



AGENDA

Tuesday, March 19, 2024

5:00 P.M. Closed Session

6:30 P.M. Open Session

REGULAR MEETING

**CITY COUNCIL, AIRPORT COMMISSION,
MARINA ABRAMS B NON-PROFIT CORPORATION, PRESTON PARK
SUSTAINABLE COMMUNITY NON-PROFIT CORPORATION, SUCCESSOR
AGENCY OF THE FORMER MARINA REDEVELOPMENT AGENCY AND MARINA
GROUNDWATER SUSTAINABILITY AGENCY**

THIS MEETING WILL BE HELD IN PERSON AND VIRTUALLY (HYBRID).

Council Chambers
211 Hillcrest Avenue
Marina, California

AND

Zoom Meeting URL: <https://zoom.us/j/730251556>

Zoom Meeting Telephone Only Participation: 1-669-900-9128 - Webinar ID: 730 251 556

PARTICIPATION

You may participate in the City Council meeting in person or in real-time by calling Zoom Meeting via the weblink and phone number provided at the top of this agenda. Instructions on how to access, view and participate in remote meetings are provided by visiting the City's home page at <https://cityofmarina.org/>. Attendees can make oral comments during the meeting by using the "Raise Your Hand" feature in the webinar or by pressing *9 on your telephone keypad if joining by phone only.

The most effective method of communication with the City Council is by sending an email to marina@cityofmarina.org. Comments will be reviewed and distributed before the meeting if received by 5:00 p.m. on the day of the meeting. All comments received will become part of the record. Council will have the option to modify their action on items based on comments received.

AGENDA MATERIALS

Agenda materials, staff reports and background information related to regular agenda items are available on the City of Marina's website www.cityofmarina.org. Materials related to an item on this agenda submitted to the Council after distribution of the agenda packet will be made available on the City of Marina website www.cityofmarina.org subject to City staff's ability to post the documents before the meeting.

VISION STATEMENT

Marina will grow and mature from a small town bedroom community to a small city which is diversified, vibrant and through positive relationships with regional agencies, self-sufficient. The City will develop in a way that insulates it from the negative impacts of urban sprawl to become a desirable residential and business community in a natural setting. **(Resolution No. 2006-112 - May 2, 2006)**

MISSION STATEMENT

The City Council will provide the leadership in protecting Marina's natural setting while developing the City in a way that provides a balance of housing, jobs and business opportunities that will result in a community characterized by a desirable quality of life, including recreation and cultural opportunities, a safe environment and an economic viability that supports a high level of municipal services and infrastructure. **(Resolution No. 2006-112 - May 2, 2006)**

LAND ACKNOWLEDGEMENT

The City recognizes that it was founded and is built upon the traditional homelands and villages first inhabited by the Indigenous Peoples of this region - the Esselen and their ancestors and allies - and honors these members of the community, both past and present.

1. CALL TO ORDER 
2. ROLL CALL & ESTABLISHMENT OF QUORUM: (City Council, Airport Commissioners, Marina Abrams B Non-Profit Corporation, Preston Park Sustainable Communities Nonprofit Corporation, Successor Agency of the Former Redevelopment Agency Members and Marina Groundwater Sustainability Agency)

Jennifer McAdams, Brian McCarthy, Kathy Biala, Mayor Pro-Tem/Vice Chair Liesbeth Visscher, Mayor/Chair Bruce C. Delgado
3. PUBLIC COMMENT ON CLOSED SESSION ITEMS:
4. CLOSED SESSION:
 - a. Conference with Legal Counsel: Anticipated Litigation, (Government Code Section 54956.9(d)(4)) Number of Cases: 1

6:30 PM - RECONVENE OPEN SESSION AND REPORT ON ANY ACTIONS TAKEN IN CLOSED SESSION

5. MOMENT OF SILENCE & PLEDGE OF ALLEGIANCE (Please stand)
6. SPECIAL PRESENTATIONS: None
7. COUNCIL AND STAFF ANNOUNCEMENTS:
8. PUBLIC COMMENT: *Any member of the public may comment on any matter within the City Council's jurisdiction that is not on the agenda. This is the appropriate place to comment on items on the Consent Agenda. Action will not be taken on items not on the agenda. Comments are limited to a maximum of three (3) minutes. General public comment may be limited to thirty (30) minutes and/or continued to the end of the agenda. Any member of the public may comment on any matter listed on this agenda at the time the matter is being considered by the City Council. Whenever possible, written correspondence should be submitted to the Council in advance of the meeting, to provide adequate time for its consideration.*
9. CONSENT AGENDA FOR THE SUCCESSOR AGENCY TO THE FORMER MARINA REDEVELOPMENT AGENCY: *Background information has been provided to the Successor Agency of the former Redevelopment Agency on all matters listed under the Consent Agenda, and these items are considered to be routine and non-controversial. All items under the Consent Agenda are normally approved by one motion. Prior to such a motion being made, any member of the public or City Council may ask a question or make a*

comment about an agenda item and staff may provide a response. If discussion or a lengthy explanation is required, the Council may remove an item from the Consent Agenda for individual consideration. If an item is pulled for discussion, it will be placed at the end of Other Action Items Successor Agency to the former Marina Redevelopment Agency.

10. **CONSENT AGENDA:** *These items are considered to be routine and non-controversial. All items under the Consent Agenda may be approved by one motion. Prior to such a motion being made, any member of City Council may ask a question or make a comment about an agenda item and staff may provide a response. If discussion or a lengthy explanation is required, Council may remove the item from the Consent Agenda and it will be placed at the end of Other Action Items.*
 - a. **ACCOUNTS PAYABLE:** *(Not a Project under CEQA per Article 20, Section 15378)*
 - (1) Accounts Payable Check Numbers 104146-104242, totaling \$984,289.00.
Accounts Payable Successor Agency EFT 94, totaling \$442.50
 - b. **MINUTES:** *(Not a Project under CEQA per Article 20, Section 15378)*
 - (1) March 5, 2024, Regular City Council Meeting
 - c. **CLAIMS AGAINST THE CITY:** None
 - d. **AWARD OF BID:** None
 - e. **CALL FOR BIDS:** None
 - f. **ADOPTION OF RESOLUTIONS:** *(Not a Project under CEQA per Article 20, Section 15378)*
 - (1) Adopting Resolution No. 2024-, amending the Mayor's 2024 recommendation for City Councilmember assignments to various Committees/Commissions/Boards.
 - g. **APPROVAL OF AGREEMENTS:** *(Not a Project under CEQA per Article 20, Section 15378)*
 - (1) Adopting Resolution No. 2024-, approving an agreement between the City of Marina and Fun4All LLC to provide specialty summer camps and workshops. *(This item is exempt from environmental review per §15378 of the CEQA guidelines)*
 - (2) Adopting Resolution No. 2024-, approving a Memorandum of Understanding (MOU) with the Marina Equestrian Association (MEA) for the provision of equestrian boarding and related uses. *(This item is exempt from environmental review per §15378 of the CEQA guidelines)*
 - h. **ACCEPTANCE OF PUBLIC IMPROVEMENTS:** None
 - i. **MAPS:** None
 - j. **REPORTS:** (RECEIVE AND FILE): None
 - k. **FUNDING & BUDGET MATTERS:** None
 - l. **APPROVE ORDINANCES (WAIVE SECOND READING):** None
 - m. **APPROVE APPOINTMENTS:** None
11. **PUBLIC HEARINGS:** *In the Council's discretion, the applicant/proponent of an item may be given up to ten (10) minutes to speak. All other persons may be given up to three (3) minutes to speak on the matter.*

- a. Receive a presentation from the City's consultant, Raimi+Associates, on the public draft ODS, receive public comment, and adopt the ODS as presented, and adopt both an Ordinance amending the requisite chapters and sections of MMC Title 17, and Sections 4.2 and 4.26.4 of the General Plan.
- b. Open a public hearing and consider introducing Ordinance No. 2024-, amending Chapter 17.44 (Parking Ordinance) to implement Program 3.1 of the Housing Element.
- c. City Council Consider adopting Resolution No. 2024- denying the appeal of a Coastal Development Permit (CDP 23-0004) approved by the Planning Commission on February 8, 2024. The application is for the legalization of an existing single-family residence, the installation of a new 5,000-gallon water storage tank, and the development of a new detached garage. The property is in the coastal zone. The project is exempt from CEQA per Sections 15301 (Existing Facilities) and 15303 (New Construction). ***This item is being continued to April 2, 2024.***

12. OTHER ACTIONS ITEMS OF THE SUCCESSOR AGENCY TO THE FORMER MARINA REDEVELOPMENT AGENCY: *Action listed for each Agenda item is that which is requested by staff. The Successor Agency may, at its discretion, take action on any items. Members of the public may be given up to three (3) minutes to speak.*

13. OTHER ACTION ITEMS: *Action listed for each Agenda item is that which is requested by staff. The City Council may, at its discretion, take action on any items. Members of the public may be given up to three (3) minutes to speak.*

Note: No additional major projects or programs should be undertaken without review of the impacts on existing priorities (Resolution No. 2006-79 – April 4, 2006).

- a. Receive Monterey County Convention and Visitor Bureau Presentation on Mid-Year Investment Summary.

14. COUNCIL & STAFF INFORMATIONAL REPORTS:

- a. Monterey County Mayor's Association [Mayor Bruce Delgado]
- b. Council reports on meetings and conferences attended (Gov't Code Section 53232).

15. ADJOURNMENT:

CERTIFICATION

I, Anita Sharp, Deputy City Clerk, of the City of Marina, do hereby certify that a copy of the foregoing agenda was posted at City Hall and Council Chambers Bulletin Board at 211 Hillcrest Avenue, Monterey County Library Marina Branch at 190 Seaside Circle, City Bulletin Board at the corner of Reservation Road and Del Monte Boulevard on or before 6:30 p.m., Friday, March 15, 2024.

ANITA SHARP, DEPUTY CITY CLERK

City Council, Airport Commission and Redevelopment Agency meetings are recorded on tape and available for public review and listening at the Office of the City Clerk and kept for a period of 90 days after the formal approval of MINUTES.

City Council meetings may be viewed live on the meeting night and at 12:30 p.m. and 3:00 p.m. on Cable Channel 25 on the Sunday following the Regular City Council meeting date. In addition, Council meetings can be viewed at 6:30 p.m. every Monday, Tuesday and Wednesday. For more information about viewing the Council Meetings on Channel 25, you may contact Access Monterey Peninsula directly at 831-333-1267.

Agenda items and staff reports are public record and are available for public review on the City's website (www.cityofmarina.org), at the Monterey County Marina Library Branch at 190 Seaside Circle and at the Office of the City Clerk at 211 Hillcrest Avenue, Marina between the hours of 10:00 a.m. 5:00 p.m., on the Monday preceding the meeting.

Supplemental materials received after the close of the final agenda and through noon on the day of the scheduled meeting will be available for public review at the City Clerk's Office during regular office hours and in a 'Supplemental Binder' at the meeting.

ALL MEETINGS ARE OPEN TO THE PUBLIC. THE CITY OF MARINA DOES NOT DISCRIMINATE AGAINST PERSONS WITH DISABILITIES. Council Chambers are wheelchair accessible. Meetings are broadcast on cable channel 25 and recordings of meetings can be provided upon request. To request assistive listening devices, sign language interpreters, readers, large print agendas or other accommodations, please call (831) 884-1278 or e-mail: marina@cityofmarina.org. Requests must be made at least **48 hours** in advance of the meeting.

Upcoming 2024 Meetings of the City Council, Airport Commission, Marina Abrams B Non-Profit Corporation, Preston Park Sustainable Community Nonprofit Corporation, Successor Agency of the Former Redevelopment Agency and Marina Groundwater Sustainability Agency
Regular Meetings: 5:00 p.m. Closed Session;
6:30 p.m. Regular Open Sessions

Tuesday, April 2, 2024
Tuesday, April 16, 2024

Tuesday, May 7, 2024
Tuesday, May 21, 2024

Tuesday, June 4, 2024
Tuesday, June 18, 2024

Tuesday, July 2, 2024
Tuesday, July 16, 2024 (Cancelled)

****Wednesday, August 7, 2023**
Tuesday, August 20, 2024 (Cancelled)

***Wednesday, September 4, 2024**
Tuesday, September 17, 2024

Tuesday, October 1, 2024
Tuesday, October 15, 2024

*****Wednesday, November 6, 2024**
Tuesday, November 19, 2024

Tuesday, December 3, 2024
Tuesday, December 17, 2024

*** Regular Meeting rescheduled due to Monday Holiday**
**** Regular Meeting rescheduled due to National Night Out**
***** Regular Meeting rescheduled due to General Election Day**

C I T Y H A L L 2 0 2 4 H O L I D A Y S
(City Hall Closed)

Memorial Day ----- Monday, May 27, 2024
 Independence Day (City Offices Closed) ----- Thursday, July 4, 2024
 Labor Day ----- Monday, September 2, 2024
 Veterans Day (City Offices Closed)----- Monday, November 11, 2024
 Thanksgiving Day-----Thursday, November 28, 2024
 Thanksgiving Break----- Friday, November 29, 2024
 Winter Break----- Tuesday, December 24, 2024-Friday, December 31, 2024

2024 COMMISSION DATES

Upcoming 2024 Meetings of Planning Commission
2nd and 4th Thursday of every month. Meetings are held at the Council Chambers at 6:30 P.M.

March 28, 2024	June 13, 2024	September 12, 2024
		September 26, 2024
April 11, 2024	June 27, 2024	October 10, 2024
April 25, 2024	July 11, 2024	October 24, 2024
May 11, 2024	July 25, 2024	November 14, 2024
May 23, 2024		
	August 8, 2024	November 28, 2024 (Cancelled)
	August 22, 2024	December 12, 2024

Upcoming 2024 Meetings of Public Works Commission
3rd Thursday of every month. Meetings are held at the Council Chambers at 6:30 P.M.

March 21, 2024	June 20, 2024	September 19, 2024
April 18, 2024	July 18, 2024	October 17, 2024
May 16, 2024	August 15, 2024	November 21, 2024
		December 19, 2024

Upcoming 2024 Meetings of Recreation & Cultural Services Commission
1st Wednesday of every quarter month. Meetings are held at the Council Chambers at 6:30 P.M.

June 5, 2024	September 11, 2024	December 4, 2024
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Upcoming 2024 Meetings of Marina Tree Committee
2nd Wednesday of every quarter month as needed. Meetings are held at the Council Chambers at 6:30 P.M.

April 13, 2024	July 13, 2024	October 12, 2024
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Accounts Payable by G/L Distribution Report

Payment Date Range 03/08/24 - 03/08/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 120 - City Mgr/HR/Risk										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6300.465 - Prof Svc Legal - Special Counsel										
11505 - Shartsis Friese LLP	5487082	Professional Services - MPWSP - January 2024	Paid by Check # 104171		02/29/2024	03/01/2024	03/01/2024		03/08/2024	369,398.63
11033 - Sara Steck Myers	03-02-24	Professional Services - MPWSP - February 2024	Paid by EFT # 4368		03/02/2024	03/04/2024	03/04/2024		03/08/2024	7,800.00
Account 6300.465 - Prof Svc Legal - Special Counsel Totals									Invoice Transactions 2	\$377,198.63
Account 6300.570 - Prof Svc Other										
11865 - TeamCivX	1795	Bond Consulting Fee - February 2024	Paid by EFT # 4369		03/01/2024	03/04/2024	03/04/2024		03/08/2024	6,500.00
Account 6300.570 - Prof Svc Other Totals									Invoice Transactions 1	\$6,500.00
Sub-Division 00 - Non-Subdiv Totals									Invoice Transactions 3	\$383,698.63
Division 000 - Non-Div Totals									Invoice Transactions 3	\$383,698.63
Department 120 - City Mgr/HR/Risk Totals									Invoice Transactions 3	\$383,698.63
Department 125 - I. T.										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6300.330 - Prof Svc IT - Information Tech Svc										
10897 - TechRx Technology Services	11651	IT Support - February 2024	Paid by EFT # 4370		02/29/2024	03/01/2024	02/28/2024		03/08/2024	9,120.00
Account 6300.330 - Prof Svc IT - Information Tech Svc Totals									Invoice Transactions 1	\$9,120.00
Account 6360.342 - Maint & Repairs IT - System Annual Maint										
10905 - Taygeta Scientific, Inc.	000432-R-0063	Computer Network Defense - March 2024	Paid by Check # 104182		03/01/2024	02/28/2024	02/28/2024		03/08/2024	2,750.00
10905 - Taygeta Scientific, Inc.	000708-R-0036	Barracuda Spam Firewall - March 2024	Paid by Check # 104182		03/01/2024	03/01/2024	02/28/2024		03/08/2024	475.80
10897 - TechRx Technology Services	11654	Ninite Subscription	Paid by EFT # 4370		03/01/2024	03/01/2024	02/28/2024		03/08/2024	195.00
10897 - TechRx Technology Services	11645	Amazon Glacier - Subscription	Paid by EFT # 4370		03/01/2024	03/01/2024	02/28/2024		03/08/2024	380.00
10897 - TechRx Technology Services	11653	Veeam Subscription - March 2024	Paid by EFT # 4370		03/01/2024	03/01/2024	02/28/2024		03/08/2024	380.00
10897 - TechRx Technology Services	11510	Veeam 0365 Backup	Paid by EFT # 4370		01/31/2024	02/28/2024	02/28/2024		03/08/2024	1,470.00
Account 6360.342 - Maint & Repairs IT - System Annual Maint Totals									Invoice Transactions 6	\$5,650.80
Account 6360.345 - Maint & Repairs Citywide Microsoft Ofc Upgrade										
10897 - TechRx Technology Services	11637	Citywide MS Office 365 - March 2024	Paid by EFT # 4370		03/01/2024	02/28/2024	02/28/2024		03/08/2024	2,470.40
Account 6360.345 - Maint & Repairs Citywide Microsoft Ofc Upgrade Totals									Invoice Transactions 1	\$2,470.40



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Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 125 - I. T.										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6400.350 - Material & Suppl IT-Computer & Hardware (non-cap)										
10897 - TechRx Technology Services	11634	PH Elitedesktop and Monitors	Paid by EFT # 4370		02/29/2024	03/01/2024	03/01/2024		03/08/2024	1,705.25
Account 6400.350 - Material & Suppl IT-Computer & Hardware (non-cap) Totals									Invoice Transactions 1	\$1,705.25
Account 6400.352 - Material & Suppl IT - Software (non-capitalize)										
10905 - Taygeta Scientific, Inc.	000335-R-0006	Inventory Control Software License Renewal	Paid by Check # 104182		02/28/2024	02/28/2024	02/28/2024		03/08/2024	1,000.00
Account 6400.352 - Material & Suppl IT - Software (non-capitalize) Totals									Invoice Transactions 1	\$1,000.00
Sub-Division 00 - Non-Subdiv Totals									Invoice Transactions 10	\$19,946.45
Division 000 - Non-Div Totals									Invoice Transactions 10	\$19,946.45
Department 125 - I. T. Totals									Invoice Transactions 10	\$19,946.45
Department 150 - City Attorney										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6300.450 - Prof Svc Legal - City Attorney Other Svc										
11964 - Shute Mihaly & Weinbraer LLP	285132	Professional Legal Service - January 2024	Paid by Check # 104181		02/28/2024	03/04/2024	03/04/2024		03/08/2024	38,680.39
Account 6300.450 - Prof Svc Legal - City Attorney Other Svc Totals									Invoice Transactions 1	\$38,680.39
Sub-Division 00 - Non-Subdiv Totals									Invoice Transactions 1	\$38,680.39
Division 000 - Non-Div Totals									Invoice Transactions 1	\$38,680.39
Department 150 - City Attorney Totals									Invoice Transactions 1	\$38,680.39
Department 190 - Citywide Non-Dept										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6300.570 - Prof Svc Other										
11835 - Environmental Innovations, Inc.	2457	Solid Waste Management Services	Paid by Check # 104155		03/04/2024	03/04/2024	03/04/2024		03/08/2024	1,980.00
11425 - Formation Environmental, LLC	8323	Groundwater Sustainability Plan	Paid by EFT # 4362		12/31/2023	02/20/2024	02/20/2024		03/08/2024	4,410.00
10588 - United Site Services	INV-4207120	Beach Rd & De Forest Rd (Windy Hill Park)	Paid by Check # 104185		02/22/2024	02/20/2024	02/20/2024		03/08/2024	260.35
Account 6300.570 - Prof Svc Other Totals									Invoice Transactions 3	\$6,650.35
Account 6360.570 - Maint & Repairs Other Svc Agr										
10129 - Cintas Corporation	4185121085	Mat Service City Hall	Paid by Check # 104154		03/01/2024	03/04/2024	03/04/2024		03/08/2024	52.60
Account 6360.570 - Maint & Repairs Other Svc Agr Totals									Invoice Transactions 1	\$52.60



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Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 190 - Citywide Non-Dept										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6380.150 - Utilities Comm Phone System										
10758 - AT & T CALNET3	21321643	CALNET3-9391023466 (384-8477)	Paid by Check # 104150		02/28/2024	03/04/2024	03/04/2024		03/08/2024	57.15
10758 - AT & T CALNET3	21321640	CALNET3-9391023463 (384-7854)	Paid by Check # 104150		02/28/2024	03/04/2024	03/04/2024		03/08/2024	29.35
10758 - AT & T CALNET3	21321616	CALNET3-9391023441 (384-0888)	Paid by Check # 104150		02/28/2024	03/04/2024	03/04/2024		03/08/2024	29.35
10758 - AT & T CALNET3	21321645	CALNET3-9391023468 (384-9148)	Paid by Check # 104150		02/28/2024	03/04/2024	03/04/2024		03/08/2024	29.35
10758 - AT & T CALNET3	21321615	CALNET3-9391023440 (384-0860)	Paid by Check # 104150		02/28/2024	03/04/2024	03/04/2024		03/08/2024	29.35
10758 - AT & T CALNET3	21321612	CALNET3-9391023437 (384-0425)	Paid by Check # 104150		02/28/2024	03/04/2024	03/04/2024		03/08/2024	57.76
10758 - AT & T CALNET3	21319567	CALNET3-9391023477 (582-9803)	Paid by Check # 104150		02/27/2024	03/04/2024	03/04/2024		03/08/2024	29.35
10758 - AT & T CALNET3	21319561	CALNET3-9391023471 (582-0100)	Paid by Check # 104150		02/27/2024	03/04/2024	03/04/2024		03/08/2024	61.18
Account 6380.150 - Utilities Comm Phone System Totals							Invoice Transactions 8			\$322.84
Account 6380.300 - Utilities Gas & Electric										
10463 - Pacific Gas & Electric	Feb 2024 313-6	PG&E 6793435313-6	Paid by Check # 104167		02/27/2024	03/06/2024	03/06/2024		03/08/2024	10,434.43
Account 6380.300 - Utilities Gas & Electric Totals							Invoice Transactions 1			\$10,434.43
Account 6400.565 - Material & Suppl Office Supplies										
10046 - ARC (Former San Jose Blue)	12384497	Plotter Lease February 2024 (PW)	Paid by Check # 104148		02/19/2024	03/04/2024	03/04/2024		03/08/2024	283.71
10734 - Office Depot-Public Works Dept.	353734311001	Toner Ink/PW/Building	Paid by Check # 104165		02/07/2024	02/20/2024	02/20/2024		03/08/2024	1,161.32
10734 - Office Depot-Public Works Dept.	354582176001	Office Supplies	Paid by Check # 104165		02/15/2024	03/04/2024	03/04/2024		03/08/2024	68.07
Account 6400.565 - Material & Suppl Office Supplies Totals							Invoice Transactions 3			\$1,513.10
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions 16			\$18,973.32
Division 000 - Non-Div Totals							Invoice Transactions 16			\$18,973.32
Department 190 - Citywide Non-Dept Totals							Invoice Transactions 16			\$18,973.32
Department 210 - Police										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6360.570 - Maint & Repairs Other Svc Agr										
10493 - Pure H2O	21501	Water Cooler Service Police & Fire 03/01/24	Paid by Check # 104169		03/01/2024	03/01/2024	03/01/2024		03/08/2024	88.55



