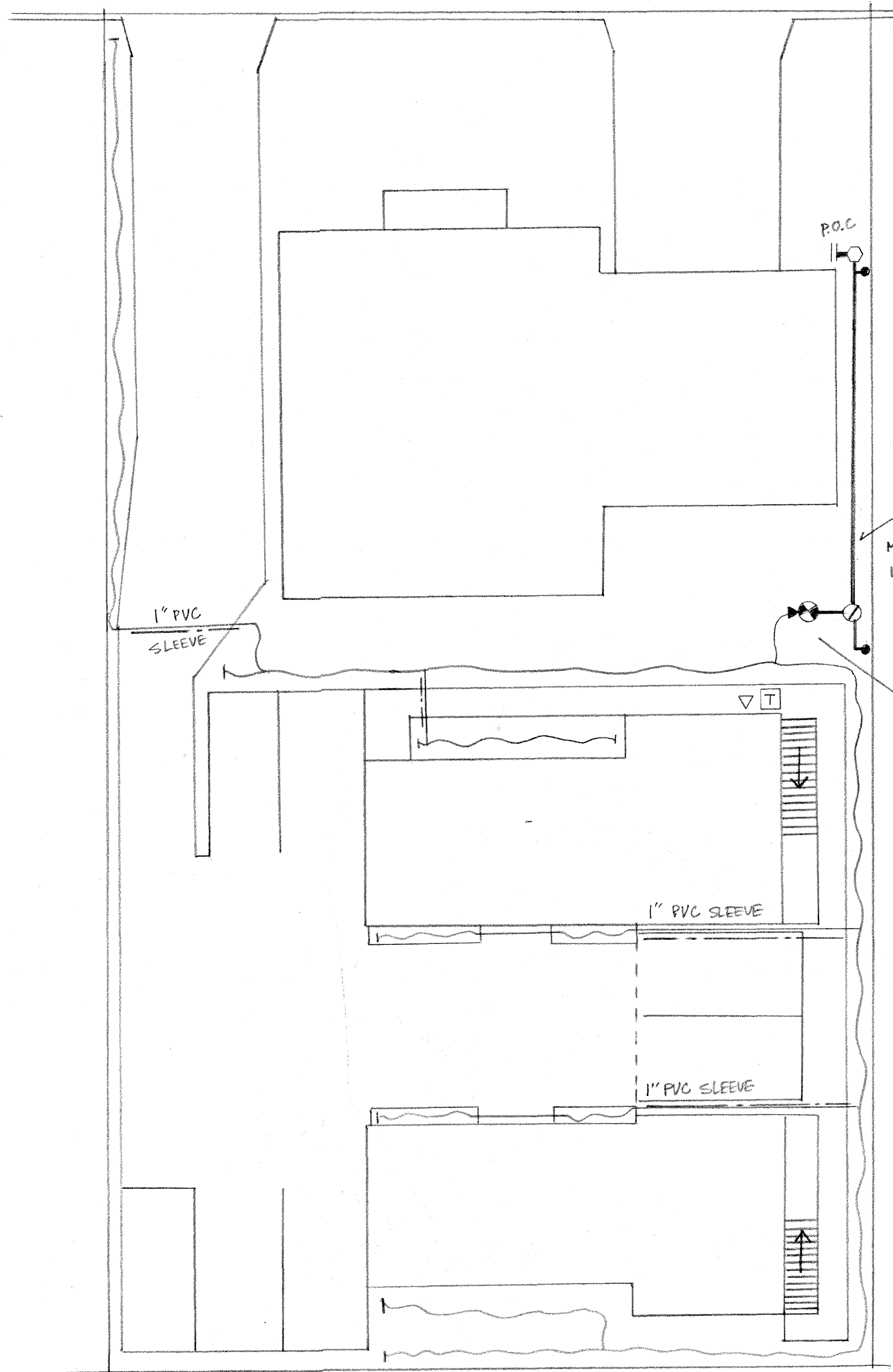
R.I Engineering, Inc.
303 Potrero St., Suite 42-202, Santa Cruz, CA 95060
831-425-3901 www.riengineering.com