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Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 210 - Police										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6360.570 - Maint & Repairs Other Svc Agr										
10493 - Pure H2O	21288	Water Cooler Service Police & Fire 02/01/24	Paid by Check # 104169		02/01/2024	03/01/2024	03/01/2024		03/08/2024	88.55
Account 6360.570 - Maint & Repairs Other Svc Agr Totals										Invoice Transactions 2
										\$177.10
Account 6370.010 - Shared Svc 911										
10411 - Monterey County - Emergency Communications	03-04-24	Monterey County Emergency Communication Quarter 4 Invoice 23/24	Paid by Check # 104163		03/05/2024	03/05/2024	03/05/2024		03/08/2024	126,878.40
Account 6370.010 - Shared Svc 911 Totals										Invoice Transactions 1
										\$126,878.40
Account 6370.535 - Shared Svc NGEN O & M										
10411 - Monterey County - Emergency Communications	03-04-24	Monterey County Emergency Communication Quarter 4 Invoice 23/24	Paid by Check # 104163		03/05/2024	03/05/2024	03/05/2024		03/08/2024	7,947.69
Account 6370.535 - Shared Svc NGEN O & M Totals										Invoice Transactions 1
										\$7,947.69
Account 6380.500 - Utilities Water & Sewer										
10349 - Marina Coast Water District	014874000 022924	289 12th Street	Paid by Check # 104161		02/29/2024	03/04/2024	03/04/2024		03/08/2024	135.76
Account 6380.500 - Utilities Water & Sewer Totals										Invoice Transactions 1
										\$135.76
Sub-Division 00 - Non-Subdiv Totals										Invoice Transactions 5
										\$135,138.95
Division 000 - Non-Div Totals										Invoice Transactions 5
										\$135,138.95
Department 210 - Police Totals										Invoice Transactions 5
										\$135,138.95
Department 250 - Fire										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6360.341 - Maint & Repairs IT - Computer Maint & Upgrade										
10897 - TechRx Technology Services	11628	(3) 24 inch monitor, display port, wall mount bracket	Paid by EFT # 4370		02/12/2024	03/05/2024	03/05/2024		03/08/2024	731.98
Account 6360.341 - Maint & Repairs IT - Computer Maint & Upgrade Totals										Invoice Transactions 1
										\$731.98
Account 6360.342 - Maint & Repairs IT - System Annual Maint										
10568 - Vector Solutions Learning LLC	INV91070	TargetSolutions Premier Membership for FD Staff	Paid by EFT # 4371		04/01/2024	03/05/2024	03/05/2024		03/08/2024	2,350.00
Account 6360.342 - Maint & Repairs IT - System Annual Maint Totals										Invoice Transactions 1
										\$2,350.00
Account 6360.570 - Maint & Repairs Other Svc Agr										
10493 - Pure H2O	21501	Water Cooler Service Police & Fire 03/01/24	Paid by Check # 104169		03/01/2024	03/01/2024	03/01/2024		03/08/2024	113.53



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Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 250 - Fire										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6360.570 - Maint & Repairs Other Svc Agr										
10493 - Pure H2O	21288	Water Cooler Service Police & Fire 02/01/24	Paid by Check # 104169		02/01/2024	03/01/2024	03/01/2024		03/08/2024	113.53
Account 6360.570 - Maint & Repairs Other Svc Agr Totals							Invoice Transactions		2	\$227.06
Account 6360.850 - Maint & Repairs Vehicle										
11666 - Vega, Carlos	0311	Design cost for truck sign.	Paid by Check # 104186		03/10/2024	03/06/2024	03/06/2024		03/08/2024	150.00
Account 6360.850 - Maint & Repairs Vehicle Totals							Invoice Transactions		1	\$150.00
Account 6370.010 - Shared Svc 911										
10411 - Monterey County - Emergency Communications	03-04-24	Monterey County Emergency Communication Quarter 4 Invoice 23/24	Paid by Check # 104163		03/05/2024	03/05/2024	03/05/2024		03/08/2024	12,698.80
Account 6370.010 - Shared Svc 911 Totals							Invoice Transactions		1	\$12,698.80
Account 6370.525 - Shared Svc Network Users Group										
10411 - Monterey County - Emergency Communications	03-04-24	Monterey County Emergency Communication Quarter 4 Invoice 23/24	Paid by Check # 104163		03/05/2024	03/05/2024	03/05/2024		03/08/2024	1,398.80
Account 6370.525 - Shared Svc Network Users Group Totals							Invoice Transactions		1	\$1,398.80
Account 6370.535 - Shared Svc NGEN O & M										
10411 - Monterey County - Emergency Communications	03-04-24	Monterey County Emergency Communication Quarter 4 Invoice 23/24	Paid by Check # 104163		03/05/2024	03/05/2024	03/05/2024		03/08/2024	2,960.90
Account 6370.535 - Shared Svc NGEN O & M Totals							Invoice Transactions		1	\$2,960.90
Account 6400.739 - Material & Suppl Special Dept Exp-Fire Prevent										
10470 - Peninsula Welding & Medical Supply	257254	Non-Liquid Cylinders	Paid by Check # 104168		02/29/2024	02/22/2024	02/22/2024		03/08/2024	12.90
Account 6400.739 - Material & Suppl Special Dept Exp-Fire Prevent Totals							Invoice Transactions		1	\$12.90
Account 6500.700 - Training & Travel Training & Travel										
11666 - Vega, Carlos	02-17-24	Reimbursement for In County OES Pre Position Mud/Debris	Paid by Check # 104186		02/17/2024	02/22/2024	02/22/2024		03/08/2024	296.00
11666 - Vega, Carlos	02-28-24	Reimbursement for Chief Fire Officer Certification Fees	Paid by Check # 104186		02/28/2024	03/06/2024	03/06/2024		03/08/2024	152.10
Account 6500.700 - Training & Travel Training & Travel Totals							Invoice Transactions		2	\$448.10
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions		11	\$20,978.54



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Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 250 - Fire										
					Division 000 - Non-Div Totals			Invoice Transactions	11	\$20,978.54
					Department 250 - Fire Totals			Invoice Transactions	11	\$20,978.54
Department 310 - Public Works										
Division 311 - Buildings & Grounds										
Sub-Division 00 - Non-Subdiv										
Account 6360.065 - Maint & Repairs Bdg NonFlagship										
10080 - Branch's Janitorial	228730	Tate Park Scout House	Paid by EFT # 4360		02/25/2024	02/22/2024	02/22/2024		03/08/2024	1,305.00
10080 - Branch's Janitorial	228727	Branchs Janitorial Services February	Paid by EFT # 4360		02/25/2024	03/04/2024	03/04/2024		03/08/2024	2,886.35
10275 - Home Depot Credit Service	02-13-24	Home Depot (6035 3225 0395 9813)	Paid by Check # 104157		02/13/2024	02/20/2024	02/20/2024		03/08/2024	935.69
10035 - Ruth Maria Milla-Leon/Andersen's Lock & Safe, Inc.	44771	211 Hillcrest	Paid by EFT # 4367		02/21/2024	02/20/2024	02/20/2024		03/08/2024	305.00
					Account 6360.065 - Maint & Repairs Bdg NonFlagship Totals			Invoice Transactions	4	\$5,432.04
Account 6360.170 - Maint & Repairs Elevator Svc										
10574 - TK Elevator	30077777065	Full Maintenance	Paid by Check # 104184		03/01/2024	03/04/2024	03/04/2024		03/08/2024	1,618.70
					Account 6360.170 - Maint & Repairs Elevator Svc Totals			Invoice Transactions	1	\$1,618.70
Account 6360.440 - Maint & Repairs Landscape General										
10236 - La Sirenita Tree Service	0024	3027 Westwood Court Treet	Paid by Check # 104160		02/07/2024	02/22/2024	02/22/2024		03/08/2024	2,500.00
10952 - MuttMitt - ZW USA Inc.	596312	City Mutt Mitts	Paid by EFT # 4364		03/04/2024	03/04/2024	03/04/2024		03/08/2024	1,196.14
					Account 6360.440 - Maint & Repairs Landscape General Totals			Invoice Transactions	2	\$3,696.14
Account 6370.535 - Shared Svc NGEN O & M										
10411 - Monterey County - Emergency Communications	03-04-24	Monterey County Emergency Communication Quarter 4 Invoice 23/24	Paid by Check # 104163		03/05/2024	03/05/2024	03/05/2024		03/08/2024	3,258.41
					Account 6370.535 - Shared Svc NGEN O & M Totals			Invoice Transactions	1	\$3,258.41
Account 6380.500 - Utilities Water & Sewer										
10349 - Marina Coast Water District	000056090 022324	Locke Paddon Park	Paid by Check # 104161		02/23/2024	03/04/2024	03/04/2024		03/08/2024	62.91
10349 - Marina Coast Water District	000056061 022324	Reservation/Locke Paddon Park	Paid by Check # 104161		02/23/2024	03/04/2024	03/04/2024		03/08/2024	85.71
10349 - Marina Coast Water District	000056094 022324	2660 5th Ave	Paid by Check # 104161		02/23/2024	03/04/2024	03/04/2024		03/08/2024	450.72
10349 - Marina Coast Water District	000056046 022324	3100 Preston Drive	Paid by Check # 104161		02/23/2024	03/04/2024	03/04/2024		03/08/2024	156.44
10349 - Marina Coast Water District	000056042 022324	3040 Lake Drive	Paid by Check # 104161		02/23/2024	03/04/2024	03/04/2024		03/08/2024	396.89



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Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 310 - Public Works										
Division 311 - Buildings & Grounds										
Sub-Division 00 - Non-Subdiv										
Account 6380.500 - Utilities Water & Sewer										
10349 - Marina Coast Water District	000056045	3100 Preston Dr	Paid by Check		02/23/2024	03/04/2024	03/04/2024		03/08/2024	187.54
	022324		# 104161							
10349 - Marina Coast Water District	000056006	188 Seaside Circle	Paid by Check		02/23/2024	03/04/2024	03/04/2024		03/08/2024	238.34
	022324		# 104161							
10349 - Marina Coast Water District	000056099	9th Street West of 2nd Avenue	Paid by Check		02/29/2024	03/04/2024	03/04/2024		03/08/2024	177.74
	022924		# 104161							
10349 - Marina Coast Water District	000056100	9th Street (Irrigation) Parcels L&M	Paid by Check		02/29/2024	03/04/2024	03/04/2024		03/08/2024	177.74
	022924		# 104161							
Account 6380.500 - Utilities Water & Sewer Totals								Invoice Transactions	9	\$1,934.03
Account 6400.800 - Material & Suppl Uniform										
10043 - Aramark Uniform Service	5110411034	PW Uniforms	Paid by Check		02/23/2024	02/22/2024	02/22/2024		03/08/2024	343.12
			# 104147							
10043 - Aramark Uniform Service	5110415644	PW Uniforms	Paid by Check		03/01/2024	03/04/2024	03/04/2024		03/08/2024	211.55
			# 104147							
Account 6400.800 - Material & Suppl Uniform Totals								Invoice Transactions	2	\$554.67
Sub-Division 00 - Non-Subdiv Totals								Invoice Transactions	19	\$16,493.99
Division 311 - Buildings & Grounds Totals								Invoice Transactions	19	\$16,493.99
Division 313 - Vehicle Maint										
Sub-Division 00 - Non-Subdiv										
Account 6360.850 - Maint & Repairs Vehicle										
10085 - Burton's Fire, Inc.	W 81710	FD Rosenbauer	Paid by EFT #		03/01/2024	02/22/2024	02/22/2024		03/08/2024	5,779.71
			4361							
10438 - My Jeep Chrysler Dodge	JECS334576	20 Dodge Durango UT Pursuit PD	Paid by Check		02/16/2024	03/04/2024	03/04/2024		03/08/2024	780.02
			# 104164							
10527 - Safety-Kleen Corp.	93670620	Supplies	Paid by Check		02/10/2024	02/22/2024	02/22/2024		03/08/2024	278.06
			# 104170							
11926 - THE PAPE' GROUP, INC./PAPE' MACHINERY, INC.	15059834	John Deere	Paid by Check		02/13/2024	02/20/2024	02/20/2024		03/08/2024	1,585.44
			# 104183							
Account 6360.850 - Maint & Repairs Vehicle Totals								Invoice Transactions	4	\$8,423.23
Sub-Division 00 - Non-Subdiv Totals								Invoice Transactions	4	\$8,423.23
Division 313 - Vehicle Maint Totals								Invoice Transactions	4	\$8,423.23
Department 310 - Public Works Totals								Invoice Transactions	23	\$24,917.22
Department 410 - Planning										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6330.100 - Fee Agr Costs - Planning										
10316 - Kimley-Horn & Associates	26520476	Dunes 2nd Ave	Paid by Check		10/31/2023	02/20/2024	02/20/2024		03/08/2024	1,670.50
			# 104159							



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Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 410 - Planning										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6330.100 - Fee Agr Costs - Planning										
10316 - Kimley-Horn & Associates	26966028	Marina Station COA	Paid by Check # 104159		12/31/2023	02/22/2024	02/22/2024		03/08/2024	3,817.00
Account 6330.100 - Fee Agr Costs - Planning Totals							Invoice Transactions	2		\$5,487.50
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	2		\$5,487.50
Division 000 - Non-Div Totals							Invoice Transactions	2		\$5,487.50
Department 410 - Planning Totals							Invoice Transactions	2		\$5,487.50
Department 420 - Engineering										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6300.570 - Prof Svc Other										
10508 - Regional Government Services	16362	Contract Services for January	Paid by EFT # 4366		01/31/2024	02/22/2024	02/22/2024		03/08/2024	392.25
Account 6300.570 - Prof Svc Other Totals							Invoice Transactions	1		\$392.25
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	1		\$392.25
Division 000 - Non-Div Totals							Invoice Transactions	1		\$392.25
Department 420 - Engineering Totals							Invoice Transactions	1		\$392.25
Department 430 - Building Inspection										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6380.120 - Utilities Comm Mobile & Pager										
10603 - Verizon Wireless	9957038468	Verizon Wireless Feb 2024 (97247364- 00001)	Paid by EFT # 4372		02/18/2024	03/04/2024	03/04/2024		03/08/2024	170.91
Account 6380.120 - Utilities Comm Mobile & Pager Totals							Invoice Transactions	1		\$170.91
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	1		\$170.91
Division 000 - Non-Div Totals							Invoice Transactions	1		\$170.91
Department 430 - Building Inspection Totals							Invoice Transactions	1		\$170.91



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Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 510 - Recreation & Culture										
Division 511 - Youth										
Sub-Division 00 - Non-Subdiv										
Account 6600.700 - Other Charges Refunds of Fees/Charges										
11967 - Asmae Perez	03-06-24 vd	Refund on Fees Paid	Paid by Check # 104149		03/06/2024	03/06/2024	03/06/2024		03/08/2024	200.00
Account 6600.700 - Other Charges Refunds of Fees/Charges Totals							Invoice Transactions	1		\$200.00
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	1		\$200.00
Division 511 - Youth Totals							Invoice Transactions	1		\$200.00
Department 510 - Recreation & Culture Totals							Invoice Transactions	1		\$200.00
Fund 100 - General Fund Totals							Invoice Transactions	74		\$648,584.16



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Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 220 - Gas Tax										
Department 000 - Non-Dept										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6380.120 - Utilities Comm Mobile & Pager										
10603 - Verizon Wireless	9957038468	Verizon Wireless Feb 2024 (97247364-00001)	Paid by EFT # 4372		02/18/2024	03/04/2024	03/04/2024		03/08/2024	880.40
Account 6380.120 - Utilities Comm Mobile & Pager Totals									Invoice Transactions 1	\$880.40
Account 6380.300 - Utilities Gas & Electric										
10463 - Pacific Gas & Electric	Feb 2024 483-6	PG&E - 3982644483-6	Paid by Check # 104167		02/21/2024	03/06/2024	03/06/2024		03/08/2024	17,750.83
10463 - Pacific Gas & Electric	Feb 2024 313-6	PG&E 6793435313-6	Paid by Check # 104167		02/27/2024	03/06/2024	03/06/2024		03/08/2024	1,046.00
10463 - Pacific Gas & Electric	329-1.Mar24	430 Marina Heights Dr Unit A (2391581329-1)	Paid by Check # 104167		02/14/2024	02/22/2024	02/22/2024		03/08/2024	44.75
Account 6380.300 - Utilities Gas & Electric Totals									Invoice Transactions 3	\$18,841.58
Account 6380.500 - Utilities Water & Sewer										
10349 - Marina Coast Water District	000056028 022324	California at Jerry Ct	Paid by Check # 104161		02/23/2024	03/04/2024	03/04/2024		03/08/2024	38.22
10349 - Marina Coast Water District	000056040 022324	Hilo Ave	Paid by Check # 104161		02/23/2024	03/04/2024	03/04/2024		03/08/2024	28.34
10349 - Marina Coast Water District	000056049 022924	Imjin Rd (Irrigation/Backflow Accts)	Paid by Check # 104161		02/29/2024	03/04/2024	03/04/2024		03/08/2024	177.74
10349 - Marina Coast Water District	000056095 022924	2nd Ave	Paid by Check # 104161		02/29/2024	03/04/2024	03/04/2024		03/08/2024	177.74
10349 - Marina Coast Water District	000056036 022924	2nd Ave/Divarty & Intergarrison	Paid by Check # 104161		02/29/2024	03/04/2024	03/04/2024		03/08/2024	177.74
10349 - Marina Coast Water District	000056037 022924	2nd Ave	Paid by Check # 104161		02/29/2024	03/04/2024	03/04/2024		03/08/2024	177.74
Account 6380.500 - Utilities Water & Sewer Totals									Invoice Transactions 6	\$777.52
Account 6400.733 - Material & Suppl Signs										
10108 - Capitol Barricade, Inc.	161693	Yield Ahead	Paid by Check # 104153		02/16/2024	02/20/2024	02/20/2024		03/08/2024	200.81
10108 - Capitol Barricade, Inc.	161503	Yield Signs	Paid by Check # 104153		02/12/2024	02/20/2024	02/20/2024		03/08/2024	835.40
Account 6400.733 - Material & Suppl Signs Totals									Invoice Transactions 2	\$1,036.21
Account 6400.750 - Material & Suppl Street Material (non-capitalize)										
10261 - Graniterock/Pavex Construction	2144182	Monterey Peninsula Building Materials	Paid by EFT # 4363		02/24/2024	03/04/2024	03/04/2024		03/08/2024	1,764.39
Account 6400.750 - Material & Suppl Street Material (non-capitalize) Totals									Invoice Transactions 1	\$1,764.39
Account 6400.800 - Material & Suppl Uniform										
10043 - Aramark Uniform Service	5110406378	PW Shop Supplies	Paid by Check # 104147		02/16/2024	02/20/2024	02/20/2024		03/08/2024	62.36



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Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 220 - Gas Tax										
Department 000 - Non-Dept										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6400.800 - Material & Suppl Uniform										
10043 - Aramark Uniform Service	5110411035	PW Shop Supplies	Paid by Check # 104147		02/23/2024	02/22/2024	02/22/2024		03/08/2024	70.51
10043 - Aramark Uniform Service	5110415645	PW Shop Supplies	Paid by Check # 104147		03/01/2024	03/04/2024	03/04/2024		03/08/2024	70.51
Account 6400.800 - Material & Suppl Uniform Totals							Invoice Transactions	3		\$203.38
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	16		\$23,503.48
Division 000 - Non-Div Totals							Invoice Transactions	16		\$23,503.48
Department 000 - Non-Dept Totals							Invoice Transactions	16		\$23,503.48
Fund 220 - Gas Tax Totals							Invoice Transactions	16		\$23,503.48



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Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 223 - FORA Dissolution										
Department 000 - Non-Dept										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6300.570 - Prof Svc Other										
11489 - Wallace Group, Inc.	61618	Blight Removal	Paid by Check # 104187		02/26/2024	02/22/2024	02/22/2024		03/08/2024	1,237.50
Account 6300.570 - Prof Svc Other Totals							Invoice Transactions	1		\$1,237.50
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	1		\$1,237.50
Division 000 - Non-Div Totals							Invoice Transactions	1		\$1,237.50
Department 000 - Non-Dept Totals							Invoice Transactions	1		\$1,237.50
Fund 223 - FORA Dissolution Totals							Invoice Transactions	1		\$1,237.50



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Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 233 - Monterey Bay Estates AD										
Department 000 - Non-Dept										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6380.300 - Utilities Gas & Electric										
10463 - Pacific Gas & Electric	Feb 2024 313-6	PG&E 6793435313-6	Paid by Check # 104167		02/27/2024	03/06/2024	03/06/2024		03/08/2024	10.94
Account 6380.300 - Utilities Gas & Electric Totals							Invoice Transactions 1			\$10.94
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions 1			\$10.94
Division 000 - Non-Div Totals							Invoice Transactions 1			\$10.94
Department 000 - Non-Dept Totals							Invoice Transactions 1			\$10.94
Fund 233 - Monterey Bay Estates AD Totals							Invoice Transactions 1			\$10.94



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Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 235 - Cypress Cove II AD										
Department 000 - Non-Dept										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6380.300 - Utilities Gas & Electric										
10463 - Pacific Gas & Electric	Feb 2024 313-6	PG&E 6793435313-6	Paid by Check # 104167		02/27/2024	03/06/2024	03/06/2024		03/08/2024	10.51
Account 6380.300 - Utilities Gas & Electric Totals							Invoice Transactions 1			<u>\$10.51</u>
Account 6380.500 - Utilities Water & Sewer										
10349 - Marina Coast Water District	000056015 022424	Corner of Cardoza & Dolphin Circle	Paid by Check # 104161		02/23/2024	02/22/2024	02/22/2024		03/08/2024	27.26
Account 6380.500 - Utilities Water & Sewer Totals							Invoice Transactions 1			<u>\$27.26</u>
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions 2			<u>\$37.77</u>
Division 000 - Non-Div Totals							Invoice Transactions 2			<u>\$37.77</u>
Department 000 - Non-Dept Totals							Invoice Transactions 2			<u>\$37.77</u>
Fund 235 - Cypress Cove II AD Totals							Invoice Transactions 2			<u>\$37.77</u>



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Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 251 - CFD - Locke Paddon										
Department 000 - Non-Dept										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6380.500 - Utilities Water & Sewer										
10349 - Marina Coast Water District	012016000 022324	199 A Paddon Place	Paid by Check # 104161		02/23/2024	03/04/2024	03/04/2024		03/08/2024	38.22
Account 6380.500 - Utilities Water & Sewer Totals							Invoice Transactions	1		\$38.22
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	1		\$38.22
Division 000 - Non-Div Totals							Invoice Transactions	1		\$38.22
Department 000 - Non-Dept Totals							Invoice Transactions	1		\$38.22
Fund 251 - CFD - Locke Paddon Totals							Invoice Transactions	1		\$38.22



Accounts Payable by G/L Distribution Report

Payment Date Range 03/08/24 - 03/08/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 422 - Capital Projects - Measure X										
Department 000 - Non-Dept										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6300.570 - Prof Svc Other										
11847 - BKF Engineers	24021064	Slurry Seal Street Services	Paid by Check # 104152		02/23/2024	03/04/2024	03/04/2024		03/08/2024	35,015.50
Account 6300.570 - Prof Svc Other Totals							Invoice Transactions	1		\$35,015.50
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	1		\$35,015.50
Division 000 - Non-Div Totals							Invoice Transactions	1		\$35,015.50
Department 000 - Non-Dept Totals							Invoice Transactions	1		\$35,015.50
Fund 422 - Capital Projects - Measure X Totals							Invoice Transactions	1		\$35,015.50



Accounts Payable by G/L Distribution Report

Payment Date Range 03/08/24 - 03/08/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 462 - City Capital Projects										
Department 000 - Non-Dept										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6300.570 - Prof Svc Other										
11757 - Big Sur Land Trust	CONS-4-2023	Final Retainer fee for Imjin Parkway Mitigation Services	Paid by Check # 104151		02/23/2024	03/07/2024	03/07/2024		03/08/2024	12,483.50
10316 - Kimley-Horn & Associates	26971935	Del Monte Blvd Outreach	Paid by Check # 104159		12/31/2023	02/20/2024	02/20/2024		03/08/2024	11,611.19
11762 - Raimi + Associates, Inc	23-6092	Marina ODS	Paid by EFT # 4365		12/01/2023	02/29/2024	02/29/2024		03/08/2024	23,600.18
11489 - Wallace Group, Inc.	61556	Salinas Ave Widening	Paid by Check # 104187		02/26/2024	03/04/2024	03/04/2024		03/08/2024	14,080.00
10275 - Home Depot Credit Service	02-13-24	Home Depot (6035 3225 0395 9813)	Paid by Check # 104157		02/13/2024	02/20/2024	02/20/2024		03/08/2024	142.75
10316 - Kimley-Horn & Associates	26966030	Salinas Ave Widening	Paid by Check # 104159		12/31/2023	02/20/2024	02/20/2024		03/08/2024	828.44
10588 - United Site Services	INV-4223327	2830 5th Ave (Equestrian Center)	Paid by Check # 104185		02/29/2024	02/22/2024	02/22/2024		03/08/2024	789.82
Account 6300.570 - Prof Svc Other Totals							Invoice Transactions	7		\$63,535.88
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	7		\$63,535.88
Division 000 - Non-Div Totals							Invoice Transactions	7		\$63,535.88
Department 000 - Non-Dept Totals							Invoice Transactions	7		\$63,535.88
Fund 462 - City Capital Projects Totals							Invoice Transactions	7		\$63,535.88



Accounts Payable by G/L Distribution Report

Payment Date Range 03/08/24 - 03/08/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 555 - Marina Airport										
Department 000 - Non-Dept										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6300.330 - Prof Svc IT - Information Tech Svc										
10897 - TechRx Technology Services	11627	Starlink Charges and Installation	Paid by EFT # 4370		02/29/2024	04/01/2024	03/01/2024		03/08/2024	375.00
Account 6300.330 - Prof Svc IT - Information Tech Svc Totals										Invoice Transactions 1
										\$375.00
Account 6360.050 - Maint & Repairs Building										
10459 - Overhead Door Company	139939	A-8 cable replacement for Hangar door	Paid by Check # 104166		03/04/2024	04/04/2024	03/05/2024		03/08/2024	1,028.89
10459 - Overhead Door Company	139937	B-8 Hangar door repairs	Paid by Check # 104166		03/04/2024	04/04/2024	03/05/2024		03/08/2024	891.96
Account 6360.050 - Maint & Repairs Building Totals										Invoice Transactions 2
										\$1,920.85
Account 6360.280 - Maint & Repairs Habitat Management Svc										
10250 - Gavilan Pest Control	160148	Airport Bldg 520 Squirrels	Paid by Check # 104156		02/12/2024	03/12/2024	03/01/2024		03/08/2024	1,150.00
10250 - Gavilan Pest Control	160149	Airport Bldg 520 Rodents	Paid by Check # 104156		03/01/2024	03/01/2024	03/01/2024		03/08/2024	75.00
Account 6360.280 - Maint & Repairs Habitat Management Svc Totals										Invoice Transactions 2
										\$1,225.00
Account 6360.360 - Maint & Repairs Janitorial										
10034 - American Supply Co.	183043	Airport Janitorial Supplies	Paid by Check # 104146		02/28/2024	03/28/2024	02/28/2024		03/08/2024	1,527.21
Account 6360.360 - Maint & Repairs Janitorial Totals										Invoice Transactions 1
										\$1,527.21
Account 6360.440 - Maint & Repairs Landscape General										
10275 - Home Depot Credit Service	02-13-24	Home Depot (6035 3225 0395 9813)	Paid by Check # 104157		02/13/2024	02/20/2024	02/20/2024		03/08/2024	135.47
Account 6360.440 - Maint & Repairs Landscape General Totals										Invoice Transactions 1
										\$135.47
Account 6360.448 - Maint & Repairs Lighting										
11979 - Hughey & Phillips LLC	79387	Taxiway Lights	Paid by Check # 104158		02/27/2024	03/27/2024	02/28/2024		03/08/2024	3,561.06
Account 6360.448 - Maint & Repairs Lighting Totals										Invoice Transactions 1
										\$3,561.06
Account 6380.120 - Utilities Comm Mobile & Pager										
10603 - Verizon Wireless	9957038468	Verizon Wireless Feb 2024 (97247364-00001)	Paid by EFT # 4372		02/18/2024	03/04/2024	03/04/2024		03/08/2024	165.51
Account 6380.120 - Utilities Comm Mobile & Pager Totals										Invoice Transactions 1
										\$165.51
Account 6400.350 - Material & Suppl IT-Computer & Hardware (non-cap)										
10897 - TechRx Technology Services	11627	Starlink Charges and Installation	Paid by EFT # 4370		02/29/2024	04/01/2024	03/01/2024		03/08/2024	972.33
Account 6400.350 - Material & Suppl IT-Computer & Hardware (non-cap) Totals										Invoice Transactions 1
										\$972.33



Accounts Payable by G/L Distribution Report

Payment Date Range 03/08/24 - 03/08/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 555 - Marina Airport										
Department 000 - Non-Dept										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6500.700 - Training & Travel Training & Travel										
11765 - Matthew Nelson	02.27.24	Sacramento mileage	Paid by Check # 104162		03/06/2024	03/06/2024	03/06/2024		03/08/2024	246.56
Account 6500.700 - Training & Travel Training & Travel Totals							Invoice Transactions	1		\$246.56
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	11		\$10,128.99
Division 000 - Non-Div Totals							Invoice Transactions	11		\$10,128.99
Department 000 - Non-Dept Totals							Invoice Transactions	11		\$10,128.99
Fund 555 - Marina Airport Totals							Invoice Transactions	11		\$10,128.99
Grand Totals							Invoice Transactions	114		\$782,092.44



Accounts Payable by G/L Distribution Report

Payment Date Range 03/15/24 - 03/15/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 120 - City Mgr/HR/Risk										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6400.230 - Material & Suppl Fuel - Gas and Diesel										
10416 - Monterey County Petroleum-Sturdy Oil Co.	243723R-DM	City Fuel Enthanol/Diesel	Paid by Check # 104224		03/04/2024	03/08/2024	03/08/2024		03/15/2024	148.95
Account 6400.230 - Material & Suppl Fuel - Gas and Diesel Totals							Invoice Transactions 1			\$148.95
Account 6400.565 - Material & Suppl Office Supplies										
10732 - Office Depot-General Account	357248610-1	Office Depot	Paid by Check # 104230		02/29/2024	03/04/2024	03/04/2024		03/15/2024	78.90
10732 - Office Depot-General Account	354939080001	Office Depot	Paid by Check # 104230		02/19/2024	03/04/2024	03/04/2024		03/15/2024	344.97
Account 6400.565 - Material & Suppl Office Supplies Totals							Invoice Transactions 2			\$423.87
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions 3			\$572.82
Division 000 - Non-Div Totals							Invoice Transactions 3			\$572.82
Department 120 - City Mgr/HR/Risk Totals							Invoice Transactions 3			\$572.82
Department 125 - I. T.										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6360.076 - Maint & Repairs Copier										
10592 - U.S. Bank Equipment Finance-USbancorp	523587376	CDD Copier Lease Payment and Late Fee Charges	Paid by Check # 104239		02/28/2024	03/07/2024	03/07/2024		03/15/2024	432.64
Account 6360.076 - Maint & Repairs Copier Totals							Invoice Transactions 1			\$432.64
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions 1			\$432.64
Division 000 - Non-Div Totals							Invoice Transactions 1			\$432.64
Department 125 - I. T. Totals							Invoice Transactions 1			\$432.64
Department 130 - Finance										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6300.216 - Prof Svc Fin - Accounting Services										
10511 - Richard B. Standridge	24-05	Service 2/26-3/07/2024	Paid by EFT # 4399		03/08/2024	03/08/2024	03/08/2024		03/15/2024	3,063.75
Account 6300.216 - Prof Svc Fin - Accounting Services Totals							Invoice Transactions 1			\$3,063.75
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions 1			\$3,063.75
Division 000 - Non-Div Totals							Invoice Transactions 1			\$3,063.75
Department 130 - Finance Totals							Invoice Transactions 1			\$3,063.75



Accounts Payable by G/L Distribution Report

Payment Date Range 03/15/24 - 03/15/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 190 - Citywide Non-Dept										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6300.217 - Prof Svc Fin - Business Lic Services										
10274 - Hinderliter, de Llamas & Associates (HDL)	SIN035874	Jan 2024 BL Admin Fee	Paid by EFT # 4395		01/31/2024	03/12/2024	03/12/2024		03/15/2024	1,379.54
Account 6300.217 - Prof Svc Fin - Business Lic Services Totals									Invoice Transactions 1	\$1,379.54
Account 6300.330 - Prof Svc IT - Information Tech Svc										
10897 - TechRx Technology Services	11636	Nick's Laptop	Paid by EFT # 4401		02/21/2024	03/04/2024	03/04/2024		03/15/2024	2,164.10
Account 6300.330 - Prof Svc IT - Information Tech Svc Totals									Invoice Transactions 1	\$2,164.10
Account 6300.570 - Prof Svc Other										
10274 - Hinderliter, de Llamas & Associates (HDL)	SIN035875	JAN 2024 - HDL TOT	Paid by EFT # 4395		01/31/2024	03/12/2024	03/12/2024		03/15/2024	2,122.07
Account 6300.570 - Prof Svc Other Totals									Invoice Transactions 1	\$2,122.07
Account 6380.500 - Utilities Water & Sewer										
10349 - Marina Coast Water District	02-29-24	Acct# 000056041 - 3260 Imjin Road	Paid by Check # 104221		02/29/2024	03/11/2024	03/11/2024		03/15/2024	287.53
10349 - Marina Coast Water District	01-31-24 FD	Acct# 000056041 - 3260 Imjin Road	Paid by Check # 104221		01/31/2024	03/11/2024	03/11/2024		03/15/2024	287.53
Account 6380.500 - Utilities Water & Sewer Totals									Invoice Transactions 2	\$575.06
Account 6400.565 - Material & Suppl Office Supplies										
10734 - Office Depot-Public Works Dept.	354614702001	Office Supplies Annex	Paid by Check # 104231		02/15/2024	03/07/2024	03/07/2024		03/15/2024	10.86
10734 - Office Depot-Public Works Dept.	355347142001	Supplies Corp Yard	Paid by Check # 104231		02/14/2024	03/07/2024	03/07/2024		03/15/2024	278.87
10734 - Office Depot-Public Works Dept.	355326830001	Corp Yard	Paid by Check # 104231		02/23/2024	03/08/2024	03/08/2024		03/15/2024	107.59
10734 - Office Depot-Public Works Dept.	355326961001	Corp Yard	Paid by Check # 104231		02/22/2024	03/08/2024	03/08/2024		03/15/2024	48.08
10734 - Office Depot-Public Works Dept.	356046961001	Annex	Paid by Check # 104231		02/23/2024	03/08/2024	03/08/2024		03/15/2024	22.47
Account 6400.565 - Material & Suppl Office Supplies Totals									Invoice Transactions 5	\$467.87
Account 6600.010 - Other Charges Alarm										
10239 - First Alarm	787975	209 Cypress Ave	Paid by EFT # 4393		11/22/2023	03/07/2024	03/07/2024		03/15/2024	272.50
Account 6600.010 - Other Charges Alarm Totals									Invoice Transactions 1	\$272.50
Sub-Division 00 - Non-Subdiv Totals									Invoice Transactions 11	\$6,981.14
Division 000 - Non-Div Totals									Invoice Transactions 11	\$6,981.14
Department 190 - Citywide Non-Dept Totals									Invoice Transactions 11	\$6,981.14



Accounts Payable by G/L Distribution Report

Payment Date Range 03/15/24 - 03/15/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 210 - Police										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6300.570 - Prof Svc Other										
10164 - Covanta Stanislaus	CI289911	INV396285 - Marina	Paid by Check		03/07/2024	03/13/2024	03/13/2024		03/15/2024	662.50
		Police Dept	# 104208							
10326 - Language Line, LLC	11228706	Interpretation services	Paid by Check		02/29/2024	03/12/2024	03/12/2024		03/15/2024	243.46
		9020101064	# 104218							
10334 - Lexis Nexis Risk Solutions	1308841-20240229	Billing ID #1308841	Paid by Check		02/29/2024	03/13/2024	03/13/2024		03/15/2024	150.00
			# 104219							
10342 - Monterey County Peace Officers Association-MCPOA	2024009R	Marina 2024	Paid by Check		03/12/2024	03/13/2024	03/13/2024		03/15/2024	420.00
			# 104223							
Account 6300.570 - Prof Svc Other Totals								Invoice Transactions	4	\$1,475.96
Account 6360.570 - Maint & Repairs Other Svc Agr										
10981 - Sentry Alarm Systems of America, Inc.	124775	Cust #1840	Paid by Check		02/29/2024	03/13/2024	03/13/2024		03/15/2024	250.00
			# 104234							
10897 - TechRx Technology Services	11422	Marina PD - MDM and Trailcam	Paid by EFT #		02/01/2024	03/13/2024	03/13/2024		03/15/2024	293.00
			4401							
10592 - U.S. Bank Equipment Finance-US Bancorp	523273746	Cust Credit Acct	Paid by Check		02/25/2024	03/13/2024	03/13/2024		03/15/2024	1,346.39
		#598296	# 104239							
Account 6360.570 - Maint & Repairs Other Svc Agr Totals								Invoice Transactions	3	\$1,889.39
Account 6380.150 - Utilities Comm Phone System										
10053 - AT & T	03-01-24	Acct #248 134-7275 428 0	Paid by Check		03/01/2024	03/13/2024	03/13/2024		03/15/2024	17.20
			# 104198							
10374 - Maynard Group Inc.	IN2044473	Acct #AC3746	Paid by EFT #		03/01/2024	03/13/2024	03/13/2024		03/15/2024	668.86
			4396							
Account 6380.150 - Utilities Comm Phone System Totals								Invoice Transactions	2	\$686.06
Account 6380.500 - Utilities Water & Sewer										
10349 - Marina Coast Water District	2/29/24	Acct #014874000	Paid by Check		03/12/2024	03/12/2024	03/12/2024		03/15/2024	4.90
			# 104221							
10349 - Marina Coast Water District	02-29-24 A	Acct #000056 091	Paid by Check		02/29/2024	03/13/2024	03/13/2024		03/15/2024	156.44
			# 104221							
10349 - Marina Coast Water District	01-31-24 A	Acct #000056 091	Paid by Check		01/31/2024	03/13/2024	03/13/2024		03/15/2024	156.44
			# 104221							
Account 6380.500 - Utilities Water & Sewer Totals								Invoice Transactions	3	\$317.78
Account 6400.230 - Material & Suppl Fuel - Gas and Diesel										
10416 - Monterey County Petroleum-Sturdy Oil Co.	243723R-DM	City Fuel	Paid by Check		03/04/2024	03/08/2024	03/08/2024		03/15/2024	5,659.90
		Enthanol/Diesel	# 104224							
Account 6400.230 - Material & Suppl Fuel - Gas and Diesel Totals								Invoice Transactions	1	\$5,659.90
Account 6400.350 - Material & Suppl IT-Computer & Hardware (non-cap)										
10897 - TechRx Technology Services	11619	Marina PD - Chief's Laptop Setup	Paid by EFT #		02/01/2024	03/13/2024	03/13/2024		03/15/2024	2,240.58
			4401							
Account 6400.350 - Material & Suppl IT-Computer & Hardware (non-cap) Totals								Invoice Transactions	1	\$2,240.58



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Payment Date Range 03/15/24 - 03/15/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 210 - Police										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6400.565 - Material & Suppl Office Supplies										
10727 - Ace Hardware-Public Safety	087723	Cust #116	Paid by Check # 104192		03/04/2024	03/13/2024	03/13/2024		03/15/2024	7.84
10498 - Quill Corporation	37460517	Acct #7474999	Paid by Check # 104233		02/28/2024	03/13/2024	03/13/2024		03/15/2024	291.37
Account 6400.565 - Material & Suppl Office Supplies Totals									Invoice Transactions 2	\$299.21
Account 6400.635 - Material & Suppl Postage Shipping										
10235 - FedEx	8-425-50006	Acct #3995-9218-6	Paid by Check # 104212		03/01/2024	03/13/2024	03/13/2024		03/15/2024	68.41
10235 - FedEx	8-376-15614	Acct #3995-9218-6	Paid by Check # 104212		01/12/2024	03/13/2024	03/13/2024		03/15/2024	69.73
10235 - FedEx	8-417-84096	Acct #3995-9218-6	Paid by Check # 104212		02/23/2024	03/13/2024	03/13/2024		03/15/2024	56.53
Account 6400.635 - Material & Suppl Postage Shipping Totals									Invoice Transactions 3	\$194.67
Account 6400.720 - Material & Suppl Safety Equip										
11195 - Arrowhead Scientific - Forensics, Inc.	167591	Marina Police Department	Paid by Check # 104197		02/28/2024	03/13/2024	03/13/2024		03/15/2024	372.14
Account 6400.720 - Material & Suppl Safety Equip Totals									Invoice Transactions 1	\$372.14
Account 6400.800 - Material & Suppl Uniform										
10753 - Ace High Designs Inc.	52243	Cust #01956	Paid by Check # 104194		02/22/2024	03/13/2024	03/13/2024		03/15/2024	50.23
Account 6400.800 - Material & Suppl Uniform Totals									Invoice Transactions 1	\$50.23
Account 6500.620 - Training & Travel POST										
10935 - South Bay Regional Public Safety Training Cons.	224419	Basic Police Academy #177 1/8 - 6/24/24 Drew Gibson	Paid by Check # 104236		02/29/2024	03/13/2024	03/13/2024		03/15/2024	3,740.00
Account 6500.620 - Training & Travel POST Totals									Invoice Transactions 1	\$3,740.00
Account 6600.465 - Other Charges Live Scan										
10193 - California Department of Justice	711424	Cust #110312	Paid by Check # 104203		02/05/2024	03/13/2024	03/13/2024		03/15/2024	192.00
10193 - California Department of Justice	718115	Cust #110312	Paid by Check # 104203		03/04/2024	03/13/2024	03/13/2024		03/15/2024	390.00
Account 6600.465 - Other Charges Live Scan Totals									Invoice Transactions 2	\$582.00
Account 6600.485 - Other Charges Medical Svc - Investigations										
10157 - Community Hospital of the Monterey Peninsula	02-08-24	Guarantor #12252	Paid by Check # 104207		02/08/2024	03/13/2024	03/13/2024		03/15/2024	54.00
Account 6600.485 - Other Charges Medical Svc - Investigations Totals									Invoice Transactions 1	\$54.00
Account 6600.625 - Other Charges Printing Svc										
11790 - Quality Print & Copy	23846	BC Imprints - Christopher Johnson	Paid by Check # 104242		03/05/2024	03/13/2024	03/13/2024		03/15/2024	135.18



Accounts Payable by G/L Distribution Report

Payment Date Range 03/15/24 - 03/15/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 210 - Police										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6600.625 - Other Charges Printing Svc										
11790 - Quality Print & Copy	23845	Citizen Commendation/Complaint Form	Paid by Check # 104242		03/05/2024	03/13/2024	03/13/2024		03/15/2024	472.82
11790 - Quality Print & Copy	23827	BC Imprints - Randy Hopkins	Paid by Check # 104242		02/29/2024	03/13/2024	03/13/2024		03/15/2024	135.18
Account 6600.625 - Other Charges Printing Svc Totals							Invoice Transactions 3			<u>\$743.18</u>
Account 6600.780 - Other Charges Transcription Svc										
10544 - SpeakWrite	18a7a55b	City of Marina CA Police Dept Billing Acct	Paid by Check # 104237		03/01/2024	03/13/2024	03/13/2024		03/15/2024	919.36
Account 6600.780 - Other Charges Transcription Svc Totals							Invoice Transactions 1			<u>\$919.36</u>
Account 6600.850 - Other Charges K9 / Animal Supplies & Vet Svc										
11791 - Carey Harold Lindgre Lindgren's Canine Consultation Services	12-31-23	Monthly Maintenance K-9 Training - Dec 2023	Paid by Check # 104220		12/31/2023	03/13/2024	03/13/2024		03/15/2024	250.00
11791 - Carey Harold Lindgre Lindgren's Canine Consultation Services	02-24-24	Monthly Maintenance K-9 Training - Feb 2024	Paid by Check # 104220		02/25/2024	03/13/2024	03/13/2024		03/15/2024	250.00
Account 6600.850 - Other Charges K9 / Animal Supplies & Vet Svc Totals							Invoice Transactions 2			<u>\$500.00</u>
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions 31			<u>\$19,724.46</u>
Division 000 - Non-Div Totals							Invoice Transactions 31			<u>\$19,724.46</u>
Department 210 - Police Totals							Invoice Transactions 31			<u>\$19,724.46</u>
Department 250 - Fire										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6300.570 - Prof Svc Other										
10841 - Carmel Fire Protection Associates - Art Black	124085	Plan review & inspection for Rooftops Bldg 16, 135-147 8th St	Paid by Check # 104205		03/04/2024	03/11/2024	03/11/2024		03/15/2024	215.00
10841 - Carmel Fire Protection Associates - Art Black	124086	Plan review & inspection for Rooftops Bldg 17, 119 -129 8th St	Paid by Check # 104205		03/04/2024	03/11/2024	03/11/2024		03/15/2024	215.00
10841 - Carmel Fire Protection Associates - Art Black	124087	Plan review & inspection for Rooftops Bldg 18, 103-113 8th St	Paid by Check # 104205		03/04/2024	03/11/2024	03/11/2024		03/15/2024	215.00
Account 6300.570 - Prof Svc Other Totals							Invoice Transactions 3			<u>\$645.00</u>



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Fund 100 - General Fund										
Department 250 - Fire										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6360.070 - Maint & Repairs Bdg Public Safety										
10250 - Gavilan Pest Control	0161061	3260 Imjin Rd General Pest	Paid by Check # 104213		03/01/2024	03/11/2024	03/11/2024		03/15/2024	90.00
Account 6360.070 - Maint & Repairs Bdg Public Safety Totals									Invoice Transactions 1	\$90.00
Account 6360.360 - Maint & Repairs Janitorial										
10005 - A-1 Sweeping Service	Feb 2024	February Street Sweeping Marina	Paid by Check # 104190		02/29/2024	03/08/2024	03/08/2024		03/15/2024	7,035.00
Account 6360.360 - Maint & Repairs Janitorial Totals									Invoice Transactions 1	\$7,035.00
Account 6360.570 - Maint & Repairs Other Svc Agr										
10129 - Cintas Corporation	4185121104	Shop towels	Paid by Check # 104206		03/01/2024	03/07/2024	03/07/2024		03/15/2024	138.05
Account 6360.570 - Maint & Repairs Other Svc Agr Totals									Invoice Transactions 1	\$138.05
Account 6380.120 - Utilities Comm Mobile & Pager										
10603 - Verizon Wireless	9957572360	FD Mobile Charges from Jan 26 - Feb 25, 2024	Paid by EFT # 4402		02/25/2024	03/07/2024	03/07/2024		03/15/2024	442.57
Account 6380.120 - Utilities Comm Mobile & Pager Totals									Invoice Transactions 1	\$442.57
Account 6400.230 - Material & Suppl Fuel - Gas and Diesel										
10416 - Monterey County Petroleum-Sturdy Oil Co.	0243565-IN	Renewable Clear Diesel	Paid by Check # 104224		03/01/2024	03/08/2024	03/08/2024		03/15/2024	920.18
10416 - Monterey County Petroleum-Sturdy Oil Co.	243723R-DM	City Fuel Enthanol/Diesel	Paid by Check # 104224		03/04/2024	03/08/2024	03/08/2024		03/15/2024	1,532.83
Account 6400.230 - Material & Suppl Fuel - Gas and Diesel Totals									Invoice Transactions 2	\$2,453.01
Account 6400.739 - Material & Suppl Special Dept Exp-Fire Prevent										
10780 - Allstar Fire Equipment Inc.	254102	Hi-Pressure 600 Rubber Covered Attack Hose, 5'x25' & 5"x15'	Paid by EFT # 4391		02/29/2024	03/11/2024	03/11/2024		03/15/2024	1,053.33
11171 - Motorola Solutions, Inc.	8281840560	Portable Radio Chargers, Desk Top	Paid by EFT # 4397		03/09/2024	03/11/2024	03/11/2024		03/15/2024	651.92
Account 6400.739 - Material & Suppl Special Dept Exp-Fire Prevent Totals									Invoice Transactions 2	\$1,705.25
Account 6400.740 - Material & Suppl Special Dept Suppl										
10927 - Ace Hardware - Fire Dept.	087745	Fasteners and Tire gauge dual head	Paid by Check # 104191		03/06/2024	03/07/2024	03/07/2024		03/15/2024	13.97
Account 6400.740 - Material & Suppl Special Dept Suppl Totals									Invoice Transactions 1	\$13.97
Sub-Division 00 - Non-Subdiv Totals									Invoice Transactions 12	\$12,522.85
Division 000 - Non-Div Totals									Invoice Transactions 12	\$12,522.85
Department 250 - Fire Totals									Invoice Transactions 12	\$12,522.85