NEW FOUR-PLEX
FOR
BILL STROHMEYER
224 PALM AVENUE
MARINA, CA 93933
APN 032-303-45, -46, -47

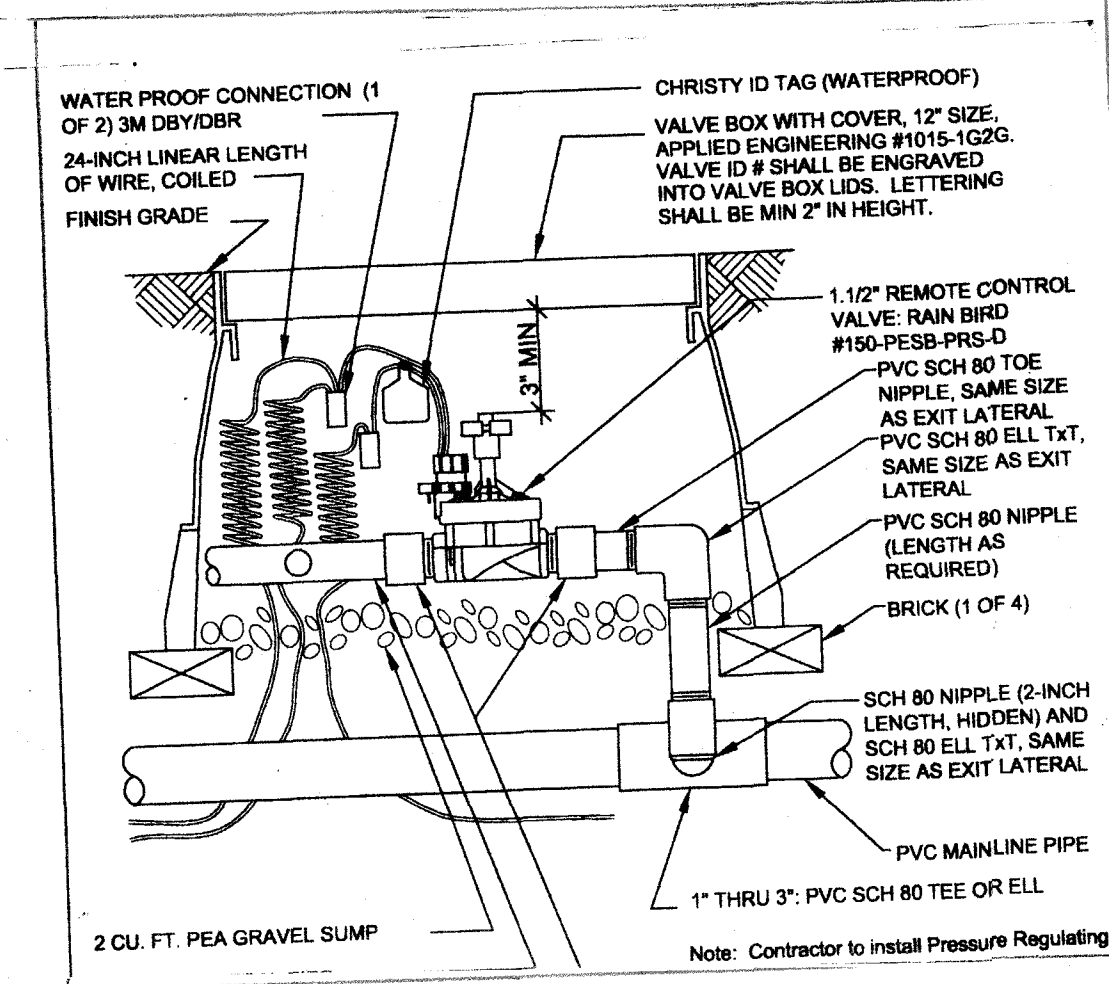
SECTIONS AND DETAILS

project no.
20-121-1
date
MAY 2022
scale
AS SHOWN
dwg name
CIVIL1.dwg

C-2



BACKFLOW PREVENTER DETAIL



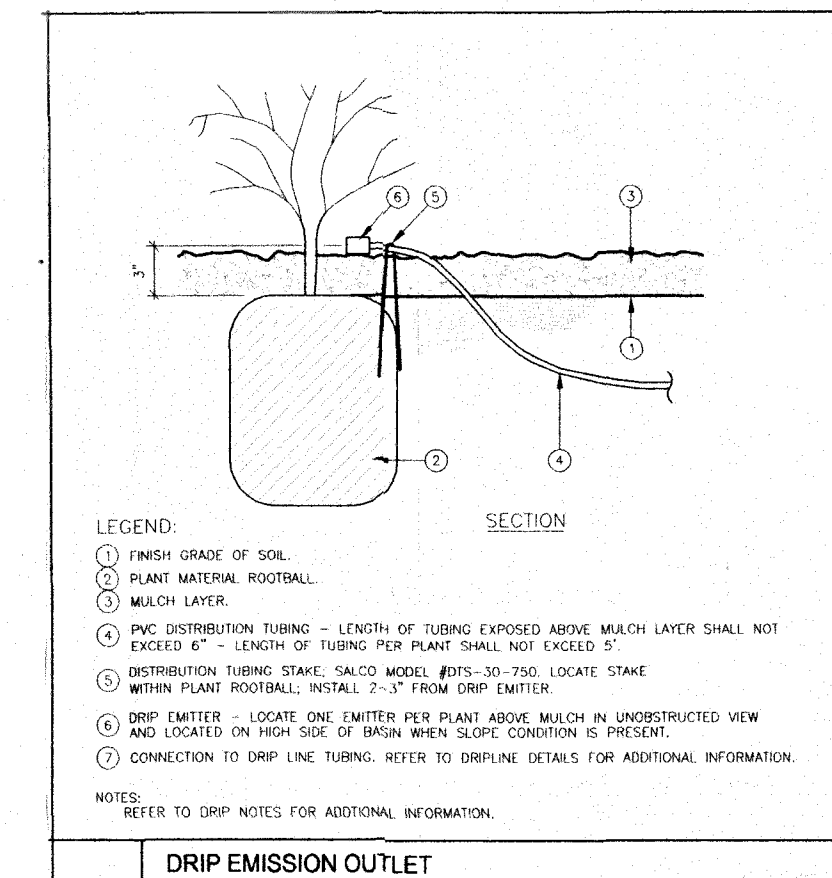
Note: Contractor to install Pressure Regulating

IRRIGATION LEGEND

KEY	ITEM	MODEL	QTY
T	IRRIGATION TIMER	RAINBIRD ESP	1
▽	RAIN SENSOR	CPMTRADS-BEX	1
•	ANI-SYPHON VALVE	RAINBIRD	1
▶	DRIP FILTER COMBO	RAINBIRD	1
-----	MAIN LINE	SCHEDULE 40	-----
○	SHUT OFF VALVE	NIBCO100.125.150	1
~	DRIP POLY TUBE 1/2"	AGRUFUB P-700	-----
●	HOSE BID 3/4"	NIBCO 3/4"	2

DRIP EMITTER

PLANT	EMITTER	QTY
1GAL	1GAL	2
5GAL	2GAL	2
15GAL	2GAL	4
24"BOX	2GAL	6



$$\text{MAWA} = 46.1 \times 0.62 \times [(0.7 \times 1,490) + (0.3 \times 0)] = 29,811.03$$

$$\text{Mawa} = \text{Eto} \times 0.62 \times [(0.7 \times \text{LA}) + (0.3 \times \text{SLA})]$$

46.1= inches per year

LA= landscaped area

SLA=special landscaped area (fountain, turf, vegetable area)

I, Mitsugu Mori, certify that this landscaping and irrigation plan complies with all Monterey County landscape Requirements including use of native, drought-tolerant, non-invasive species:
No turf and low-flow water conserving irrigation fixtures.

C-27 License 474130
Green Valley Landscape Inc.
1177 San Pablo Ave, Seaside CA 93955
(831) 393-9100
Fax 393-9200

$$\text{ETWU} = (46.3) \times 0.62 \times [\text{PF} \times \text{HA} + \text{SLA}] = 0.81$$

$$\text{ETWU} = (46.3) \times 0.62 \times [1,490 + 0] = 0.81$$

$$= 42,771.94 \text{ gallons per year}$$

ETWU=Estimated Total Water Usage per year (gallons)

46.3= inches per year

PF= Plant Factor

HA=Hydrozone Area

SLA=special landscaped area (fountain, turf, vegetable area)

Hydrozone	PWUT	PF	HA	PF x HA
1	very low	0.05	1490	74.50

IRRIGATION PLAN

SCALE 1"= 10' 0"

MORI DESIGN

650 E FRANKLIN, MONTEREY, CA 93940

(831) 393-9100

Fax 393-9200

Lic # 474130

DATE:

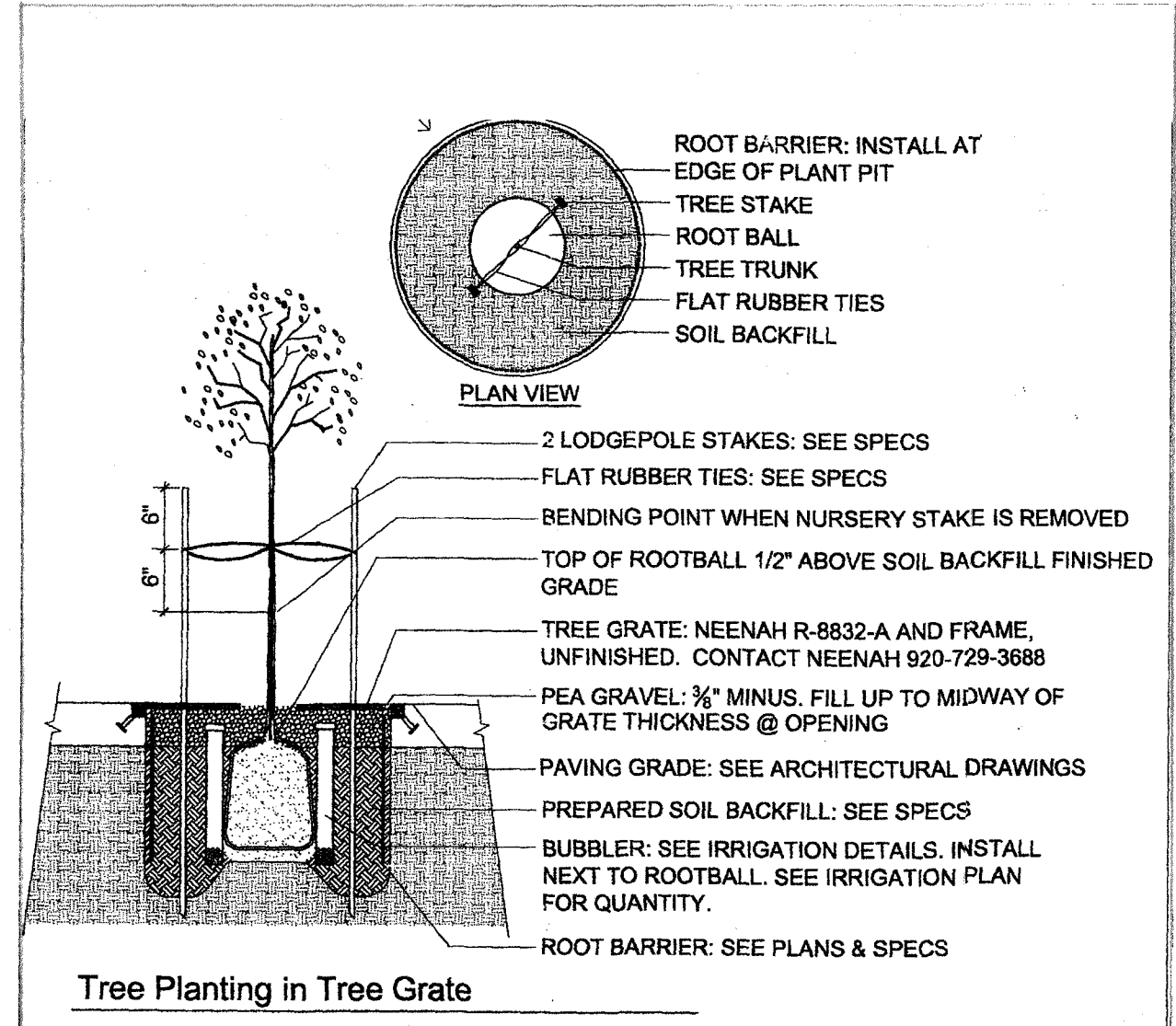