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Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 310 - Public Works										
Division 311 - Buildings & Grounds										
Sub-Division 00 - Non-Subdiv										
Account 6360.065 - Maint & Repairs Bdg NonFlagship										
10034 - American Supply Co.	0183054	Products for the City	Paid by Check # 104195		02/29/2024	03/08/2024	03/08/2024		03/15/2024	229.43
10034 - American Supply Co.	0183246	City Supplies	Paid by Check # 104195		03/07/2024	03/11/2024	03/11/2024		03/15/2024	2,878.08
10181 - Dave's Repair Service	36603	Monthly Site Inspections as Designated Operator	Paid by Check # 104209		03/01/2024	03/08/2024	03/08/2024		03/15/2024	95.00
10250 - Gavilan Pest Control	0161060	211 Hillcrest Ave	Paid by Check # 104213		03/01/2024	03/08/2024	03/08/2024		03/15/2024	82.00
10292 - Interstate Battery	4502232	Batteries	Paid by Check # 104216		02/08/2024	03/07/2024	03/07/2024		03/15/2024	711.35
11879 - Norfield Development Partners, LLC	2081	Norfield Cloud Servers/Loxix locator	Paid by Check # 104229		01/10/2024	03/11/2024	03/11/2024		03/15/2024	617.40
Account 6360.065 - Maint & Repairs Bdg NonFlagship Totals Invoice Transactions 6										\$4,613.26
Account 6360.440 - Maint & Repairs Landscape General										
10250 - Gavilan Pest Control	0160434	3126 Shoemaker at Pond Rodents	Paid by Check # 104213		02/20/2024	03/07/2024	03/07/2024		03/15/2024	80.00
10250 - Gavilan Pest Control	0160433	190 Seaside Circle Gophers	Paid by Check # 104213		02/20/2024	03/07/2024	03/07/2024		03/15/2024	300.00
10250 - Gavilan Pest Control	0160570	3254 Abdy Way Gophers	Paid by Check # 104213		02/29/2024	03/08/2024	03/08/2024		03/15/2024	300.00
10250 - Gavilan Pest Control	0160489	Preston Park Squirrels	Paid by Check # 104213		02/29/2024	03/08/2024	03/08/2024		03/15/2024	180.00
Account 6360.440 - Maint & Repairs Landscape General Totals Invoice Transactions 4										\$860.00
Account 6360.690 - Maint & Repairs Supplies										
10728 - Ace Hardware-Public Works	087661	Fasteners	Paid by Check # 104193		02/26/2024	03/11/2024	03/11/2024		03/15/2024	6.95
10728 - Ace Hardware-Public Works	087509	Cleaning Spray	Paid by Check # 104193		02/07/2024	03/11/2024	03/11/2024		03/15/2024	15.27
10728 - Ace Hardware-Public Works	087637	Desolvant	Paid by Check # 104193		02/22/2024	03/11/2024	03/11/2024		03/15/2024	28.38
10728 - Ace Hardware-Public Works	087568	Steel Rod	Paid by Check # 104193		02/14/2024	03/11/2024	03/11/2024		03/15/2024	7.20
10728 - Ace Hardware-Public Works	087602	City Supplies	Paid by Check # 104193		02/16/2024	03/11/2024	03/11/2024		03/15/2024	55.70
10728 - Ace Hardware-Public Works	087560	Cleaning Supplies	Paid by Check # 104193		02/13/2024	03/11/2024	03/11/2024		03/15/2024	25.11
10728 - Ace Hardware-Public Works	087611	Spray Paint	Paid by Check # 104193		02/20/2024	03/11/2024	03/11/2024		03/15/2024	8.73
10728 - Ace Hardware-Public Works	087647	Fasteners	Paid by Check # 104193		02/23/2024	03/11/2024	03/11/2024		03/15/2024	13.10



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Fund 100 - General Fund										
Department 310 - Public Works										
Division 311 - Buildings & Grounds										
Sub-Division 00 - Non-Subdiv										
Account 6360.690 - Maint & Repairs Supplies										
10728 - Ace Hardware-Public Works	087707	Tools	Paid by Check # 104193		03/01/2024	03/11/2024	03/11/2024		03/15/2024	128.84
10728 - Ace Hardware-Public Works	087713	Supplies	Paid by Check # 104193		03/01/2024	03/11/2024	03/11/2024		03/15/2024	25.09
10728 - Ace Hardware-Public Works	087717	Pipe	Paid by Check # 104193		03/01/2024	03/11/2024	03/11/2024		03/15/2024	49.14
10728 - Ace Hardware-Public Works	087718	City Maintenance	Paid by Check # 104193		03/01/2024	03/11/2024	03/11/2024		03/15/2024	1.09
10728 - Ace Hardware-Public Works	087716	Supplies	Paid by Check # 104193		03/01/2024	03/11/2024	03/11/2024		03/15/2024	20.17
10728 - Ace Hardware-Public Works	087734	Paint	Paid by Check # 104193		03/05/2024	03/11/2024	03/11/2024		03/15/2024	109.24
10728 - Ace Hardware-Public Works	087724	Supplies	Paid by Check # 104193		03/04/2024	03/11/2024	03/11/2024		03/15/2024	21.83
10728 - Ace Hardware-Public Works	087729	Supplies	Paid by Check # 104193		03/04/2024	03/11/2024	03/11/2024		03/15/2024	106.51
10728 - Ace Hardware-Public Works	087753	Fasteners/Screws	Paid by Check # 104193		03/07/2024	03/11/2024	03/11/2024		03/15/2024	22.25
10817 - Cal-Line Equipment	04018986	Seal Kit Equipment	Paid by Check # 104202		02/13/2024	03/11/2024	03/11/2024		03/15/2024	113.00
10261 - Graniterock/Pavex Construction	2143221	Cold Mix/Supplies	Paid by EFT # 4394		02/17/2024	03/08/2024	03/08/2024		03/15/2024	743.73
10264 - Green Rubber-Kennedy AG	S-769559	Equipment	Paid by Check # 104215		02/15/2024	03/07/2024	03/07/2024		03/15/2024	2,835.98
10599 - Valley Saw & Garden Equipment	363970	Tool Supplies	Paid by Check # 104240		02/29/2024	03/11/2024	03/11/2024		03/15/2024	1,087.40
Account 6360.690 - Maint & Repairs Supplies Totals									Invoice Transactions 21	\$5,424.71
Account 6380.500 - Utilities Water & Sewer										
10349 - Marina Coast Water District	000056034 030824	3240 De Forest Road	Paid by Check # 104221		03/08/2024	03/11/2024	03/11/2024		03/15/2024	62.91
10349 - Marina Coast Water District	000056098 030824	3254 Abdy Way (Tate Park-Building)	Paid by Check # 104221		03/08/2024	03/11/2024	03/11/2024		03/15/2024	52.60
10349 - Marina Coast Water District	000056011 030824	3254 Abdy Way (Tate- Park Irrigation)	Paid by Check # 104221		03/08/2024	03/11/2024	03/11/2024		03/15/2024	100.15
10349 - Marina Coast Water District	000056103 022924	2840 Fifth Ave	Paid by Check # 104221		02/29/2024	03/11/2024	03/11/2024		03/15/2024	145.06
Account 6380.500 - Utilities Water & Sewer Totals									Invoice Transactions 4	\$360.72
Account 6400.230 - Material & Suppl Fuel - Gas and Diesel										
10416 - Monterey County Petroleum-Sturdy Oil Co.	243723R-DM	City Fuel Enthanol/Diesel	Paid by Check # 104224		03/04/2024	03/08/2024	03/08/2024		03/15/2024	223.42
Account 6400.230 - Material & Suppl Fuel - Gas and Diesel Totals									Invoice Transactions 1	\$223.42



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Fund 100 - General Fund										
Department 310 - Public Works										
Division 311 - Buildings & Grounds										
Sub-Division 00 - Non-Subdiv										
Account 6400.800 - Material & Suppl Uniform										
10043 - Aramark Uniform Service	5110420266	PW Uniforms	Paid by Check # 104196		03/08/2024	03/11/2024	03/11/2024		03/15/2024	155.61
Account 6400.800 - Material & Suppl Uniform Totals							Invoice Transactions	1		\$155.61
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	37		\$11,637.72
Division 311 - Buildings & Grounds Totals							Invoice Transactions	37		\$11,637.72
Division 313 - Vehicle Maint										
Sub-Division 00 - Non-Subdiv										
Account 6360.850 - Maint & Repairs Vehicle										
10825 - East Bay Tire Co.	2016690	Fire	Paid by Check # 104210		02/23/2024	03/11/2024	03/11/2024		03/15/2024	179.86
11230 - Golden State Truck & Trailer Repair, Inc.	W 44699	Rosenbauer FD	Paid by Check # 104214		03/12/2024	03/11/2024	03/11/2024		03/15/2024	2,585.52
10428 - Monterey Tire Service	1-116741	Tires 21 Dodge Charger PD	Paid by Check # 104226		02/09/2024	03/07/2024	03/07/2024		03/15/2024	124.09
10428 - Monterey Tire Service	1-116984	Tires 06 Ford F450 Super Duty	Paid by Check # 104226		02/23/2024	03/07/2024	03/07/2024		03/15/2024	1,419.27
10428 - Monterey Tire Service	1-117075	Tires 00 Ford F450	Paid by Check # 104226		02/29/2024	03/07/2024	03/07/2024		03/15/2024	2,271.64
10403 - NAPA Auto Parts - former Monterey Auto Supply	4006-037694	Oil Filter	Paid by Check # 104227		02/13/2024	03/11/2024	03/11/2024		03/15/2024	21.92
10403 - NAPA Auto Parts - former Monterey Auto Supply	4006-039939	Oil Filter	Paid by Check # 104227		02/23/2024	03/11/2024	03/11/2024		03/15/2024	6.39
10403 - NAPA Auto Parts - former Monterey Auto Supply	4006-040876	Fluid Filter	Paid by Check # 104227		02/28/2024	03/11/2024	03/11/2024		03/15/2024	28.11
10403 - NAPA Auto Parts - former Monterey Auto Supply	4006-039941	Parts	Paid by Check # 104227		02/23/2024	03/11/2024	03/11/2024		03/15/2024	281.92
10403 - NAPA Auto Parts - former Monterey Auto Supply	4006-039350	Brake Pads	Paid by Check # 104227		02/21/2024	03/11/2024	03/11/2024		03/15/2024	81.81
10465 - Pacific Smog	1865	Inspections	Paid by Check # 104232		03/01/2024	03/07/2024	03/07/2024		03/15/2024	41.75
Account 6360.850 - Maint & Repairs Vehicle Totals							Invoice Transactions	11		\$7,042.28
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	11		\$7,042.28
Division 313 - Vehicle Maint Totals							Invoice Transactions	11		\$7,042.28
Department 310 - Public Works Totals							Invoice Transactions	48		\$18,680.00



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Fund 100 - General Fund										
Department 410 - Planning										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6330.100 - Fee Agr Costs - Planning										
10171 - CSG Consultants	55638	Marina Station	Paid by EFT # 4392		03/08/2024	03/12/2024	03/12/2024		03/15/2024	7,760.00
10316 - Kimley-Horn & Associates	27257491	Dunes 2nd Ave Gas Station	Paid by Check # 104217		01/31/2024	03/04/2024	03/04/2024		03/15/2024	1,467.50
Account 6330.100 - Fee Agr Costs - Planning Totals									Invoice Transactions 2	\$9,227.50
Account 6400.230 - Material & Suppl Fuel - Gas and Diesel										
10416 - Monterey County Petroleum-Sturdy Oil Co.	243723R-DM	City Fuel Enthanol/Diesel	Paid by Check # 104224		03/04/2024	03/08/2024	03/08/2024		03/15/2024	148.95
Account 6400.230 - Material & Suppl Fuel - Gas and Diesel Totals									Invoice Transactions 1	\$148.95
Account 6400.565 - Material & Suppl Office Supplies										
10732 - Office Depot-General Account	353998646001	Code Enforcement Stamp	Paid by Check # 104230		02/14/2024	03/08/2024	03/08/2024		03/15/2024	32.76
10732 - Office Depot-General Account	354933015001	Planning Commissioners Plaques	Paid by Check # 104230		02/27/2024	03/13/2024	03/13/2024		03/15/2024	91.73
Account 6400.565 - Material & Suppl Office Supplies Totals									Invoice Transactions 2	\$124.49
Sub-Division 00 - Non-Subdiv Totals									Invoice Transactions 5	\$9,500.94
Division 000 - Non-Div Totals									Invoice Transactions 5	\$9,500.94
Department 410 - Planning Totals									Invoice Transactions 5	\$9,500.94
Department 420 - Engineering										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6300.175 - Prof Svc Eng Svc- Rev Funded Plan Check										
10171 - CSG Consultants	55633	Dunes Phase 2 North Inspections	Paid by EFT # 4392		03/08/2024	03/13/2024	03/13/2024		03/15/2024	2,640.00
10171 - CSG Consultants	55639	Sea Haven Inspection Phase 3B	Paid by EFT # 4392		03/08/2024	03/13/2024	03/13/2024		03/15/2024	2,475.00
10171 - CSG Consultants	55641	Sea Haven Phase 3A Inspection	Paid by EFT # 4392		03/08/2024	03/13/2024	03/13/2024		03/15/2024	825.00
Account 6300.175 - Prof Svc Eng Svc- Rev Funded Plan Check Totals									Invoice Transactions 3	\$5,940.00
Account 6300.180 - Prof Svc Eng Svc- Rev Funded Inspection										
10171 - CSG Consultants	55621	Permits/Development	Paid by EFT # 4392		03/08/2024	03/11/2024	03/11/2024		03/15/2024	6,600.00
10171 - CSG Consultants	55643	Sea Haven Phase 5A Inspection	Paid by EFT # 4392		03/08/2024	03/13/2024	03/13/2024		03/15/2024	495.00
Account 6300.180 - Prof Svc Eng Svc- Rev Funded Inspection Totals									Invoice Transactions 2	\$7,095.00
Account 6300.185 - Prof Svc Engineering Svs-Staff Augment										
10171 - CSG Consultants	55622	Staff Augmentation	Paid by EFT # 4392		03/08/2024	03/11/2024	03/11/2024		03/15/2024	7,970.00
Account 6300.185 - Prof Svc Engineering Svs-Staff Augment Totals									Invoice Transactions 1	\$7,970.00



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Fund 100 - General Fund										
Department 420 - Engineering										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6300.190 - Prof Svc Engineering Svc Interagency										
10171 - CSG Consultants	55623	RWQCB	Paid by EFT # 4392		03/08/2024	03/11/2024	03/11/2024		03/15/2024	1,100.00
10171 - CSG Consultants	55624	MCWD	Paid by EFT # 4392		03/08/2024	03/11/2024	03/11/2024		03/15/2024	1,540.00
10171 - CSG Consultants	55625	MST	Paid by EFT # 4392		03/08/2024	03/11/2024	03/11/2024		03/15/2024	880.00
Account 6300.190 - Prof Svc Engineering Svc Interagency Totals									Invoice Transactions 3	\$3,520.00
Account 6330.200 - Fee Agr Costs - Engineering										
10171 - CSG Consultants	55628	Dunes Hilltop Park Inspections	Paid by EFT # 4392		03/08/2024	03/13/2024	03/13/2024		03/15/2024	1,980.00
10171 - CSG Consultants	55629	Dunes Op Site 1A	Paid by EFT # 4392		03/08/2024	03/13/2024	03/13/2024		03/15/2024	1,540.00
10171 - CSG Consultants	55630	Dunes Phase 1B Promenade	Paid by EFT # 4392		03/08/2024	03/13/2024	03/13/2024		03/15/2024	9,182.50
10171 - CSG Consultants	55631	Dunes Phase 2 West	Paid by EFT # 4392		03/08/2024	03/13/2024	03/13/2024		03/15/2024	220.00
10171 - CSG Consultants	55632	Dunes Phase 2 East Inspections	Paid by EFT # 4392		03/08/2024	03/13/2024	03/13/2024		03/15/2024	660.00
10171 - CSG Consultants	55634	Dunes Phase 2 West Inspections	Paid by EFT # 4392		03/08/2024	03/13/2024	03/13/2024		03/15/2024	4,290.00
10171 - CSG Consultants	55636	Dunes Promenade (1B) Inspections	Paid by EFT # 4392		03/08/2024	03/13/2024	03/13/2024		03/15/2024	3,630.00
10171 - CSG Consultants	55637	Home2Suites by Hilton	Paid by EFT # 4392		03/08/2024	03/13/2024	03/13/2024		03/15/2024	3,190.00
10171 - CSG Consultants	55644	Via Del Mar Subdivision (3220 Abdy Way)	Paid by EFT # 4392		03/08/2024	03/13/2024	03/13/2024		03/15/2024	2,640.00
Account 6330.200 - Fee Agr Costs - Engineering Totals									Invoice Transactions 9	\$27,332.50
Account 6500.700 - Training & Travel Training & Travel										
11918 - Michaelle Mowery	02-26-24	Per Diem Meals	Paid by Check # 104222		02/26/2024	03/07/2024	03/07/2024		03/15/2024	161.00
Account 6500.700 - Training & Travel Training & Travel Totals									Invoice Transactions 1	\$161.00
Sub-Division 00 - Non-Subdiv Totals									Invoice Transactions 19	\$52,018.50
Division 000 - Non-Div Totals									Invoice Transactions 19	\$52,018.50
Department 420 - Engineering Totals									Invoice Transactions 19	\$52,018.50
Department 430 - Building Inspection										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6300.070 - Prof Svc Building Plan Check & Inspection										
10171 - CSG Consultants	55436	Marina Building Services Feb 2024	Paid by EFT # 4392		03/06/2024	03/12/2024	03/12/2024		03/15/2024	16,980.00



Accounts Payable by G/L Distribution Report

Payment Date Range 03/15/24 - 03/15/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 100 - General Fund										
Department 430 - Building Inspection										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6300.070 - Prof Svc Building Plan Check & Inspection										
10171 - CSG Consultants	B240292	Building Plan Review Services 02/04/2024-02/29/2024	Paid by EFT # 4392		03/01/2024	03/11/2024	03/11/2024		03/15/2024	5,571.00
10171 - CSG Consultants	55642	Sea Haven Phase 4 Map/Plan Review	Paid by EFT # 4392		03/08/2024	03/13/2024	03/13/2024		03/15/2024	1,880.00
Account 6300.070 - Prof Svc Building Plan Check & Inspection Totals									Invoice Transactions 3	<u>\$24,431.00</u>
Account 6300.570 - Prof Svc Other										
11762 - Raimi + Associates, Inc	24-6216	Marina ODS January 2024	Paid by EFT # 4398		02/26/2024	03/04/2024	03/04/2024		03/15/2024	4,862.63
Account 6300.570 - Prof Svc Other Totals									Invoice Transactions 1	<u>\$4,862.63</u>
Sub-Division 00 - Non-Subdiv Totals									Invoice Transactions 4	<u>\$29,293.63</u>
Division 000 - Non-Div Totals									Invoice Transactions 4	<u>\$29,293.63</u>
Department 430 - Building Inspection Totals									Invoice Transactions 4	<u>\$29,293.63</u>
Department 510 - Recreation & Culture										
Division 100 - Admin										
Sub-Division 00 - Non-Subdiv										
Account 6400.230 - Material & Suppl Fuel - Gas and Diesel										
10416 - Monterey County Petroleum-Sturdy Oil Co.	243723R-DM	City Fuel Ethanol/Diesel	Paid by Check # 104224		03/04/2024	03/08/2024	03/08/2024		03/15/2024	372.36
Account 6400.230 - Material & Suppl Fuel - Gas and Diesel Totals									Invoice Transactions 1	<u>\$372.36</u>
Sub-Division 00 - Non-Subdiv Totals									Invoice Transactions 1	<u>\$372.36</u>
Division 100 - Admin Totals									Invoice Transactions 1	<u>\$372.36</u>
Department 510 - Recreation & Culture Totals									Invoice Transactions 1	<u>\$372.36</u>
Fund 100 - General Fund Totals									Invoice Transactions 136	<u>\$153,163.09</u>



Accounts Payable by G/L Distribution Report

Payment Date Range 03/15/24 - 03/15/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 130 - Library Maintenance										
Department 000 - Non-Dept										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6360.440 - Maint & Repairs Landscape General										
10446 - New Image Landscape Co.	146060	Landscape Maintenance February 2024	Paid by Check # 104228		02/29/2024	03/08/2024	03/08/2024		03/15/2024	675.00
Account 6360.440 - Maint & Repairs Landscape General Totals							Invoice Transactions	1		\$675.00
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	1		\$675.00
Division 000 - Non-Div Totals							Invoice Transactions	1		\$675.00
Department 000 - Non-Dept Totals							Invoice Transactions	1		\$675.00
Fund 130 - Library Maintenance Totals							Invoice Transactions	1		\$675.00



Accounts Payable by G/L Distribution Report

Payment Date Range 03/15/24 - 03/15/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 220 - Gas Tax										
Department 000 - Non-Dept										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6380.500 - Utilities Water & Sewer										
10349 - Marina Coast Water District	000056085	Crescent/Whitney	Paid by Check		03/08/2024	03/11/2024	03/11/2024		03/15/2024	28.34
	030824	Irrigation	# 104221							
10349 - Marina Coast Water District	000056087	Crescent Ave/Costa Del	Paid by Check		03/08/2024	03/11/2024	03/11/2024		03/15/2024	28.34
	030824	Mar Irrigation	# 104221							
10349 - Marina Coast Water District	000056084	Crescent/Shuler/Irrigati	Paid by Check		03/08/2024	03/11/2024	03/11/2024		03/15/2024	163.34
	030824	on	# 104221							
10349 - Marina Coast Water District	000056086	Crescent Ave/Sirena	Paid by Check		03/08/2024	03/11/2024	03/11/2024		03/15/2024	28.34
	030824	Del Mar Irrigation	# 104221							
10349 - Marina Coast Water District	000056032	Crescent Ave/Costa Del	Paid by Check		03/08/2024	03/11/2024	03/11/2024		03/15/2024	62.91
	030824	Mar East Side	# 104221							
10349 - Marina Coast Water District	0000056030	Crescent Ave/Reser	Paid by Check		03/08/2024	03/11/2024	03/11/2024		03/15/2024	38.22
	03082	Rd/Ramada Inn	# 104221							
10349 - Marina Coast Water District	000056008	Reservation & Del	Paid by Check		03/08/2024	03/11/2024	03/11/2024		03/15/2024	28.34
	030824	Monte	# 104221							
Account 6380.500 - Utilities Water & Sewer Totals									Invoice Transactions 7	\$377.83
Account 6400.155 - Material & Suppl Dump Fees										
10427 - Monterey Regional Waste Management District	10-31-21CR	Credit	Paid by Check		10/31/2023	01/26/2024	01/26/2024		03/15/2024	(37.35)
			# 104225							
10427 - Monterey Regional Waste Management District	4015435	Drew Street	Paid by Check		02/15/2024	03/11/2024	03/11/2024		03/15/2024	43.24
			# 104225							
10427 - Monterey Regional Waste Management District	4015693	City Sweepings	Paid by Check		02/15/2024	03/11/2024	03/11/2024		03/15/2024	39.01
			# 104225							
10427 - Monterey Regional Waste Management District	4015788	Sports Complex Ice Plant	Paid by Check		02/15/2024	03/11/2024	03/11/2024		03/15/2024	70.30
			# 104225							
10427 - Monterey Regional Waste Management District	4029064	Sweepings	Paid by Check		03/06/2024	03/11/2024	03/11/2024		03/15/2024	179.76
			# 104225							
10427 - Monterey Regional Waste Management District	4029790	Ice Plant Del Monte	Paid by Check		03/07/2024	03/11/2024	03/11/2024		03/15/2024	35.52
			# 104225							
10427 - Monterey Regional Waste Management District	4029720	Ice Plant Del Monte	Paid by Check		03/07/2024	03/11/2024	03/11/2024		03/15/2024	62.90
			# 104225							
10427 - Monterey Regional Waste Management District	4016660	Sweepings	Paid by Check		02/16/2024	03/11/2024	03/11/2024		03/15/2024	19.74
			# 104225							
10427 - Monterey Regional Waste Management District	4016689	Sweepings	Paid by Check		02/16/2024	03/11/2024	03/11/2024		03/15/2024	91.18
			# 104225							
10427 - Monterey Regional Waste Management District	4015589	Drew Street	Paid by Check		02/15/2024	03/11/2024	03/11/2024		03/15/2024	12.69
			# 104225							
Account 6400.155 - Material & Suppl Dump Fees Totals									Invoice Transactions 10	\$516.99
Account 6400.230 - Material & Suppl Fuel - Gas and Diesel										
10416 - Monterey County Petroleum-Sturdy Oil Co.	0243565-IN	Renewable Clear Diesel	Paid by Check		03/01/2024	03/08/2024	03/08/2024		03/15/2024	453.23
			# 104224							



Accounts Payable by G/L Distribution Report

Payment Date Range 03/15/24 - 03/15/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 220 - Gas Tax										
Department 000 - Non-Dept										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6400.230 - Material & Suppl Fuel - Gas and Diesel										
10416 - Monterey County Petroleum-Sturdy Oil Co.	243723R-DM	City Fuel Enthanol/Diesel	Paid by Check # 104224		03/04/2024	03/08/2024	03/08/2024		03/15/2024	758.31
Account 6400.230 - Material & Suppl Fuel - Gas and Diesel Totals										Invoice Transactions 2
										\$1,211.54
Account 6400.740 - Material & Suppl Special Dept Suppl										
10540 - Sierra Springs & Alhambra	9696351 030924	Corp Yard	Paid by Check # 104235		03/09/2024	03/11/2024	03/11/2024		03/15/2024	154.37
Account 6400.740 - Material & Suppl Special Dept Suppl Totals										Invoice Transactions 1
										\$154.37
Account 6400.750 - Material & Suppl Street Material (non-capitalize)										
10261 - Graniterock/Pavex Construction	2145155	Granitepatch	Paid by EFT # 4394		02/29/2024	03/08/2024	03/08/2024		03/15/2024	1,879.11
Account 6400.750 - Material & Suppl Street Material (non-capitalize) Totals										Invoice Transactions 1
										\$1,879.11
Account 6400.800 - Material & Suppl Uniform										
10043 - Aramark Uniform Service	5110420267	PW Supplies	Paid by Check # 104196		03/08/2024	03/11/2024	03/11/2024		03/15/2024	70.51
Account 6400.800 - Material & Suppl Uniform Totals										Invoice Transactions 1
										\$70.51
Sub-Division 00 - Non-Subdiv Totals										Invoice Transactions 22
										\$4,210.35
Division 000 - Non-Div Totals										Invoice Transactions 22
										\$4,210.35
Department 000 - Non-Dept Totals										Invoice Transactions 22
										\$4,210.35
Fund 220 - Gas Tax Totals										Invoice Transactions 22
										\$4,210.35



Accounts Payable by G/L Distribution Report

Payment Date Range 03/15/24 - 03/15/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 222 - Measure X Trans Sfty/Investment										
Department 000 - Non-Dept										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6300.215 - Prof Svc Fin - Audit										
10550 - California State Controller's Office	FAUD-00004167	Annual Street Report FY 22/23	Paid by Check # 104204		02/21/2024	03/08/2024	03/08/2024		03/15/2024	2,748.86
Account 6300.215 - Prof Svc Fin - Audit Totals							Invoice Transactions	1		\$2,748.86
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	1		\$2,748.86
Division 000 - Non-Div Totals							Invoice Transactions	1		\$2,748.86
Department 000 - Non-Dept Totals							Invoice Transactions	1		\$2,748.86
Fund 222 - Measure X Trans Sfty/Investment Totals							Invoice Transactions	1		\$2,748.86



Accounts Payable by G/L Distribution Report

Payment Date Range 03/15/24 - 03/15/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 232 - Seabreeze AD										
Department 000 - Non-Dept										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6360.440 - Maint & Repairs Landscape General										
10446 - New Image Landscape Co.	146060	Landscape Maintenance February 2024	Paid by Check # 104228		02/29/2024	03/08/2024	03/08/2024		03/15/2024	218.00
Account 6360.440 - Maint & Repairs Landscape General Totals							Invoice Transactions	1		<u>\$218.00</u>
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	1		<u>\$218.00</u>
Division 000 - Non-Div Totals							Invoice Transactions	1		<u>\$218.00</u>
Department 000 - Non-Dept Totals							Invoice Transactions	1		<u>\$218.00</u>
Fund 232 - Seabreeze AD Totals							Invoice Transactions	1		<u>\$218.00</u>



Accounts Payable by G/L Distribution Report

Payment Date Range 03/15/24 - 03/15/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 233 - Monterey Bay Estates AD										
Department 000 - Non-Dept										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6360.440 - Maint & Repairs Landscape General										
10446 - New Image Landscape Co.	146060	Landscape Maintenance February 2024	Paid by Check # 104228		02/29/2024	03/08/2024	03/08/2024		03/15/2024	468.00
Account 6360.440 - Maint & Repairs Landscape General Totals							Invoice Transactions	1		\$468.00
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	1		\$468.00
Division 000 - Non-Div Totals							Invoice Transactions	1		\$468.00
Department 000 - Non-Dept Totals							Invoice Transactions	1		\$468.00
Fund 233 - Monterey Bay Estates AD Totals							Invoice Transactions	1		\$468.00



Accounts Payable by G/L Distribution Report

Payment Date Range 03/15/24 - 03/15/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 235 - Cypress Cove II AD										
Department 000 - Non-Dept										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6360.440 - Maint & Repairs Landscape General										
10446 - New Image Landscape Co.	146060	Landscape Maintenance February 2024	Paid by Check # 104228		02/29/2024	03/08/2024	03/08/2024		03/15/2024	530.00
Account 6360.440 - Maint & Repairs Landscape General Totals							Invoice Transactions	1		\$530.00
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	1		\$530.00
Division 000 - Non-Div Totals							Invoice Transactions	1		\$530.00
Department 000 - Non-Dept Totals							Invoice Transactions	1		\$530.00
Fund 235 - Cypress Cove II AD Totals							Invoice Transactions	1		\$530.00



Accounts Payable by G/L Distribution Report

Payment Date Range 03/15/24 - 03/15/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 251 - CFD - Locke Paddon										
Department 000 - Non-Dept										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6360.440 - Maint & Repairs Landscape General										
10446 - New Image Landscape Co.	146060	Landscape Maintenance February 2024	Paid by Check # 104228		02/29/2024	03/08/2024	03/08/2024		03/15/2024	249.00
Account 6360.440 - Maint & Repairs Landscape General Totals							Invoice Transactions	1		\$249.00
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	1		\$249.00
Division 000 - Non-Div Totals							Invoice Transactions	1		\$249.00
Department 000 - Non-Dept Totals							Invoice Transactions	1		\$249.00
Fund 251 - CFD - Locke Paddon Totals							Invoice Transactions	1		\$249.00



Accounts Payable by G/L Distribution Report

Payment Date Range 03/15/24 - 03/15/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 462 - City Capital Projects										
Department 000 - Non-Dept										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6300.185 - Prof Svc Engineering Svs-Staff Augment										
10171 - CSG Consultants	55616	ADM CIP Admin	Paid by EFT # 4392		03/08/2024	03/11/2024	03/11/2024		03/15/2024	440.00
Account 6300.185 - Prof Svc Engineering Svs-Staff Augment Totals										Invoice Transactions 1
										\$440.00
Account 6300.570 - Prof Svc Other										
10728 - Ace Hardware-Public Works	087663	Los Arboles Deck	Paid by Check # 104193		02/26/2024	03/11/2024	03/11/2024		03/15/2024	57.82
11802 - Baker Tilly US, LLP	BT2707054	Analysis of Equestrian Boarding February 2024	Paid by Check # 104200		03/07/2024	03/07/2024	03/07/2024		03/15/2024	632.50
11776 - Bianca E. Koenig - BEK Collective	030-003-001	Marina Gateway Signs	Paid by Check # 104201		03/04/2024	03/11/2024	03/11/2024		03/15/2024	1,284.96
10171 - CSG Consultants	55617	EDC 2124 PFIF Update	Paid by EFT # 4392		03/08/2024	03/11/2024	03/11/2024		03/15/2024	880.00
10171 - CSG Consultants	55618	Streetlight Replacement	Paid by EFT # 4392		03/08/2024	03/11/2024	03/11/2024		03/15/2024	6,765.00
10171 - CSG Consultants	55620	Imjin Widening	Paid by EFT # 4392		03/08/2024	03/11/2024	03/11/2024		03/15/2024	8,250.00
11084 - EMC Planning Group	22-003-19	Marina Local Coastal Program Update (GP-094)	Paid by Check # 104211		02/29/2024	03/11/2024	03/11/2024		03/15/2024	958.25
11084 - EMC Planning Group	22-003-20	Marina Local Coastal Program Update (GP-094)	Paid by Check # 104211		02/29/2024	03/11/2024	03/11/2024		03/15/2024	8,533.15
10515 - Rincon Consultants, Inc.	54899	Marina Downtown Vitalization SP and EIR	Paid by EFT # 4400		02/29/2024	03/04/2024	03/04/2024		03/15/2024	5,595.01
10515 - Rincon Consultants, Inc.	54720	Marina Housing Element Update Feb 2024	Paid by EFT # 4400		02/20/2024	03/11/2024	03/11/2024		03/15/2024	2,303.25
11266 - Verde Design, Inc.	10-2207300	Glorya Jean Tate Improvements Project	Paid by Check # 104241		03/07/2024	03/11/2024	03/11/2024		03/15/2024	1,911.25
11266 - Verde Design, Inc.	3-2318500	Dunes Park Development	Paid by Check # 104241		03/07/2024	03/11/2024	03/11/2024		03/15/2024	1,330.08
Account 6300.570 - Prof Svc Other Totals										Invoice Transactions 12
										\$38,501.27
Sub-Division 00 - Non-Subdiv Totals										Invoice Transactions 13
										\$38,941.27
Division 000 - Non-Div Totals										Invoice Transactions 13
										\$38,941.27
Department 000 - Non-Dept Totals										Invoice Transactions 13
										\$38,941.27
Fund 462 - City Capital Projects Totals										Invoice Transactions 13
										\$38,941.27



Accounts Payable by G/L Distribution Report

Payment Date Range 03/15/24 - 03/15/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 555 - Marina Airport										
Department 000 - Non-Dept										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6360.050 - Maint & Repairs Building										
10427 - Monterey Regional Waste Management District	3803607	Airport	Paid by Check # 104225		04/10/2023	02/20/2024	02/20/2024		03/15/2024	25.65
10427 - Monterey Regional Waste Management District	4023996	781 Neeson Rd Airport AWOS Fence Boards	Paid by Check # 104225		02/28/2024	03/11/2024	03/11/2024		03/15/2024	88.48
Account 6360.050 - Maint & Repairs Building Totals									Invoice Transactions 2	\$114.13
Account 6360.450 - Maint & Repairs Maint & Repairs										
10728 - Ace Hardware-Public Works	87737	Office Electrical Needs	Paid by Check # 104193		03/05/2024	04/05/2024	03/06/2024		03/15/2024	65.51
Account 6360.450 - Maint & Repairs Maint & Repairs Totals									Invoice Transactions 1	\$65.51
Account 6380.150 - Utilities Comm Phone System										
10758 - AT & T CALNET3	21321618	Fire Alarms Bldgs 524 & 533 (9391023443)	Paid by Check # 104199		02/28/2024	04/05/2024	03/06/2024		03/15/2024	57.15
10758 - AT & T CALNET3	21321619	Fire Alarms Bldgs 524 & 533 (9391023444)	Paid by Check # 104199		02/28/2024	04/05/2024	03/06/2024		03/15/2024	57.15
10758 - AT & T CALNET3	21321624	AWOS-Auto Weather Station (9391023449)	Paid by Check # 104199		02/28/2024	04/05/2024	03/06/2024		03/15/2024	31.34
Account 6380.150 - Utilities Comm Phone System Totals									Invoice Transactions 3	\$145.64
Account 6380.500 - Utilities Water & Sewer										
10349 - Marina Coast Water District	Feb 56 096	3271 Imjin Rd (000056 096)	Paid by Check # 104221		02/29/2024	03/18/2024	03/08/2024		03/15/2024	106.91
10349 - Marina Coast Water District	Feb 56 044	781 Neeson Rd (000056 044)	Paid by Check # 104221		02/29/2024	03/18/2024	03/08/2024		03/15/2024	161.34
10349 - Marina Coast Water District	Feb 56 051	721 Neeson Rd (000056 051)	Paid by Check # 104221		02/29/2024	03/18/2024	03/08/2024		03/15/2024	176.04
Account 6380.500 - Utilities Water & Sewer Totals									Invoice Transactions 3	\$444.29
Account 6400.230 - Material & Suppl Fuel - Gas and Diesel										
10416 - Monterey County Petroleum-Sturdy Oil Co.	243723R-DM	City Fuel Enthanol/Diesel	Paid by Check # 104224		03/04/2024	03/08/2024	03/08/2024		03/15/2024	223.42
Account 6400.230 - Material & Suppl Fuel - Gas and Diesel Totals									Invoice Transactions 1	\$223.42
Sub-Division 00 - Non-Subdiv Totals									Invoice Transactions 10	\$992.99
Division 000 - Non-Div Totals									Invoice Transactions 10	\$992.99
Department 000 - Non-Dept Totals									Invoice Transactions 10	\$992.99
Fund 555 - Marina Airport Totals									Invoice Transactions 10	\$992.99
Grand Totals									Invoice Transactions 187	\$202,196.56



Accounts Payable by G/L Distribution Report

Payment Date Range 03/15/24 - 03/15/24

Vendor	Invoice No.	Invoice Description	Status	Held Reason	Invoice Date	Due Date	G/L Date	Received Date	Payment Date	Invoice Amount
Fund 758 - Successor Agency Oblig Retirement										
Department 000 - Non-Dept										
Division 000 - Non-Div										
Sub-Division 00 - Non-Subdiv										
Account 6650.010 - ROPS #10-Financial, RE Advisory Svc										
10315 - Keyser Marston Associates	0038583	February 2024 Prof. Service	Paid by EFT # 94		03/11/2024	03/12/2024	03/12/2024		03/15/2024	442.50
Account 6650.010 - ROPS #10-Financial, RE Advisory Svc Totals							Invoice Transactions	1		\$442.50
Sub-Division 00 - Non-Subdiv Totals							Invoice Transactions	1		\$442.50
Division 000 - Non-Div Totals							Invoice Transactions	1		\$442.50
Department 000 - Non-Dept Totals							Invoice Transactions	1		\$442.50
Fund 758 - Successor Agency Oblig Retirement Totals							Invoice Transactions	1		\$442.50
Grand Totals							Invoice Transactions	1		\$442.50



DRAFT

Agenda Item: **10b(1)**
City Council Meeting of
March 19, 2024

MINUTES

Tuesday, March 5, 2024

5:00 P.M. Closed Session
6:00 P.M. Welcome Reception
6:30 P.M. Open Session

REGULAR MEETING

**CITY COUNCIL, AIRPORT COMMISSION,
MARINA ABRAMS B NON-PROFIT CORPORATION, PRESTON PARK
SUSTAINABLE COMMUNITY NON-PROFIT CORPORATION, SUCCESSOR
AGENCY OF THE FORMER MARINA REDEVELOPMENT AGENCY AND MARINA
GROUNDWATER SUSTAINABILITY AGENCY**

THIS MEETING WILL BE HELD IN PERSON AND VIRTUALLY (HYBRID).

Council Chambers
211 Hillcrest Avenue
Marina, California

AND

Zoom Meeting URL: <https://zoom.us/j/730251556>

Zoom Meeting Telephone Only Participation: 1-669-900-9128 - Webinar ID: 730 251 556

PARTICIPATION

You may participate in the City Council meeting in person or in real-time by calling Zoom Meeting via the weblink and phone number provided at the top of this agenda. Instructions on how to access, view and participate in remote meetings are provided by visiting the City's home page at <https://cityofmarina.org/>. Attendees can make oral comments during the meeting by using the "Raise Your Hand" feature in the webinar or by pressing *9 on your telephone keypad if joining by phone only.

The most effective method of communication with the City Council is by sending an email to marina@cityofmarina.org. Comments will be reviewed and distributed before the meeting if received by 5:00 p.m. on the day of the meeting. All comments received will become part of the record. Council will have the option to modify their action on items based on comments received.

1. CALL TO ORDER
2. ROLL CALL & ESTABLISHMENT OF QUORUM: (City Council, Airport Commissioners, Marina Abrams B Non-Profit Corporation, Preston Park Sustainable Communities Nonprofit Corporation, Successor Agency of the Former Redevelopment Agency Members and Marina Groundwater Sustainability Agency)

MEMBERS PRESENT: Brian McCarthy, Kathy Biala, Mayor Pro-Tem/Vice Chair
Liesbeth Visscher, Mayor/Chair Bruce C. Delgado

3. PUBLIC COMMENT ON CLOSED SESSION ITEMS: None received.

4. CLOSED SESSION:

- a. Real Property Negotiation (Govt. Code Section 54956.8)
 - i. Property: Public Safety Building, Marina Airport and Preston Park Concessions.
Negotiating Party: Cuzio Internet
Negotiator(s): City Manager
Terms: Price and Terms

6:30 PM - RECONVENE OPEN SESSION AND REPORT ON ANY ACTIONS TAKEN IN CLOSED SESSION

City Attorney reported out Closed Session: Council met in closed session and no action was taken.

SWEARING-IN: New Council Member, Jennifer McAdams.

ROLL CALL & ESTABLISHMENT OF QUORUM: (City Council, Airport Commissioners, Marina Abrams B Non-Profit Corporation, Preston Park Sustainable Communities Nonprofit Corporation, Successor Agency of the Former Redevelopment Agency Members and Marina Groundwater Sustainability Agency)

MEMBERS PRESENT: Jennifer McAdams, Brian McCarthy, Kathy Biala, Mayor Pro-Tem/Vice Chair Liesbeth Visscher, Mayor/Chair Bruce C. Delgado

5. MOMENT OF SILENCE & PLEDGE OF ALLEGIANCE (Please stand)

6. SPECIAL PRESENTATIONS:

- a. Proclamations
 - i. American Red Cross Month
 - ii. Andres Rosas
- b. Presentations
 - i. Dr. Vanya Quiñones, President of Cal State Monterey Bay - University Updates
 - ii. Monterey County Convention and Visitor Bureau-Annual Update

7. COUNCIL AND STAFF ANNOUNCEMENTS:

- Andrea Willer, Announced in connection with the Sea Otter Classic coming April 20th there will be an event taking place on April 13, 2024 from 11:00am to 3:00pm at the Marina Pump Track. There will be professional riders coming out to do some demonstrations to do some clinics, we will have a DJ and food trucks.

8. PUBLIC COMMENT: *Any member of the public may comment on any matter within the City Council's jurisdiction that is not on the agenda. This is the appropriate place to comment on items on the Consent Agenda. Action will not be taken on items not on the agenda. Comments are limited to a maximum of three (3) minutes. General public comment may be limited to thirty (30) minutes and/or continued to the end of the agenda. Any member of the public may comment on any matter listed on this agenda at the time the matter is being considered by the City Council. Whenever possible, written correspondence should be submitted to the Council in advance of the meeting, to provide adequate time for its consideration.*

None received.

9. CONSENT AGENDA FOR THE SUCCESSOR AGENCY TO THE FORMER MARINA REDEVELOPMENT AGENCY: *Background information has been provided to the Successor Agency of the former Redevelopment Agency on all matters listed under the Consent Agenda, and these items are considered to be routine and non-controversial. All items under the Consent Agenda are normally approved by one motion. Prior to such a motion being made, any member of the public or City Council may ask a question or make a comment about an agenda item and staff may provide a response. If discussion or a lengthy explanation is required, the Council may remove an item from the Consent Agenda for individual consideration. If an item is pulled for discussion, it will be placed at the end of Other Action Items Successor Agency to the former Marina Redevelopment Agency.*
10. CONSENT AGENDA: *These items are considered to be routine and non-controversial. All items under the Consent Agenda may be approved by one motion. Prior to such a motion being made, any member of City Council may ask a question or make a comment about an agenda item and staff may provide a response. If discussion or a lengthy explanation is required, Council may remove the item from the Consent Agenda and it will be placed at the end of Other Action Items.*
- a. ACCOUNTS PAYABLE: *(Not a Project under CEQA per Article 20, Section 15378)*
 - (1) Accounts Payable Check Numbers 104077-104145, totaling \$1,611,532.82.
Accounts Payable Successor Agency Check Number 121, totaling \$1,911.25.
 - b. MINUTES: *(Not a Project under CEQA per Article 20, Section 15378)*
 - (1) February 21, 2024, Regular City Council Meeting
 - (2) February 28, 2024, Special City Council Meeting
 - c. CLAIMS AGAINST THE CITY: None
 - d. AWARD OF BID: None
 - e. CALL FOR BIDS: None
 - f. ADOPTION OF RESOLUTIONS: *(Not a Project under CEQA per Article 20, Section 15378)*
 - (1) Adopting **Resolution No. 2024-21**, authorizing the City Manager or City Manager's designee to submit a Pro Housing Designation Program Application to the California Department of Housing and Community Development (HCD). *(This item is exempt from environmental review per §15378 of the CEQA guidelines).*
 - g. APPROVAL OF AGREEMENTS: *(Not a Project under CEQA per Article 20, Section 15378)*
 - (1) Adopting **Resolution No. 2024-22**, approving an amendment to the agreement between The City of Marina and Formation Environmental, LLC. to provide engineering services for the groundwater sustainability planning; and allocating and appropriating \$59,650 from the General Fund. *(This item is exempt from environmental review per §15378 of the CEQA guidelines)*
 - h. ACCEPTANCE OF PUBLIC IMPROVEMENTS: None
 - i. MAPS: None
 - j. REPORTS: (RECEIVE AND FILE): None
 - k. FUNDING & BUDGET MATTERS: None
 - l. APPROVE ORDINANCES (WAIVE SECOND READING): None
 - m. APPROVE APPOINTMENTS: None

Council Member McAdams pulled agenda items 10b(1) and 10b(2) so she could recues herself from the vote.

DELGADO/BIALA: TO APPROVE THE CONSENT AGENDA MINUS 10b(1) AND 10b(2). 5-0-0-0 Motion Passes

DELGADO/BIALA: TO APPROVE AGENDA ITEMS 10b(1) AND 10b(2). 4-0-0-1(McAdams) Motion Passes

11. **PUBLIC HEARINGS:** *In the Council's discretion, the applicant/proponent of an item may be given up to ten (10) minutes to speak. All other persons may be given up to three (3) minutes to speak on the matter.*
 - a. Open a public hearing and consider adopting **Resolution No. 2024-23**, approving the 226 Palm Specific Plan which establishes the development standards included in a Conditional Use Permit and Site and Architectural Design Review for a six (6) unit apartment building proposed at 226 Palm Avenue (APN 032-303-046) and find that this project is exempt from environmental review per Section 15332 (Infill Development Projects) of the California Environmental Quality Act (CEQA) Guidelines.

Public Comments: None received.

The council questioned the intent for the 2008 process requiring a specific plan for each development in the downtown area. Asked about the square footage and ADA compliance and parking requirements.