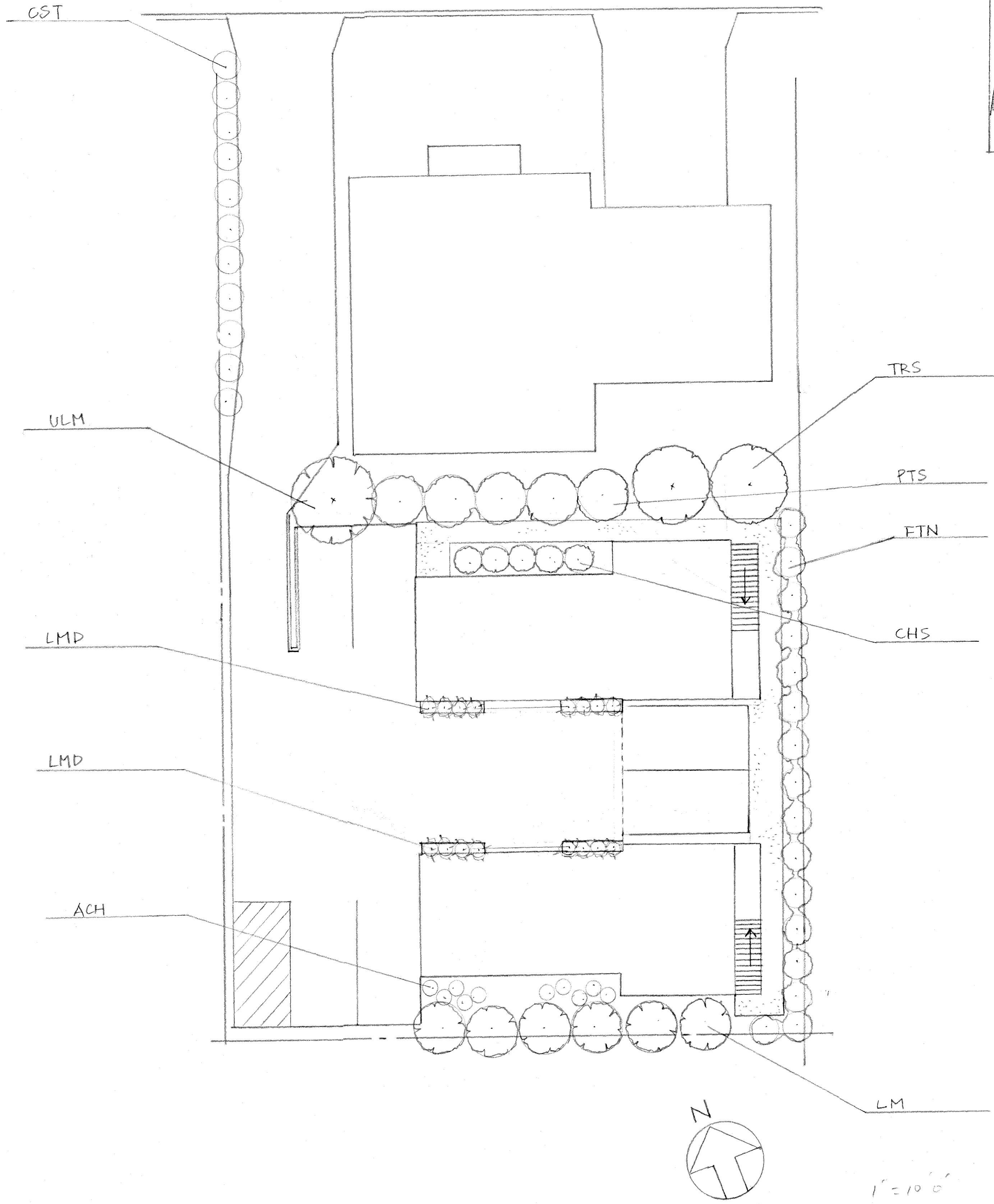
DRAWN BY:



HBD APARTMENT

226 PALM AVE. MARINA, CA 93933

APN 032-303-045, 032-303-046, 032-303-047



PLANT LIST

TREES	BOTANICAL NAME	COMMON NAME	SIZE	QTY
TRS	TRISTANIA CONFERTA	N/A	24"BOX	2
ULM	ULMUS PARVIFOLIA	CHINESE ELM	15GAL	1

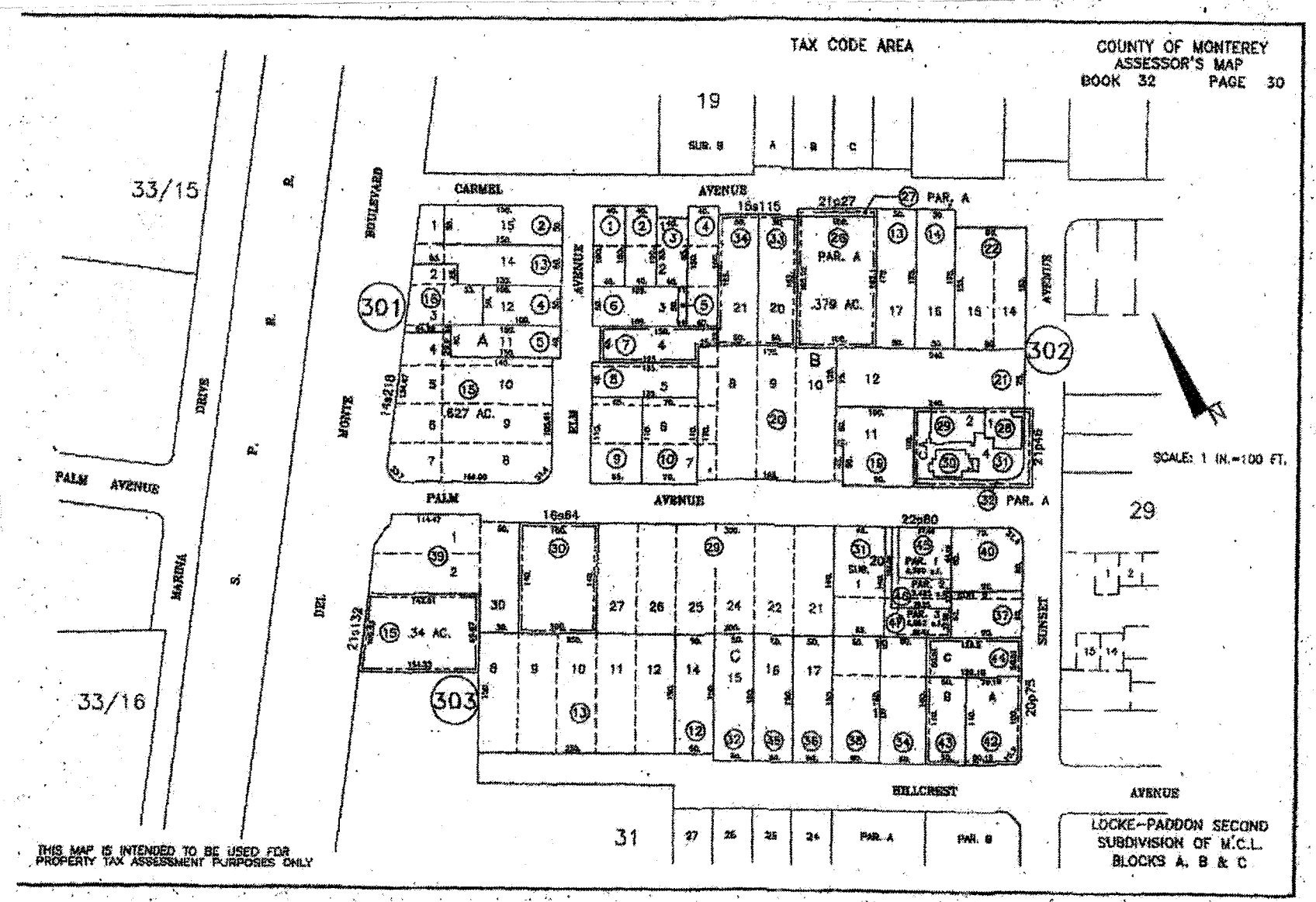
SHRUB

PTS	PITTIOSPORUM TENUFOLIUM	N/A	15GAL	5
LM	LUMA APICULATA	N/A	15GAL	6
FTN	FORTINIA FRASEII	N/A	5GAL	16
CHS	CHOISYA TERNATA	MEXICAN MOCK ORANGE	5GAL	5
CST	CISTUS SCANBERGII	ROCK ROSE	1GAL	11
LMD	LOMANDRA ARCTIC FROST	LOMANDRA GRASS	1GAL	16

GROUND COVER

ACH	ACHILLEA MILLEFOLIUM	YARROW	1GAL	10
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- PLANTING NOTES
- MULCH OR WOOD CHIP TO BE INSTALLED - 3" IN DEPTH
 - SOIL AMENDMENT SUCH AS NITROFIED SAW DUST OR ORGANIC COMPOST TO BE TILLED IN THE SOIL PRIOR TO PLANTING WORK
 - PLANT BASIN AT EACH PLANT HOLE TO BE BUILT AFTER PLANTING
 - INITIAL MANUAL WATERING TO BE DONE EACH DAY AFTER PLANTING



HBD APARTMENT

226 PALM AVE. MARINA, CA 93933
APN 032-303-045, 032-303-046, 032-303-047

PLANTING PLAN

SCALE 1"=10' 0"