BIALA/VISSCHER: TO APPROVE RESOLUTION NO. 2024-23, APPROVING THE 226 PALM SPECIFIC PLAN WHICH ESTABLISHES THE DEVELOPMENT STANDARDS INCLUDED IN A CONDITIONAL USE PERMIT AND SITE AND ARCHITECTURAL DESIGN REVIEW FOR A SIX (6) UNIT APARTMENT BUILDING PROPOSED AT 226 PALM AVENUE (APN 032-303-046) AND FIND THAT THIS PROJECT IS EXEMPT FROM ENVIRONMENTAL REVIEW PER SECTION 15332 (INFILL DEVELOPMENT PROJECTS) OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES 5-0-0-0 Motion Passes

12. **OTHER ACTIONS ITEMS OF THE SUCCESSOR AGENCY TO THE FORMER MARINA REDEVELOPMENT AGENCY:** *Action listed for each Agenda item is that which is requested by staff. The Successor Agency may, at its discretion, take action on any items. Members of the public may be given up to three (3) minutes to speak.*
13. **OTHER ACTION ITEMS:** *Action listed for each Agenda item is that which is requested by staff. The City Council may, at its discretion, take action on any items. Members of the public may be given up to three (3) minutes to speak.*

Note: No additional major projects or programs should be undertaken without review of the impacts on existing priorities (Resolution No. 2006-79 – April 4, 2006).

- a. Receive a presentation from the Monterey Salinas Transit (MST) district on the Transit Oriented Development planning study.

Public Comments:

- Jeff Markham – Commented on MST's comprehensive operational analysis final network plan and what they're trying to accomplish, which is moving people in large populated between Salinas and Monterey.

- Denise Turley – Asked if MST could post a single page on their website showing the bus routes and where they connect.

The City Council asked how people/students from the Reindollar, Cardona and Lake Drive area are to access the bus trunks a mile away. Asked about parking at the Marina Transit Exchange and possibly continuing the road to go all the way though.

- b. Discussion of increasing salary for Mayor and Councilmembers.

Public Comments:

- Carmelita Garcia – Continue dialogue and approve the increase starting at \$950.
- Denise Turley – Asked if stipend covers reimbursement costs and is it taxable.
- Jeff Markham – In support of increasing the support of our council people.

The City Council discussed what other surrounding cities have done. Asked if other cities councils participate in health benefits, insurance coverage. Commented that and increase in salary might get more of the public interested in serving as a council member.

Delgado/McAdams: That we increase the city council members, volunteer stipend to \$500 and the mayor volunteer stipend to \$650 and we asked staff to come back with the necessary revised ordinance and we also asked staff that they're comfortable future timeline to come back with some ideas about childcare.

Substitute Motion

BIALA/VISSCHER: TO INCREASE THE SALARIES OF THE COUNCIL MEMBERS TO \$2,000 A MONTH AND \$2,250 PER MONTH FOR THE MAYOR; AND RECOMMEND THAT STAFF RESEARCH THE POSSIBLE OTHER BENEFITS LIKE CHILDCARE REIMBURSEMENT AND MILEAGE REIMBURSEMENT AND ANY OTHER THINGS THAT THEY MIGHT FIND SUCH AS HEALTH CARE BENEFITS AND HEALTHCARE BENEFITS; AND 5% AUTOMATIC INCREASE ANNUALLY; AND TRAVEL REIMBURSEMENT PROCESS. 5-0-0-0 Substitute Motion Passes

14. COUNCIL & STAFF INFORMATIONAL REPORTS:

- a. Monterey County Mayor's Association [Mayor Bruce Delgado] – No updates
- b. Council reports on meetings and conferences attended (Gov't Code Section 53232).

Council Member McCarthy,
Mayor Delgado,

15. ADJOURNMENT: The meeting adjourned at 9:15 P.M.

Anita Sharp, Deputy City Clerk

ATTEST:

Bruce C. Delgado, Mayor

March 12, 2024

Agenda Item: **10f(1)**

Honorable Mayor and Members
of the Marina City Council

City Council Meeting
of March 19, 2024

**CITY COUNCIL CONSIDER ADOPTING RESOLUTION NO. 2024-,
AMENDING THE MAYOR'S 2024 RECOMMENDATION FOR CITY
COUNCIL MEMBER ASSIGNMENTS TO VARIOUS COMMITTEES
/COMMISSIONS /BOARDS**

REQUEST:

It is requested that the City Council:

1. Consider adopting Resolution No. 2024-, amending the Mayor's 2024 recommendation for City Council member assignments to various Committees/Commissions/Boards.

BACKGROUND:

On December 19, 2023, the City Council adopted Resolution No. 2023-135 approving the appointment of Council Members to various boards and commissions for 2024. On January 28, 2024, former Councilmember Cristina Medina Dirksen resigned from her seat as District 3 councilmember and therefore left a vacancy on the Transportation Agency of Monterey County (TAMC) board and the Recreation and Cultural Services Commission Liaison.

On February 28, 2024, the City Council adopted Resolution No. 2024-20, approving the appointment of Jennifer McAdams to fill the vacancy left by Cristina Medina Dirksen.

ANALYSIS:

Mayor Delgado has considered these appointments and is making recommendations for City Council member 2024 assignments to be amended to appoint Jennifer McAdams as the alternate to the Transportation Agency of Monterey County Board and as the Recreation and Cultural Services Commission Liaison (“**EXHIBIT A**”).

FISCAL IMPACT:

None

CONCLUSION:

This request is submitted for City Council consideration and possible action.

Respectfully submitted,

Anita Sharp
Deputy City Clerk
City of Marina

REVIEWED AND CONCUR

Layne P. Long
City Manager
City of Marina

RESOLUTION NO. 2024-

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MARINA
AMENDING THE MAYOR’S 2024 RECOMMENDATION CITY COUNCIL
MEMBER 2024 ASSIGNMENTS TO COMMITTEE/COMMISSION/BOARD
ASSIGNMENTS

WHEREAS, annually, the Mayor considers City Council Member assignments to various commissions, boards and committees in special districts and organizations, joint powers authorities and other agencies; and

WHEREAS, Mayor Delgado has considered these appointments and is making recommendations for City Council member 2024 assignments to be amended to appoint Jennifer McAdams as the alternate to the Transportation Agency of Monterey County Board and as the Recreation and Cultural Services Commission Liaison (“**EXHIBIT A**”).

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Marina hereby approve amending the 2024 Mayor’s recommendations for City Council Member assignments to various commissions, committees and boards, appointing Council Member Jennifer McAdams as the alternate to the Transportation Agency of Monterey County Board and as the Recreation and Cultural Services Commission Liaison

PASSED AND ADOPTED by the City Council of the City of Marina at a regular meeting duly held on the 19th day of March 2024, by the following vote:

AYES: COUNCIL MEMBERS:

NOES: COUNCIL MEMBERS:

ABSTAIN: COUNCIL MEMBERS:

ABSENT: COUNCIL MEMBERS:

ATTEST:

Bruce C. Delgado, Mayor

Anita Sharp, Deputy City Clerk

AMENDED CITY COUNCIL COMMISSION, COMMITTEE AND BOARD ASSIGNMENTS
For Period of January 1, 2024 – December 31, 2024

EXHIBIT A

<u>AGENCY</u>	<u>STIPEND</u>	<u>MEMBERS</u>
1) City of Marina Mayor Pro Tem		Liesbeth Visscher
<u>SPECIAL DISTRICTS</u>		
1) ReGen Monterey Monterey Regional Waste Management District 3 rd Friday, 9:00 a.m., 14201 Del Monte Blvd, Marina Felipe Melchor, General Manager PO Box 609 Marina, CA 93933 Ph: 384-5313; Fax: 384-3567 Web Site: www.mrwmd.org	\$100/Mtg	Member: Bruce C. Delgado 4-year term through 2026
2) Monterey County Mosquito Abatement District (NSVMAD) 2 nd Tuesday, 12 noon, Board of Trustees 342 Airport Blvd Salinas, CA 93905 Ph: 422-6438 (Salinas Office) 373-2483 (Marina Residents); Fax: 422-3337	\$100/Mtg	Member: Nancy Amadeo 4-year term through 2026
3) Monterey-Salinas Transit (MST) 2 nd Monday, 10 a.m., One Ryan Ranch Rd, Monterey Carl Sedoryk, General Manager Monterey CA 93940 Ph: 393-8192; Fax: 899-3954 Web Site: www.mst.org	\$100/Mtg	Member: Liesbeth Visscher Alternate: Bruce C. Delgado

AMENDED CITY COUNCIL COMMISSION, COMMITTEE AND BOARD ASSIGNMENTS
For Period of January 1, 2024 – December 31, 2024

EXHIBIT A

JOINT POWERS AUTHORITIES

- | | | | |
|----|---|-----------------|--|
| 1) | Community Human Services Project (CHS)
3 rd Thursday, 11 a.m.
Sand City, City Hall, One Sylvan Park
Robin McCrae, Executive Director
PO Box 3076
Monterey, CA 93942-3076
Ph: 658-3811; Fax: 658-3815
Web Site: www.chservices.org | No compensation | Member: Brian McCarthy
Alternate: Bruce Delgado |
| 2) | Association of Monterey Bay Area Governments
(AMBAG)
2 nd Wednesday, 7 p.m., Various Locations
Maura Twomey, Executive Director
PO Box 838
Marina, CA 93933
Ph: 883-3750; Fax: 883-9155
E-Mail: info@ambag.org | \$50Mtg | Member: Brian McCarthy
Alternate: Kathy Biala
Alternate: Bruce Delgado |
| 3) | Monterey County Regional Taxi Authority
July 2021
One Lower Ragsdale Court
Monterey, CA 93940
Ph: 831-899-2558
Website: www.mryrta.org | \$50Mtg | Member: Liesbeth Visscher |

SPECIALLY CONSTRUCTED ORGANIZATIONS

- | | | | |
|----|--|-----------------|--------------------------|
| 1) | Monterey County Mayors Select Committee
And Mayors' Association
1 st Friday, 12 noon, Various Locations
Office of the Mayor
Monterey City Hall
Monterey, CA 93940
Ph: 646-3760; Fax: 646-3702 | No Compensation | Member: Bruce C. Delgado |
|----|--|-----------------|--------------------------|

AMENDED CITY COUNCIL COMMISSION, COMMITTEE AND BOARD ASSIGNMENTS
For Period of January 1, 2024 – December 31, 2024

EXHIBIT A

- | | | | |
|----|--|-----------------|--|
| 2) | Transportation Agency of Monterey County (TAMC)
4 th Wednesday, 9 a.m. (December: 1 st Wednesday)
Salinas Community Center, 940 N Main St
Todd Muck, Executive Director
55-B Plaza Cr
Salinas, CA 93901-2902
Ph: 775-0903; Fax: 775-0897 | No Compensation | Member: Bruce C. Delgado
Alternate: Jennifer McAdams |
| 3) | Transportation Agency of Monterey County (TAMC)
Bicycle & Pedestrian Facilities Advisory Committee
55-B Plaza Cir, Salinas, CA 93901-2902
Ph: 647-7777
1 st Wednesday 6:00 – 8:00 PM | | Liesbeth Visscher
2-year term |
| 4) | Monterey County Convention & Visitors Bureau
3 rd Wednesday, 4:00 p.m., various locations
Wave Street
Monterey, CA 93940
Ph: 657-6400
Fax: 648-5373 | No Compensation | Member: Liesbeth Visscher
Alternate: Matt Mogensen
2-year term |

PARTICIPATION WITH OTHER AGENCIES

- | | | | |
|----|--|-----------------|--|
| 1) | Joint City/Marina Coast Water District
Coordination Committee
1 st Wednesday, 5 p.m., Marina City Hall Conference Room
Remleh Scherzinger, General Manager
11 Reservation Road
Marina, CA 93933
Ph: 384-6131; Fax: 384-2479
E-Mail: jheitzman@mcwd.org | No Compensation | Member: Kathy Biala
Member: Liesbeth Visscher
Alternate: Bruce Delgado |
| 2) | Access Monterey Peninsula (AMP)
3 rd Monday, 12:00 p.m.
Sarah Pierce, Executive Director
465 Tyler Street
Monterey, CA 93940
Ph: 333-1267; Fax: 333-0386
E-Mail: pierce@ampmedia.org | No Compensation | Member: Brian McCarthy |

AMENDED CITY COUNCIL COMMISSION, COMMITTEE AND BOARD ASSIGNMENTS
For Period of January 1, 2024 – December 31, 2024

EXHIBIT A

LIAISON TO CITY COMMISSIONS & COMMITTEES

No Compensation

- | | | |
|----|--|---|
| 1) | Economic Development Commission (EDC)
3 rd Thursday, 4:00 p.m., Council Chambers | Council Member: Kathy Biala |
| 2) | Planning Commission (PC)
2 nd & 4 th Thursday, 6:30 p.m., Council Chambers | Council Member: Kathy Biala |
| 4) | Public Works Commission
3 rd Thursday, 6:30 p.m., Council Chambers | Council Member: Liesbeth Visscher |
| 5) | Recreation & Community Services Commission
1 st Wednesday, 6:15 p.m., Council Chambers | Council Member: Jennifer McAdams |

AMENDMENT APPROVED at a Regular Meeting of the City Council duly held on March 19, 2024

ATTEST:

Bruce C. Delgado, Mayor

Anita Sharp, Deputy City Clerk

March 12, 2024

Item No. **10g(1)**

Honorable Mayor and Members
of the Marina City Council

City Council Meeting
of March 19, 2024

**CITY COUNCIL CONSIDER ADOPTING RESOLUTION NO. 2024-,
APPROVING AGREEMENT BETWEEN THE CITY OF MARINA AND
FUN4ALL, LLC TO PROVIDE SPECIALTY SUMMER CAMPS AND
WORKSHOPS AND AUTHORIZING THE CITY MANAGER TO
EXECUTE THE AGREEMENT ON BEHALF OF THE CITY**

RECOMMENDATION:

It is recommended that the City Council:

1. Consider adopting Resolution No. 2024-, approving an agreement between the City of Marina and Fun4All LLC to provide specialty summer camps and workshops.
2. Authorize the City Manager to execute the agreement on behalf of the City subject to final review and approval by the City Attorney.

BACKGROUND:

Historically, City of Marina's Recreation & Cultural Services Department has offered a traditional day camp program and a small number of sport specific camps during the summer break. The traditional day camp program typically serves the same population that participates in the year round after school program. Similarly, the participants in the sport specific camps, are also enrolled in the traditional day camp program. As a result, the existing youth programs are mostly serving the same 80-100 youth year-round.

These programs are also heavily subsidized by the general fund. Combined, the traditional youth and sports programs have a cost recovery of approximately 23% (Direct Costs Only). As a result, the General Fund is subsidizing approximately 77% of the cost to provide the program.

ANALYSIS:

Recently, staff sent an interest survey to families attending Marina elementary schools to determine interest in summer specialty camps. Survey results indicate that there is an appetite for specialty camp offerings. The top four themes were science (73%), engineering (64%), art (60%), and slime (51%). The most popular format was a 4-day camp that meets 4 hours per day (42%).

Staff recommend expanding the Recreation & Cultural Services summer offerings to include specialty camps and workshops through a third-party contractor. The intent of expanding program offerings is to increase awareness, increase the number of unique participants served, increase access to STEM activities, and increase revenue.

Marina Recreation & Cultural Services Department is new in this market. Surrounding municipalities have been offering specialty camps for many years. To enter the market and be competitive, Staff recommends keeping fees as low as possible. The cost for a 4-day camp is \$150/participant. Staff recommend setting the non-resident rate at \$149 and the resident rate at \$99. Staff also recommend offering one-day workshops for families who may not be able to commit to the 4-day/week camp. The cost for the workshops is \$40/participant. Staff recommend setting the non-resident rate at \$39/participant and the resident rate at \$26/participant. Additionally, Marina residents are eligible for needs based financial assistance through the Marina Action Pass Scholarship Program. **EXHIBIT A** outlines scope of work and services for Summer 2024.

FISCAL IMPACT:

Depending on enrollment and after collecting revenue, expenses to the City could range from \$350 (99% Cost Recovery) to \$12,100 (67% Cost Recovery). The low end of the range assumes every camp and workshop sells out with all non-resident participants. The high end of the range assumes every camp and workshop sells out with all Marina resident participants. Enrollment will be somewhere between these two extremes. Moving forward, fees will be adjusted annually to reduce the subsidy from the general fund, with the goal of being cost neutral or revenue positive in a few short years.

CONCLUSION:

This request is submitted for City Council consideration and possible action.

Respectfully submitted,

Andrea M. Willer
Recreation & Cultural Services Director
City of Marina

REVIEWED/CONCUR:

Layne P. Long
City Manager
City of Marina

RESOLUTION NO. 2024-

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MARINA
APPROVING AGREEMENT BETWEEN THE CITY OF MARINA AND
FUN4ALL, LLC. TO PROVIDE SPECIALTY SUMMER CAMPS AND
AUTHORIZING THE CITY MANAGER TO EXECUTE THE AGREEMENT ON
BEHALF OF THE CITY SUBJECT TO FINAL REVIEW AND APPROVAL BY
THE CITY ATTORNEY.

WHEREAS, the City of Marina seeks to increase awareness, increase the number of unique participants served, increase access to STEM activities, and increase revenue; and

WHEREAS, Marina does not currently offer specialty summer camps; and

WHEREAS, the most cost effective way to provide specialty summer camps is through a third party vendor.

NOW, THEREFORE, BE IT RESOLVED, that the City Council of the City of Marina hereby:

1. Approve an agreement between the City of Marina and Fun4All, LLC. to provide specialty summer camps; and
2. Authorize the City Manager to execute the agreement on behalf of the City subject to final review and approval by the City Attorney.

PASSED AND ADOPTED, by the City Council of the City of Marina at a regular meeting held on the 19th day of March 2024, by the following vote:

AYES: COUNCIL MEMBERS:

NOES: COUNCIL MEMBERS:

ABSENT: COUNCIL MEMBERS:

ABSTAIN: COUNCIL MEMBERS:

Buce C. Delgado, Mayor

ATTEST:

Anita Sharp, Deputy City Clerk

EXHIBIT A

SCOPE OF WORK/SERVICES

Fun4All LLC will provide all required instructors , curricula, supplies and materials for the following schedule of programs. In the event that the enrollment for the proposed class does not exceed the minimum number established by City and VENDOR, the City reserves the right to cancel said program upon forty-eight hours' notice to VENDOR as hereinafter provided. In the event of such cancellation, City shall have no liability for any services rendered or expenses incurred hereunder by VENDOR after the issuance of such notice.

June 10-13, 2024 (Monday, Tuesday, Wednesday, Thursday)

1pm-5pm

Science Camp

June 14, 2024 (Friday)

1pm-5pm

Science Workshop

June 17-21, 2024 (Monday, Tuesday, Thursday, Friday) (Wednesday the 19th is a City Holiday)

1pm-5pm

Outside the Line-Art Camp

June 24-27, 2024 (Monday, Tuesday, Wednesday, Thursday)

1pm-5pm

Slime Camp

June 28, 2024 (Friday)

1pm-5pm

Slime Workshop

July 1-5, 2024 (Monday, Tuesday, Wednesday, Friday) (Thursday, July 4 is a City Holiday)

1pm-5pm

Lego Camp

July 8-11, 2024 (Monday, Tuesday, Wednesday, Thursday)

1pm-5pm

Science Camp

July 12, 2024 (Friday)

1pm-5pm

Science Workshop

July 15-18, 2024 (Monday, Tuesday, Wednesday, Thursday)

1pm-5pm

Art Camp

July 19, 2024 (Friday)

1pm-5pm

Art Workshop

July 22-25, 2024 (Monday, Tuesday, Wednesday, Thursday)

1pm-5pm

Slime Camp

July 26, 2024 (Friday)

1pm-5pm

Slime Workshop

July 29-August 1, 2024 (Monday, Tuesday, Wednesday, Thursday)

1pm-5pm

Lego Camp

August 2, 2024 (Friday)

1pm-5pm

Lego Workshop

March 7, 2024

Item No. **10g(2)**

Honorable Mayor and Members
of the Marina City Council

City Council Meeting
of March 19, 2024

**CITY COUNCIL TO CONSIDER ADOPTING RESOLUTION NO. 2024-,
APPROVING A MEMORANDUM OF UNDERSTANDING WITH THE
MARINA EQUESTRIAN ASSOCIATION FOR EQUESTRIAN BOARDING
AT A DESIGNATED CITY-OWNED PROPERTY.**

REQUEST:

It is requested that the City Council:

1. Consider adopting Resolution No. 2024-, approving a Memorandum of Understanding (MOU) with the Marina Equestrian Association (MEA) for the provision of equestrian boarding and related uses **(EXHIBIT A)**,
2. Direct the City Manager, or his designee, to enter into discussions with MEA to negotiate mutually agreeable lease terms and conditions for the construction and maintenance of an equestrian boarding facility on City-owned property, and
3. Direct the City Manager, or his designee, to return to Council with a progress report on lease discussions by September 17, 2024.

BACKGROUND:

At its regularly scheduled meeting of March 21, 2023, the City Council authorized staff to proceed with negotiating a Memorandum of Understanding (MOU) with the Marine Equestrian Association (MEA) for the purpose of constructing and maintaining an equestrian boarding facility under a lease on property owned by the City adjacent to the Marina Equestrian Center (MEC) Park. The adjacent property consists of approximately 3 acres of land bordering the Las Animas Concrete plant (at the former Fort Ord Stockade) that can be readied for equestrian boarding.

(For background information, see Item 13a from the March 21, 2023, Council meeting and Item 11c from the regularly scheduled City Council meeting of October 18, 2022.)

Following Council's direction on March 21, 2023, a draft MOU was developed and reviewed by the City Attorney. Subsequently, changes were made to the draft based on City Council input provided on February 21, 2024. The draft now under consideration includes this input, as well as minor suggested edits provided by the MEA Board of Directors.

ANALYSIS:

Staff engaged a consultant, Baker Tilly, to assist with implementing short- and longer-term plans to construct equestrian boarding facilities and associated infrastructure through a leasing arrangement with MEA. The first substantive step in this process is to negotiate the MOU with MEA to provide the structure for determining mutually beneficial terms and conditions for constructing and maintaining equestrian boarding facilities and related infrastructure on the designated parcel.

The MOU establishes roles and responsibilities for each party, summarized as follows:

City of Marina	Marina Equestrian Association
• Clarify land use, permitting, and utility infrastructure requirements governing use of the parcel for equestrian boarding and associated infrastructure, • Engage the services of applicable professional consultants to help evaluate needs, requirements and restrictions for equestrian boarding and associated infrastructure, and • Negotiate exclusive lease terms and conditions in good faith.	• Engage city-approved professional consultants to develop plans and specifications for desired boarding facilities and associated infrastructure for City review and approval, • Create draft policies, procedures, and related fees and charges for operation of a boarding facility and related infrastructure for approval by City, • Present a draft plan to the City of how improvements to the parcel will be implemented, and • Negotiate lease terms and conditions in good faith.

The draft MOU is contained in **EXHIBIT A**. Approval of staff's recommendations will allow the City Manager or his designee to engage with MEA to finalize terms of the MOU and return to Council with a resolution to recommend signature execution of the agreement, at which time lease discussions can commence.

FISCAL IMPACT:

The fiscal impact related to the recommended City Council action is limited to the professional services effort of Baker Tilly. Sufficient funding is contained in CIP QLP 2018. The Baker Tilly effort is currently limited to less than \$25,000. Staff will provide Council with a funding update as lease discussions progress.

CONCLUSION:

This request is submitted for City Council consideration and possible action.

Andrea Willer, Ed.D.
Recreation and Cultural Services Director
City of Marina

REVIEWED/CONCUR:

Layne P. Long
City Manager
City of Marina

RESOLUTION NO. 2024-

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF MARINA APPROVING A
MEMORANDUM OF UNDERSTANDING BETWEEN THE CITY OF MARINA AND THE
MARINA EQUESTRIAN ASSOCIATION

WHEREAS, At its regularly scheduled meeting of March 21, 2023, the City Council authorized staff to proceed with negotiating a Memorandum of Understanding (MOU) with the Marine Equestrian Association (MEA) for the purpose of constructing and maintaining an equestrian boarding facility under a long-term lease on property owned by the City adjacent to the Marina Equestrian Center (MEC) Park; and

WHEREAS, Following Council's direction on March 21, 2023, a draft MOU was developed and reviewed by the City Attorney. Subsequently, changes were made to the draft based on City Council input provided on February 21, 2024; and

WHEREAS, the fiscal impact is limited to the professional services effort of Baker Tilly. Sufficient funding is contained in CIP QLP 2018. The Baker Tilly effort is currently limited to less than \$25,000.

NOW, THEREFORE, BE IT RESOLVED that the City Council does hereby:

1. Approve a Memorandum of Understanding (MOU) with the Marina Equestrian Association (MEA) for the provision of equestrian boarding and related uses **(EXHIBIT A)**,
2. Direct the City Manager, or his designee, to enter into discussions with MEA to negotiate mutually agreeable lease terms and conditions for the construction and maintenance of an equestrian boarding facility on City-owned property, and
3. Direct the City Manager, or his designee, to return to Council with a progress report on lease discussions by September 17, 2024.

PASSES AND ADOPTED by the City Council of the City of Marina at a regular meeting duly held on the 19th day of March 2024, by the following vote:

AYES, COUNCIL MEMBERS:

NOES, COUNCIL MEMBERS:

ABSENT, COUNCIL MEMBERS:

ABSTAIN, COUNCIL MEMBERS:

Bruce C. Delgado, Mayor

ATTEST:

Antia Sharp, Deputy City Clerk

MEMORANDUM OF UNDERSTANDING
BETWEEN THE CITY OF MARINA AND THE MARINA EQUESTRIAN ASSOCIATION
REGARDING LONG-TERM EQUESTRIAN BOARDING ON CITY PROPERTY

This Memorandum of Understanding (MOU) is made and entered into as of the date of the signatures set forth below by and between the CITY OF MARINA (City) and the MARINA EQUESTRIAN ASSOCIATION (MEA). Collectively these entities shall be known herein as "Parties" or individually as a "Party."

RECITALS

- A. The MEA is in need of space for the private boarding of horses.
- B. The City owns an approximate 3-acre parcel of land that may be suitable for equestrian boarding facilities (Parcel) and shown in Exhibit A (the area containing 2.96 acres).
- C. The City and the MEA have indicated a willingness to negotiate mutually-beneficial lease terms and conditions for MEA's potential lease of the City's Parcel for boarding facilities and related infrastructure.

NOW THEREFORE, in consideration of the mutual benefits to be derived by the City and the MEA, and of the promises contained in this MOU, the Parties agree as follows:

Section 1. Recitals: The recitals set forth above are incorporated into this MOU.

Section 2. Purpose: The purpose of this MOU is to provide a structure for the Parties to determine mutually-agreed upon terms and conditions for the construction and maintenance of an equestrian boarding on the Parcel.

Section 3. Voluntary Participation: This MOU is voluntarily entered into by the Parties for the purpose established in Section 2.

Section 4. Term: This MOU shall become effective on the last day of its execution by the City and shall remain in effect until mutually terminated by the Parties or terminated by a Party pursuant to Section 7 (Termination).

Section 5. The City Agrees to:

- A. Clarify land use, permitting, and utility infrastructure requirements that govern the use of the Parcel for equestrian boarding.
- B. Engage the services of applicable professional consultants, if any, to assess potential land use restrictions; conduct environmental testing; and help evaluate needs and requirements for equestrian boarding and associated infrastructure, fencing, grading, parking, restroom, utilities infrastructure, and rights-of-way management.
- C. Negotiate in good faith lease terms and conditions with the MEA for equestrian boarding at the Parcel.

Section 6. The MEA Agrees to:

- A. Engage the services of City-approved professional consultants to develop renderings, plans, specifications, grading and phasing plans for desired boarding facilities for City review and approval.
- B. Create a set of draft policies, procedures, and related fees and charges for operation of a boarding facility for review and approval by the City.
- C. Present a draft plan to the City of how MEA improvements will be implemented at the Parcel.
- D. Negotiate in good faith with the City the lease terms and conditions for equestrian boarding at the Parcel.
- E. The City shall have final approval of all policies, procedures, designs, and related fees and charges for MEA operations.

Section 7. Termination: Either Party may terminate its participation in this MOU upon giving 30 calendar days written notice to the other Party. Termination does not impact activities that may have been initiated unless the parties decide otherwise.

IN WITNESS WHEREOF, the Parties have caused this MOU to be executed by their duly authorized representatives as of the date of their respective signatures.

CITY OF MARINA

MARINA EQUESTRIAN ASSOCIATION

By: _____

By: _____

(Title of signatory here)

(Title of signatory here)

APPROVED AS TO FORM:

(City Attorney)

(Counsel)

Mayor and Members of the City Council
City Council

City Council Meeting
of March 5, 2024

CITY COUNCIL RECEIVE A PRESENTATION FROM RAIMI+ASSOC. AND CONSIDER ADOPTING OBJECTIVE DESIGN STANDARDS (ODS), RESOLUTION NO. 2024- AMENDING THE GENERAL PLAN, AND INTRODUCING ORDINANCE NO. 2024- AMENDING THE MARINA MUNICIPAL CODE (MMC) AS NECESSARY FOR IMPLEMENTATION OF THE ODS. THE ADOPTION OF ODS IS EXEMPT FROM ENVIRONMENTAL REVIEW PURSUANT TO § 15061(b)(3) OF THE CEQA GUIDELINES.

REQUEST: It is requested that the City Council:

1. Receive a presentation from Raimi+Assoc. and consider adopting Objective Design Standards (ODS), Resolution No. 2024-, amending the General Plan, and introducing Ordinance No. 2024-, amending the Marina Municipal Code (MMC) as necessary for implementation of the ODS. The adoption of ODS is exempt from environmental review pursuant to § 15061(b)(3) of the CEQA guidelines.

BACKGROUND:

Since September 2022, the City and Raimi+Associates (consultant) have been working on developing Objective Design Standards (ODS) to assist with streamlining the entitlement process for qualifying multi-family and mixed-use developments in compliance with Senate Bill (SB) 330. After conducting public outreach including: 1) stakeholder meetings with private and non-profit affordable developers, 2) online questionnaires/surveys to the general public, and multiple informational meetings with the City Council and Planning Commission, including a study session on October 12, 2023. The original draft and a video of this meeting can be found on the City's Agenda Center [website](#).

After the October study session, the consultant prepared a "final" draft ODS document (**EXHIBIT A**) which includes track-changes to show how the comments and concerns raised at the study session were addressed in the final draft. Additionally, a study session comment matrix (**EXHIBIT B**) has been prepared to further clarify changes.

The Planning Commission, at its duly noticed public hearing on February 22, 2024, adopted PC Reso. 2024-01 (**EXHIBIT C**) recommending approval of the document as presented with only the request that the City Council consider removing the *Monterey* Style Guide form the Architectural Style Guidelines (Appendix A to the ODS) due to its reference to and promulgation of settler colonial attitudes potentially harmful to Marina residents, both past and present.

ANALYSIS:

In an effort to bring the City into compliance with Senate Bill (SB) 330, which requires that jurisdictions adopt ODS to help ease the ongoing statewide housing crisis, the consultant has prepared draft ODS based on input from the general public, local development stakeholders, cultural groups like the Asian Community of Marina (ACOM), and the Planning Commission and City Council. Some key points for the Council's consideration:

1. In order to be compliant with State law and to ensure that minimum standards are in place to provide some level of local review when a housing developer comes in with a project, the adoption of ODS is recommended. The ODS can always be amended and updated as needed.

2. The ODS will apply only in areas within the City that are not otherwise regulated by an adopted Specific Plan; i.e., these ODS will apply in the Downtown Vitalization Specific Plan area until the DVSP is adopted at which time the DVSP design standards will apply. The ODS will not apply in the Dunes, Sea Haven, or the Marina Station developments.
3. The City's adopted Design Guidelines and Standards will continue to apply to projects that do not qualify as Housing Development Projects as defined in MMC Sec. 17.04, like commercial or industrial projects or those projects that choose to go through the existing discretionary review process.
4. The ODS will not apply in the Coastal zone until amended into the Local Coastal Program (LCP).
5. The ODS are minimum standards. Should an applicant desire to prepare a "superior" design, they may opt to go through the standard discretionary design review process or propose a project using the ODS as the baseline, but embellishing façade modulation and articulation throughout, as an example (see Sec. 1.2.2 Building Design). The proposed ODS are a tool that the State legislature has required to help expedite multi-family and mixed-use developments.
6. Appendix A, Architectural Style Guide – A developer seeking to build a qualified housing project in Marina may choose to utilize a particular style from the Appendix or may not; the City cannot require any certain style. Because architectural style is very subjective, staff and the consultant recommended early in the process that the City not include style guides because they can detract from the objective nature of the ODS. The intent is to focus on the development standards that will be informing the built environment in terms of project integration into existing neighborhoods, open space, and parking and lighting, rather than on architectural style.

That said, the Planning Commission requests that the Council consider removing the Monterey style due to the potential that it may result in historical trauma in some Marina residents.

The adoption of the ODS requires that several amendments to Title 17 of the Marina Municipal Code (MMC) occur to ensure consistency between the two regulatory documents. The proposed zoning amendments are to MMC Section 17.40 (Definitions), Article 2 (Zoning Districts, Uses and Development Standards), Article 4 (Regulations and Standards Applicable to All Zones), and Article 5 (Regulations for Specific Land Uses). A draft ordinance, **EXHIBIT D**, outlining the proposed zoning code changes is included herein. Likewise, minor amendments to Sections 4.2 and 4.26.4 of the 2000 General Plan are needed to ensure consistency with that document. A draft Resolution is included herein as **EXHIBIT E**.

FISCAL IMPACT:

The preparation of the ODS is paid for through a Regional Early Action Planning (REAP) 1.0 grant from the CA Housing & Community Development Dept. (HCD) and license and permit revenues through the General Plan Update Fee collected as part of all building permit applications.

ENVIRONMENTAL REVIEW:

A memo was prepared by a qualified environmental firm in support of the use of the Common Sense CEQA exemption, Sec. 15061(b)(3), for the preparation of the draft Objective Design Standards given that the use of ODS will not result in a significant adverse effect on the environment. The memo is included herein as **EXHIBIT F**.

CONCLUSION:

Staff recommends that the Council adopt the Objective Design Standards as presented and adopt the Ordinance amending the requisite sections of the MMC and the Resolution amending the General Plan to ensure consistency between these three (3) regulatory documents.

Respectfully submitted,

Alyson Hunter, AICP
Planning Services Manager
Community Development Dept.
City of Marina

REVIEWED/CONCUR:

Guido Persicone, AICP
Director, Community Development Dept.
City of Marina

Layne P. Long
City Manager
City of Marina

Marina Objective Design Standards

PUBLIC HEARING DRAFT

02/08/2024



Prepared by Raimi + Associates for the City of Marina



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Appendix A. Architectural Style Guide

Appendix B. City of Marina Demographics



Images with this symbol have been changed or added.

1. Residential and Residential Mixed-Use Objective Design Standards

1.1 ~~Purpose and Applicability~~ Introduction

1.1.1 Purpose.

- A. The Objective Design Standards identify specific design elements that are required for all multi-family residential projects, residential mixed-use projects, and new single-family residential projects of two or more units. The intent of the Objective Design Standards is to allow flexibility and creativity in design while providing a clear set of standards and expectations for single-family, multi-family residential and residential mixed-use projects that align with the following City objectives:
 - 1. Enable streamlined review and approval of housing, in accordance with State law;
 - 2. Ensure that buildings are appropriate to their surroundings and environment;
 - 3. Encourage a pedestrian-oriented environment;
 - 4. Emphasize high-quality, human-scaled building design and architectural elements;
 - 5. Promote thoughtful, context-sensitive site design; and
 - 6. Maintain and enhance the character of the community.
- B. Additionally, applicants are allowed and encouraged to provide higher quality design elements if they are compliant with the baseline standards in this document.

1.1.2 Applicability.

- A. The standards and guidelines found in this Chapter apply to all housing development projects, as defined in MMC Chapter 17.04 (Definitions), which includes new single-family residential developments of two or more units including SB9 units built within five years of another unit on the same lot or as a part of a lot split, multi-family residential, and residential mixed-use projects within the City, as well as qualifying modifications to existing development and changes in land use, unless otherwise specified. ~~For the purposes of this Chapter, "multi-family residential projects" are projects with two or more residential units only and "residential mixed-use projects" are mixed-use projects with at least two-thirds of the gross square footage of the development designated for residential use.~~
- B. For modifications to existing mixed-use developments where no additional square footage is proposed, these standards and guidelines shall only apply to the use being modified (e.g., a ground floor retail storefront remodel will not trigger any architectural changes to residential units).
- C. These standards are in addition to the minimum development standards found in Article 2 of the Zoning Ordinance, for the zones that allow residential and/or mixed-use. If there is a conflict between the standards in this document and the Zoning Ordinance, the standards in the Zoning Ordinance shall apply.
- D. This ~~Chapter document~~ does not apply to developments within Specific or Master Plan areas, with the exception that the Objective Design Standards apply to the Downtown Vitalization Plan area until the Downtown Vitalization Plan is adopted. Coastal Zone requirements and standards contained within Chapter 17.40 (Coastal Zone) of the Marina Municipal Code (MMC) shall prevail over standards in this Chapter whenever there is a conflict.

- E. These standards and guidelines apply only to the design of private development, and not the public right-of-way (e.g., sidewalks). Discretionary terms/guidelines are not required, but are included here to convey intent, and encourage design elements important to the community.

1.1.3 Interpretations.

- A. The following section provides direction on interpreting terms in this Chapter:
1. **Mandatory Terms.** Standards are written using mandatory terms. The words “shall,” “will,” and “must” are mandatory, establishing a duty or obligation to comply with the specific Standard.
 2. **Discretionary Terms.** Guidelines are written with permissive terms. The words “may,” and “should” are permissive. Projects should strive to meet guidelines, but are not strictly required to (e.g., “Existing trees should be preserved to the extent feasible.”).

1.1.4 Discretionary Review Path.

- A. All applicable projects are required to comply with Objective Design Standards. Should a project not be able to or choose not to adhere to the Objective Design Standards, a project may seek approvals through the Discretionary Review Path. The Discretionary Review Path voluntarily takes a project outside of requirements including time of review and limit on number of public meetings for projects seeking non-discretionary approvals based on SB330.
- a. Applicants may be subject to review by the Planning Commission
 - b. Applicants may be subject to hold community meetings to get neighborhood input.

1.1.5 Definitions.

Active Frontage. Active frontages are building frontages with active uses where there is a visual engagement between those in the street and those on the ground floor. Active uses are uses that generate many visits, in particular pedestrian visits, over an extended period of the day. Active uses may be shops, cafes, other social uses. Higher density residential and office uses also can be active uses for particular periods of the day by providing additional entries to individual units or ground floor office spaces.

Architectural Style. A set of characteristics and features that make a building or other structure notable or historically identifiable. Descriptions and standards related to specific architectural styles are included in Appendix A (Architectural Style Guide).

Articulation. The three-dimensional detailing of the external walls of a building. Facade articulation may include notched setbacks, projecting bays, balconies, screening devices, etc.

Auto Court. Four or more dwelling units arranged with front doors and garages facing a common stub street or driveway.

Balcony. An accessible platform structure that projects from a building facade or wall with or without ground mounted structures or supports and is surrounded by a railing or parapet.

Block Length: The length of parcel or series of parcel measuring from the edge of one public right-of-way or public access easement to another.

Building Facade Length: The overall length of a facade without a full break in the building.

Cornice. Any horizontal decorative molding that crowns a building (*see Transom Window below for example*).

Datum Line. Horizontal lines that continue the full length of the building, such as cornices.

Development Site. The land area, consisting of one or more recorded lots when comprehensively designed and developed. Could be either under one ownership or for use as a condominium. The site may be either occupied or to be occupied by a main building(s)/primary use(s) and accessory building(s)/use(s) together.

Eave. The part of a roof that meets or overhangs the walls of a building.

Facade Plane: Any stretch of a building facade existing along the same axis line, regardless of pattern differentiation or change in rhythm.

Fenestration. The arrangement of windows and doors on the elevations of a building.

Foot-candle. A unit of illuminance or light intensity. The foot-candle is defined as one lumen per square foot.

Frontage. The front lot line; also the length thereof.

Grade. The ground surface immediately adjacent to the exterior base of a structure, typically used as the basis for measurement of the height of the structure.

Human-Scaled Building Design: Building and urban design elements designed to meet the proportional, physical, and psychological needs of the human body. This could include creating a walkable block structure, architectural elements and details that are visible and perceivable to pedestrians, and building massing that reflects the rhythm, pattern, and size of interior spaces.

Landscaped Area. Surface area dedicated for planting of trees, shrubs, flowers, grass, ground cover, or other horticultural elements.

Lintel. A piece of wood, stone, or steel placed horizontally across the top of window and door openings to support the wall immediately above.

Massing. The overall size, shape, and arrangement of a building or group of buildings.

Modulation. The stepping back or projecting forward of a building face with specified intervals of building width and depth, as a means of breaking up the apparent bulk of the building.

Mid-Block Connection. A public right-of-way or private land area with a public access easement that connects from one public right-of-way to another public right-of-way.

Parapet. A low guarding wall at any point of sudden drop, as at the edge of a terrace, roof, balcony, etc.

Pedestrian Pathway: A walkway or sidewalk that connects into or through a development.

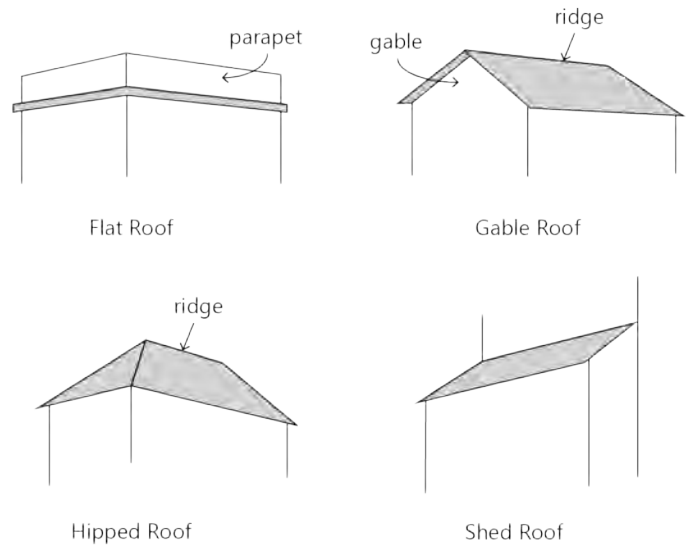
Primary Building Façade. The building facade that abuts the primary street, typically the front lot line. In the case of a through-lot, the primary building frontage could be on either public right-of-way.

Publicly Accessible Private Open Space (PAPOS): A public open space that is provided on private property with a public access easement and most often built and maintained by a private entity.

Rafters. Any of a series of small, parallel beams for supporting the sheathing and covering of a roof.

Roof.

- **Flat Roof.** A roof with a slope, or pitch, of less than 10 degrees.
- **Gable Roof.** A roof with two sloping sides and a gable at each end.
- **Hipped Roof.** A roof with four sloped sides.
- **Shed Roof.** A roof shape having only one sloping plane.



Stepback. The vertical or horizontal recess or setback of a building's upper floors from the lower floors.

Stoop. A small staircase ending in a platform leading to the entrance of an apartment building or rowhouse.

Transom Windows. Any small, horizontal window over a door or window, often operable for ventilation.



1.2 Single-Family Residential (Attached and Detached)

This Section applies to both attached and detached single-family residential homes, including cluster homes, cottages, auto courts, townhomes, duplexes/triplexes, and other configurations that meet the permitted density requirements and development standards of the applicable zone.

1.2.1 Site Design.

A. Access and Connectivity.

1. **Gates/Barriers.** Private streets shall not be gated or closed off to the public.
2. **Pedestrian Pathways.** This standard applies to cluster and cottage homes, auto courts, and other types of developments that provide common areas; and does not apply to a typical single-family detached residential subdivision. All nNew development shall provide pedestrian pathways connecting to the public sidewalk and other planned or existing pedestrian routes or trails. Pedestrian pathways, a minimum of ~~four~~ five feet wide, shall be provided from the public right-of-way and/or individual unit entries to all primary common entryways and common areas, guest parking, and centralized trash enclosures (if provided). All pathways will be designed to be ADA-compliant.
3. **External connectivity.** All streets in any subdivision or development site shall connect to and be aligned with existing and planned streets outside the proposed subdivision or development to the extent feasible. Any cul-de-sac or other dead-end street longer than 400 feet shall be connected to other streets by a pedestrian path.

B. Townhouse Site Configuration.

1. Townhouse Site Planning/Configuration.

Townhouses shall be configured in one of the following ways:

- a. In a row facing the front parcel line or street/private drive.
- b. In a row or series of rows perpendicular to the front parcel line or street/private drive. In such case, a landscaped central path/outdoor space (personal and/or common) shall be provided with a minimum width of 30 feet from building face to building face that connects each individual unit to the street/public ROW except that balconies may project up to five feet from either building face. ~~Other B~~building projections are allowed to encroach within the minimum width of the common path/outdoor space (see MMC Section 17.42.070 (Yards)).
- c. Corner Side Units shall comply with the standards in Section 1.2.2.E (Corner Side Units).



Townhomes facing street.



Townhomes facing central courtyard.

2. **Maximum Townhouse Units in Row.** There shall be a maximum of six-ten townhouse units per building/row.

C. **Parking.**

1. **Location and Access.**

- a. Required parking shall be provided on each lot, and/or within a common parking area (e.g., common guest parking lots or common parking within auto court developments).
- b. Curb cuts and driveways providing access to parking shall be provided from an alley or secondary/private street, rather than from the public right-of-way, whenever such alley or secondary/private access is feasible.
- c. Parking is not allowed in the front and street side setback area for individual lots and building sites, except within approved driveways.

2. **Parking Frontage.**

- a. Surface parking lots (e.g., common or guest parking areas) shall not occupy more than 30 percent of the linear width of any street-facing frontage.
- b. Garage doors that face the street shall not occupy more than 60 percent of the width of any street-facing building facade for new detached single-family homes. This limitation does not apply to frontages along alleys.

3. **Garage Design.**

- a. Detached garage structures shall be designed using at least two of the same exterior finish materials and/or colors used on the principal structure.
- b. For new detached single-family homes, front-loaded garages shall be set back at minimum five feet behind the front facade.

D. **Trees and Landscaping.** All landscaping shall comply with MMC Section 8.04.310 (Model water efficient landscaping ordinance requirements) and the Landscape and Irrigation Plan [submittal](#) requirements ~~per Appendix B and in~~ the City of Marina Design Guidelines and Standards. In addition, the following standards shall apply.

1. **New Street and Pathway Landscaping.** All new streets and pathways within the project shall provide a combination of trees and other plants in a minimum four-foot wide ~~planting strip~~. Trees shall be planted at a minimum of one tree for every 30 to 45 feet of linear street/path (depending on the species and mature canopy width or growth habit). Shrubs and groundcover shall cover at least 30 percent of the planting strip.
2. **Tree Preservation.** Existing mature trees of ~~six~~ inches or greater in diameter at breast height (DBH) ~~should shall~~ be preserved ~~to the extent unless in~~ feasible. Existing trees having a DBH of less than six inches should be relocated ~~if possible unless infeasible~~.
3. **Location of Trees.** Trees planted within five feet of a street, sidewalk, paved trail, parking area, or walkway shall be a deep-rooted species or shall be separated from hardscapes by a root barrier to prevent physical damage to public improvements. Trees planted within the street rights-of-way, utility easements, or within 10 feet of any public improvement shall be submitted to and approved by the Marina Public Works Department. Such approvals may be dependent upon the selection of alternate tree species, the relocation of trees further back from public improvements or the installation of root guards. Also, the location of trees shall not conflict with the location of any private sewer laterals or any private water connections.
4. **Plant Size and Spacing.**
 - a. **Shrubs Size.** All proposed shrubs shall be a minimum five-gallons in size, with a 15-gallon minimum size when required for screening. The minimum planter width for shrubs is three feet.