DRAWN BY: *[Signature]*

MORI DESIGN
650 E FRANKLIN, MONTEREY, CA 93940
(831) 393-9100
Fax 393-9200
Lic # 474130

DATE:

Honorable Mayor and Members
of the Marina City Council

City Council Meeting
of March 5, 2024

**CITY COUNCIL TO RECEIVE A PRESENTATION FROM THE MONTEREY
SALINAS TRANSIT (MST) DISTRICT ON THE TRANSIT ORIENTED
DEVELOPMENT PLANNING STUDY. NO FORMAL ACTION IS REQUIRED
BY THE CITY COUNCIL.**

BACKGROUND

Monterey-Salinas Transit (MST) is developing a Transit-Oriented Development (TOD) Planning Study (“TOD study”) to enhance the viability of TOD and increase the ridership potential in key station areas along the planned SURF! Busway and Bus Rapid Transit (BRT) corridor. The SURF! Project is proposing improvements to the 19.5-mile Line 20 that extends between Monterey and Salinas and to construct a six-mile dedicated busway on the Transportation Agency for Monterey County’s (TAMC’s) Monterey Branch Line rail corridor between Sand City and Marina. MST has received full funding for the SURF! BRT project from the Federal Transit Administration (FTA), California State Transportation Agency (Cal STA), TAMC, and other funding partners.

TOD projects typically consist of dense development featuring a mix of land uses located around a major transit station combined with a diverse set of surrounding transportation options that help transit riders make the “first or last” mile connection to their destination. This TOD “ecosystem” provides seamless and convenient access that extends the reach of transit and makes it more attractive for riders.

The TOD study has analyzed various travel patterns and land use factors along the SURF! corridor to understand the opportunities and constraints for TOD and supportive “first/last mile” transportation projects. Several community engagement efforts have been held throughout the TOD study to receive input from residents and stakeholders, including online surveys, focus groups, and community “pop-up” events. The study’s Technical Advisory Committee (TAC), which consisted of staff from all of the cities (Marina, Sand City, Seaside, Monterey, and Salinas), TAMC, and California State University, Monterey Bay (CSUMB), provided critical input and feedback on the project’s deliverables.

The study’s Implementation Strategy report provides actionable TOD “best practices” and transportation infrastructure improvements that support safe and convenient access for pedestrians and bicyclists to MST’s SURF! corridor and other key transit routes. These TOD and supportive first/last mile access improvements will help increase transit ridership by shifting people from cars, which will improve MST’s operating efficiency, support affordable housing opportunities near transit, reduce congestion, improve air quality, and enhance local placemaking.

The TOD and transportation improvements recommended in this study are not part of the SURF! project, which will begin construction in 2024. These land use and transportation recommendations serve as guidance for MST, TAMC, and the cities along the corridor to consider as future development occurs and will help enhance the regional coordination of land use and transit planning efforts in Monterey County. The TOD study focuses on five study areas along the SURF! corridor in Monterey, Sand City, Seaside, Marina, and Salinas. Each study area is approximately 0.5 to 1.0-mile around the SURF! alignment and major bus stops along the corridor. The study area for Marina is consistent with the City’s Downtown Vitalization Specific Plan, which focuses higher density development along Del Monte Boulevard and Reservation Road.

This study identifies a number of potential land use policies to support TOD and presents how various TOD scenarios can leverage SURF! and other MST routes, which can lead to higher transit ridership and more sustainable transportation outcomes. The TOD study presents three aspirational “place types” that are applied to the study areas along the corridor for purposes of understanding the potential for development and transit ridership. Within the City of Marina, the study applied the “Major Activity Center” place type to areas along Del Monte Boulevard and Reservation Road. The TOD study is consistent with the Vitalization Specific Plan. The TOD study assessed residential densities at 70 units per acre, which corresponds with the City’s Vitalization Plan that assumed residential densities of 70 units per acre in the “Core” land use designation.

The TOD study does not recommend changes to land use policy or zoning code – it is focused on how to increase transit ridership, transit amenities, first/last-mile transportation strategies, and regional coordination. Table 12 (TOD Implementation Plan) in the TOD study presents a range of advisory land use, housing and transportation actions. The “Land Use” recommendations include:

- “Coordinate findings and recommendations into General Plan and Specific Plan updates
- “Zoning revisions for existing districts or overlays

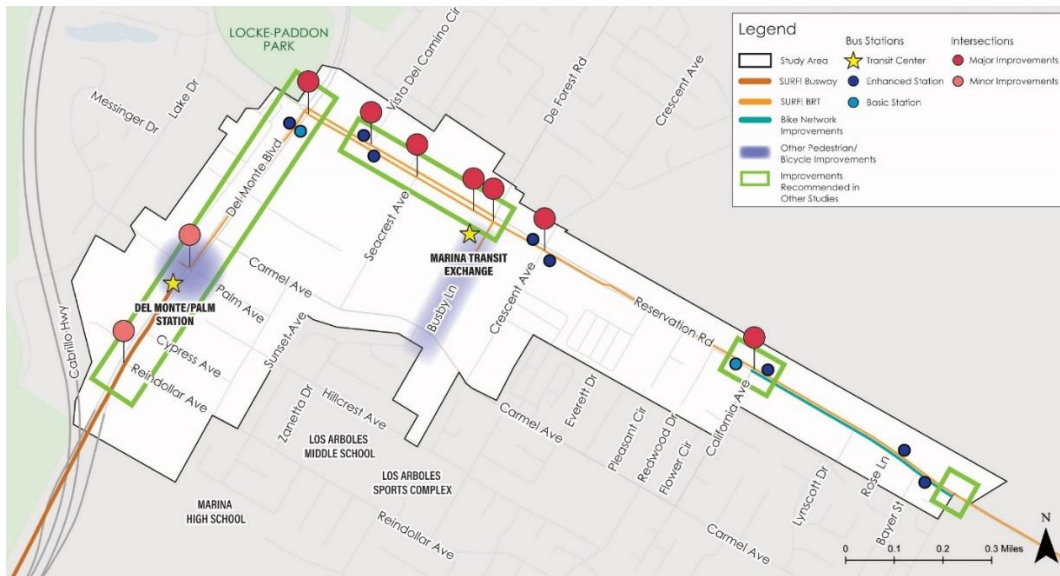
These land use implementation tasks are advisory for cities along the corridor to be considered and implemented when policies are updated or land use development occurs. The City’s proposed adoption of the Vitalization Specific Plan incorporates the TOD best practices recommended in MST’s TOD study.

For the City of Marina, the TOD study closely reviewed the Downtown Vitalization Specific Plan to understand the City’s development densities and transportation projects along Del Monte Boulevard and Reservation Road. The TOD study’s land use analysis evaluates opportunity zones along these corridors to understand their potential development, population, and transit ridership impact. The TOD analysis is consistent with the Vitalization Specific Plan’s recommendations and builds on this work to understand the impacts on MST’s transit system.

Along the Del Monte and Reservation corridors, the study proposes transportation improvements that include upgrading bus stops within the study areas to incorporate basic infrastructure such as shelters, seating, and signage. Real time information and bicycle facilities could also be provided at some locations based on utility availability and other factors. The study’s analysis indicates that many bus stops have sufficient ridership and/or space to allow for enhanced improvements.

The figure below presents the location of potential transportation improvements within the City of Marina, which include intersection and crossing upgrades, bus stop enhancements, and bicycle infrastructure improvements. Planned and proposed City projects along Del Monte Boulevard and Reservation Road are reflected on the figure and are consistent with ongoing City efforts. The transportation projects recommended in this TOD study complement and support these ongoing efforts.

TOD Planning Study: Recommended Transportation Improvements for the City of Marina



Additionally, the TOD study proposes a suite of mobility hub improvements be implemented at MST's Marina Transit Exchange. Mobility hub improvements include enhanced amenities such as bicycle parking, space for passenger loading and pick-up/drop-off, and could include features such as mobile food vending. The 5th Street Station at the mid-point of the SURF! busway already has planned mobility hub features.

MST is responsible for implementing the planned SURF! BRT stations and other supportive infrastructure within its right-of-way (ROW) and defined in its FTA application. It is proposed that MST work with the cities of Salinas, Marina, Sand City, Seaside and Monterey as well as other key stakeholders to coordinate and implement these transit supportive improvements, which will require collaboration with developers and owners of adjacent land uses and working together to secure grant funding.

Respectfully submitted,

Guido F. Persicone
Community Development Director,
City of Marina

REVIEWED/CONCUR

Layne Long
City Manager,
City of Marina

Attachment: A-Link to TOD Study: <https://mst.org/wp-content/media/20231129-MST-TOD-Implementation-Strategy-Report.pdf>