- b. **Trees Size.** The minimum planting size for trees shall be 15-gallon, with 50 percent of all trees on a project site planted at a minimum 24-inch box size. Trees required for screening shall be a minimum 24-inch box size. The minimum planter width for trees shall be four feet.
 - c. **Spacing.** The spacing of trees, shrubs, and ground cover plants shall accommodate mature planting size. Where required for screening, spacing shall form an opaque barrier when planted.
- 5. **Tree Species.** Trees shall be selected from the City of Marina's Recommended List of Preferred Trees, as may be amended from time to time (see the City of Marina Design Guidelines and Standards document for the List of Preferred Trees). Native and drought-tolerant tree species are strongly encouraged.
- 6. **Drought-Tolerant Landscaping.**
 - a. A minimum of 65 percent of the total of all landscaped areas shall be landscaped with drought-tolerant plant material requiring minimal irrigation once established, and shall be irrigated separately from any areas which have higher water demands. [Native plant materials are strongly encouraged.](#)
 - b. A maximum of 35 percent of the total of all landscaped areas may be planted or installed with plant material which may require more extensive irrigation once established, including up to a maximum of 25 percent of said total which may be turf. The above 35 percent and 25 percent limitations may be exceeded to allow for increased turf areas associated with high-activity areas or uses such as golf courses, recreation areas, parks, and pet parks. Turf is not allowed in median strips.
- 7. **Turf.**
 - a. The use of natural turf is discouraged except for recreation areas and high activity/foot-traffic areas.
 - b. Turf shall not be installed on slopes exceeding 4:1 ratio.
 - c. Artificial turf. Artificial turf shall be limited to accent areas, high activity/foot traffic areas, and recreational areas. Where artificial turf is installed, it shall be designed as follows:
 - i. Artificial turf shall be kept a minimum of five feet away from tree root crowns (measured in all directions).
 - ii. Artificial turf used for pet areas shall be specifically formulated for that purpose.
 - iii. A proper drainage system shall be installed underneath to prevent excess runoff or pooling of water.
- 8. **Soil and Mulch.**
 - a. Native soil in all planting areas shall be amended to a minimum depth of ~~6~~[six](#) inches with a minimum of 40 percent organic material. Native soil under portions of planting areas, which are covered exclusively by rocks, gravel, or other non-living landscaping material, need not be so amended.
 - b. A minimum of two inches of organic mulch (wood chips, shredded bark, etc.) shall be installed in all non-turf areas unless a ground cover planting is specified.
- 9. **Irrigation.** Turf areas or other higher water use plantings shall be grouped and irrigated separately from more drought-tolerant planting areas.
- 10. **Tree Removal.** See MMC Chapter 17.62 (Tree Removal, Preservation and Protection) for tree removal regulations.
- 11. **Maintenance.** [All landscaping will be maintained and replaced as needed. In addition, tree pruning shall be a part of regular maintenance and shall be performed by a licensed California landscape contractor in accordance with International Society of Arboriculture \(ISA\) standards.](#)

Severe trimming, pruning, or other maintenance that results in significant alteration of the natural shape of a tree or modification of the central leader (including "lollipoping," "heading," or similar techniques) is prohibited, except in conjunction with public utility maintenance.

12. Gopher Intrusion. Gopher barriers shall be provided as needed to prevent gopher intrusion in yards.

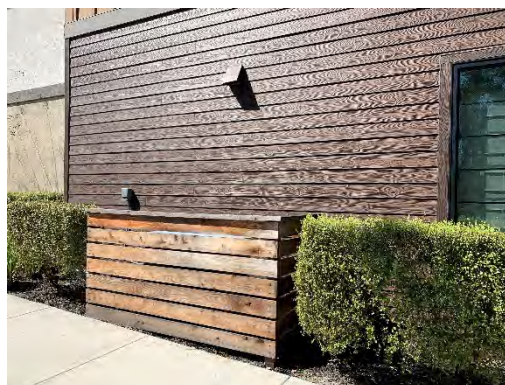
E. **Services and Utilities.** Unless otherwise specified, these standards apply to common areas and communal services and utilities; they do not apply to individual single-family homes.

1. **Location of Service Areas, Storage, Utilities, and Equipment.** All above-ground utilities and equipment (e.g., electric and gas meters, fire sprinkler valves, irrigation backflow prevention devices, etc.), service areas, and storage areas shall be integrated into building and landscape design and located to minimize impact on the pedestrian experience and neighboring properties by following the standards below (except as required by utility providers, building and fire codes):

- a. Utilities and equipment, service, and storage areas shall be located inside of buildings or on non-primary street frontages, alleys, parking areas, and/or at the rear or side of buildings and shall be fully screened from view per Section 1.2.1.E.2 (Service, Storage, Utility, and Equipment Screening) below.
- b. Utilities and equipment, service, and storage areas shall not be located within the front yard area of the lot or development site. Additionally, utilities and equipment, service, and storage areas shall not be located within setback areas, along mid-block pedestrian connections, within the public right-of-way, and/or within 25 feet of a street corner.

2. **Service, Storage, Utility, and Equipment Screening.** All common service and storage areas, utilities, and equipment not housed inside buildings shall meet the following screening standards:

- a. Screening shall be equal to or higher than the height of the equipment to be screened, unless specified otherwise—.
- b. Screening shall be made of a primary exterior finish material used on other portions of the building/residential units, architectural grade wood or masonry, metal, or landscape screening that forms an opaque barrier when planted.
- c. All vents, ~~flashing,~~ and electrical conduits, ~~etc.,~~ shall be painted to match the color of the adjacent surface.



Screened mechanical equipment and vents painted the same color as the adjacent building façade.

3. **Communal Refuse ~~and~~, Recycling, and Compost/Green Waste Collection Areas.**

- a. For development projects with communal refuse ~~and~~, recycling, and compost/green waste areas/containers, a communal ~~refuse~~ enclosure structure shall be provided that is adequate in capacity, number, and type of containers and collection areas shall be reviewed and approved by the local disposal service.
- b. Location and Screening of Communal Refuse ~~and~~, Recycling, and Compost/Green Waste Enclosures. Refuse collection areas shall be integrated into building and landscape design and

located to minimize impact on the pedestrian experience and neighboring properties by complying with the following the standards:

- i. Refuse collection areas are prohibited along primary frontages.
 - ii. Refuse collection areas shall be located inside of buildings or inside of covered enclosures located along alleys, in parking areas, or at the rear and side of buildings.
 - iii. Enclosures shall be adequate in height to fully screen containers and materials.
 - iv. Enclosures shall be opaque and made of a primary exterior finish material used on other portions of buildings, masonry, decorative block, or architectural grade wood, and may be accented with metal. Barbed wire and chain-link fencing are prohibited.
 - v. Enclosure doors shall not swing into any public right-of-way, driveway approaches, or drive aisles. In these cases, sliding doors may be used.
 - vi. Separate pedestrian access shall be provided to encourage the main gates to remain closed.
4. **Individual Refuse Containers.** Individual refuse, ~~and~~ recycling, and compost/green waste containers shall be stored in such a manner that containers are not visible to the public or create an odor or vector nuisance.

F. Open Space.

1. Common Open Space (if required and provided).

Common open spaces are shared and accessible only to residents and their visitors. Common open spaces may include courtyards, gardens, play areas, outdoor dining areas, and recreational amenities. Common open spaces shall meet the following standards:

- a. **Dimensions.** Minimum dimension of 20 feet in any direction. Courtyards enclosed on three sides shall have a minimum dimension of 30 feet in all directions. Courtyards enclosed on four sides shall have a minimum dimension of 40 feet and have a minimum courtyard width to building height ratio of 1.25:1.
- b. **Shading.** A maximum of 50 percent of the common open space square footage may be covered by a shading device or roof structure.
- c. **Landscaping.** A minimum of 20 percent of the open space area shall be planted with trees, ground cover, and/or shrubs. A minimum of one tree shall be planted per 600 square feet of the common outdoor space area (aggregated across all common outdoor space areas).
- d. **Slopes.** Slopes shall not exceed 5 percent.
- e. **Amenities.** Common open space shall provide recreational amenities which may include but are not limited to a swimming pool; spa; clubhouse; tot lot with play equipment; picnic shelter – barbecue area; sports facilities; exercise equipment; dog park; or day care facilities. The number of amenities shall be provided pursuant to Table 1 (Required Open Space Amenities). When more than one amenity is required, a variety of amenity types shall be provided.



Common courtyard space

Table 1. Required Open Space Amenities

Number of Units	Number of Open Space Amenities
0 - 8	0
8 - 25	1
26 - 50	2
51 - 100	3
101 - 200 *	4

**Add ~~1~~one amenity for each 100 additional units or fraction thereof.*

2. **Private Open Space.** Private open space areas are intended for private use for each dwelling unit and may include balconies (covered or uncovered), private gardens, private yards, terraces, decks, and porches, among others. Private open spaces shall meet the following standards:
 - a. Be directly accessible from a residential unit;
 - b. Minimum Dimensions:
 - i. Private yards: Minimum 15 feet in any direction.
 - ii. Ground-floor private outdoor space (e.g., terrace): Minimum 10 feet in at least one direction.
 - iii. Upper-floor private outdoor space (e.g., balconies): Minimum six feet in any direction.
 - c. Minimum clear height dimension of eight feet, measured from the ground-level floor or decking.
 - d. May be covered but cannot be fully enclosed (i.e., at least one side must be open to the air).

1.2.2 Building Design

A. Facade Modulation and Articulation.

1. **Modulation.** Residential units shall employ at least two of the following building modulation strategies:
 - a. Varied roof forms, including but not limited to changes in roof height, offsets, change in direction of roof slope, dormers, parapets, etc.;
 - b. Use of balconies, front porches, overhangs, or covered patios; and/or,
 - c. Projections, offsets, and/or recesses of the building wall at least two feet in depth, such as bay windows.



Varied roof forms with change in direction of roof slope, facade projections, and large bay windows.



Balcony and covered front porch entry.

2. **Articulation.** All building elevations that face a street or a shared driveway shall employ varied facade articulation of wall surfaces. Facades shall incorporate at least three of the following features, consistent with the design style, which provide articulation and design interest:
 - a. Variation in texture or material, provided all exterior wall textures and materials are consistent with the overall architectural style of the dwelling;
 - b. Building base (typically bottom three feet) that is faced with a stone or brick material, or is delineated with a channel or projection;
 - c. Railings with a design pattern and materials such as wood, metal, or stone which reinforces the architectural style of the building;
 - d. Decorative trim elements that add detail and articulation, such as door surrounds with at least a two-inch depth, decorative eave detailing, belt courses, etc.;
 - e. Decorative window elements such as, lintels, shutters, window boxes, etc.; and/or,
 - f. Roof overhangs at least 18 inches deep.



Variation in materials and textures.



Decorative eave detailing, window lintels, and window boxes.

- B. **Architectural Facade Variability.** The following standard applies to detached single-family residential development. For all developments involving four or more contiguous lots, there shall be multiple "distinctly different" front facade designs. No more than two houses shall be of the same front facade design as any other house directly adjacent along the same block face and side of the street. Mirror images of the same configuration do not meet the intent of "distinctly different." "Distinctly different" shall mean that a single-family dwelling's elevation must differ from other house elevations in the following (see standard in Section 1.2.2.A (Facade Modulation and Articulation) above):
- Number of stories (optional);
 - Modulation strategies - **at least one.** The facade designs must vary in **at least one** of the two modulation strategies used on the building (per standard 1.2.2.A.1 (Modulation));
 - Articulation strategies - **at least one.** The facade designs must vary in **at least one** of the three articulation strategies used on the building (per standard 1.2.2.A.2 (Articulation)); and,
 - Variation in materials - different material palette, with a different primary material.
- The number of required different front facade designs shall be in accordance with Table 2 (Architectural Variability).

Table 2. Architectural Variability

Total number of Dwelling Units	Minimum Number of Facade Designs
6 – 12	2
13 - 20	3
21 – 40	4
41 – 60	5
>60	6

- C. **Side and Rear Elevations.** Side and rear facades facing a street or courtyard/open space shall be articulated per the standard in Section 1.2.2.A.2 (Articulation). All other side and rear facades shall include details which are compatible with those on the front facade, with similar types and treatments of roofs, windows, shutters, and other architectural elements.

D. **Building Entries.**

1. **Orientation.**

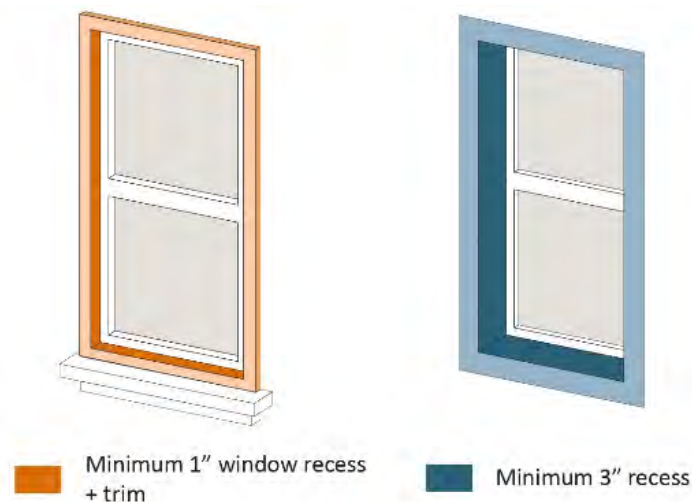
- Dwelling units that abut a public right-of-way shall orient the primary entryway toward the public street. Deviations from this requirement may be approved by the Director for projects where the project site is located on [aan](#) arterial or higher classification of four lanes or wider, provided the facade facing the public street is designed with similar details and treatments to those of the front facade.
- Dwelling units located in the interior of a development shall orient the primary entryway toward and be visible from a private street, pedestrian pathway, or courtyard/common open space that is connected to a public right-of-way or private street.
- Weather Protection. Primary entries shall have a roofed projection (such as a porch) or recess that is a minimum four feet wide and four feet deep by recessing the entry; or using a combination of these methods (not including primary roof overhang).



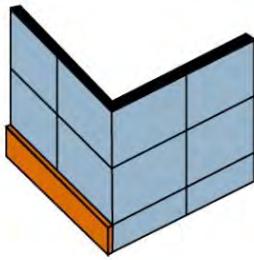
Porch entry provides weather protection.

- E. **Corner Side Units.** Any end unit where the side facade faces the public right-of-way, private street, or publicly-accessible pathway is considered a Corner Side Unit and shall meet the following standards:
1. The Corner Side Unit building facade shall have a glazing area greater than or equal to 15 percent of the facade area.
 2. The Corner Side Unit facade shall have at least one architectural projection that projects a minimum of 18 inches from the street facing facade (e.g., bay windows on the exterior of the house, canopies/screening devices, etc.) with a minimum width of two feet.
- F. **Building Roofs.**
1. **Roof Form.** Primary roof forms shall be gable, hipped, flat, or shed. [Curved roof forms are also permitted.](#)
 2. **Gable-Eave Overhangs.** All residential structures [with sloping roofs](#) shall have eave ~~and gable~~ overhangs of not less than 12 inches measured from the vertical side of the residential structure, unless overhangs are incompatible with the architectural style of the structure per the Style Guidelines in Appendix A (Architectural Style Guide).
- G. **Window Recess/Trim.** Windows shall be recessed at least three inches from the plane of the surrounding exterior wall, or shall provide a combination of trim and recess with a minimum one-inch recess.

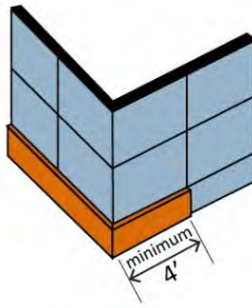
Figure 1. Window Recess/Trim



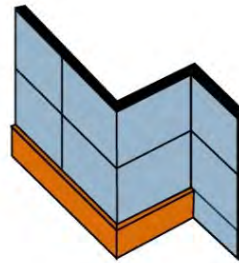
- H. **Colors and Materials.**
1. **Variation in Materials.** At least two materials shall be used on any building frontage, in addition to glazing and railings. Any one material must comprise at least 20% of the building frontage, excluding windows, railings, and trim.
 2. **Material Changes at Corners.** A change in material shall be offset by a minimum of two inches in depth. Materials shall continue around corners for a minimum distance of four feet. If feasible, the same material should continue to the next change in the wall plane.

Figure 2. Material Changes at Corners

PROHIBITED
Change of material at corner



REQUIRED
Continue material around corner
for a minimum of 4 feet



ENCOURAGED
Continue material around corner
to a change in wall plane

3. **Durable Materials.** Buildings shall incorporate durable finish and/or accent materials, which include masonry, tile, stone, stucco, architectural grade wood, brick, glass, and finished metal that will not rust. Wrought iron shall not be allowed. Materials should be appropriate to Marina's coastal climate.
4. **Building Component Colors.** All vents, ~~flashing~~, and electrical conduits shall be painted the same color as the adjacent surface.

1.3 Multi-Family Residential and Residential Mixed-Use (3+ stories)

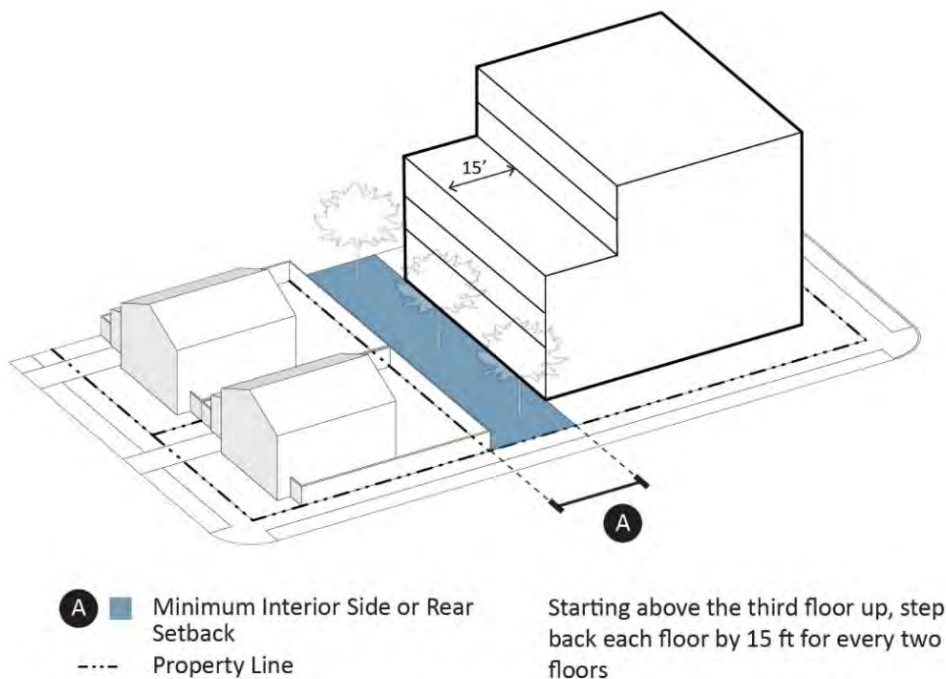
This section applies to attached multi-family building types three stories and higher, including courtyard housing, low-rise and mid-rise multi-family stacked dwellings, and both horizontal and vertical mixed-use developments (residential units stacked above ground-floor commercial).

1.3.1 Site Design

A. Neighborhood Transitions and Privacy.

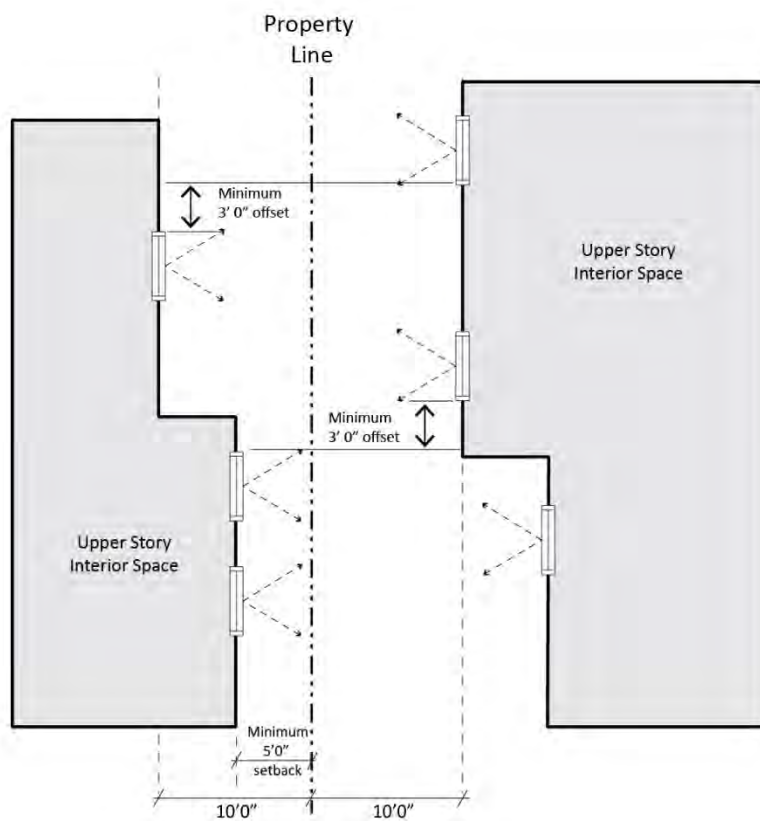
1. **Transition to Lower Density Building Types.** When a building has a rear and/or interior side property line abutting a single-family residential zoned parcel, starting above the third floor, each subsequent floor shall be stepped back by 15 feet for every two floors.

Figure 3. Transitions to Lower Density Building Types.



- 2. Window Placement.** When a new building is located within 10 feet of a side property line, windows on the building shall be oriented to avoid a direct line of site into adjacent residential buildings or property. Windows shall be offset a minimum of three feet horizontally from windows of the nearest residential building on the adjacent property to maximize privacy.

Figure 4. Window Placement Standard for Upper Stories



- 2.3. Upper-Story Balconies.** Upper-story balconies shall be offset a minimum of 10 feet opposite windows of adjacent single-family residences.

- 3.4. Landscape Buffer.** A landscaped planter strip at least five feet in width shall be provided along the abutting interior property lines between the development and any adjoining single-family residential units or single-family residential zoning district boundaries (except within the required front setback of the applicable zone). Trees shall be planted within this area every 20 to 40 feet on center (with a five-foot gap between canopies), depending on the tree species and canopy at maturity, to provide screening between the development and the adjacent single-family residential uses. For example, a tree species with a 30-foot canopy at maturity shall be planted 35 feet on center.

B. Access and Connectivity.

1. **Smaller Blocks and New Connections.** For new projects (development sites) over five acres in size, new developments or projects shall create smaller blocks and new connections such that no block shall be greater than 400 feet in length without a publicly-accessible path or street through the site connecting from one public right-of-way to another public right-of-way or turn around point. Alleys do not count as connecting streets or publicly-accessible paths.
2. **External Connectivity.** All new streets in any development site shall connect to and be aligned to existing and planned streets outside the proposed development to the extent feasible. All internal pedestrian and bike pathways in any development site shall connect to existing and planned public sidewalks, bike paths, and open spaces outside the proposed development. Wherever possible, new streets shall:
 - a. Align with existing street intersections.
 - b. Be located and aligned to allow for future direct connections to other streets.
3. **Dead-End Streets.** Any dead-end street longer than 400 feet shall be connected to other streets by a pedestrian path.
4. **Driveways and Curb Cuts.** The following standard applies only to new development.
 - a. Driveways shall be a minimum of 100 feet from any street intersection. For parcels less than 100 feet wide, driveways shall be located along the lot line farthest from the intersection.
 - b. Each development project site shall be limited to one curb cut, including driveways and private/service streets, per 400 feet of public street frontage, or for parcels less than 400 feet long, one curb cut per street frontage (unless otherwise required for emergency vehicle access).
5. **Parking Access Hierarchy.** Parking and service area access shall be provided from the following, in order of preference:
 - a. From an alley;
 - b. In the absence of an existing or proposed alley, access shall be from a driveway shared with a property abutting the development site;
 - c. In the absence of an alley or shared driveway, access shall be from the street with the lower classification in the General Plan. If a site fronts on two public streets of equal classification, access shall be from the secondary street side frontage, not the primary (front) frontage;
 - d. In the absence of a side street, from a curb cut/driveway along the primary street frontage.
6. **Multi-Modal Site Access.** Pedestrian and bike connections shall connect to existing and proposed public sidewalks, streets, transit stops, open spaces, bike paths, bicycle parking areas, and automobile parking areas adjacent to the project site.
 - a. For projects with multiple buildings and/or buildings internal to the site, a pathway(s) through the interior of the site shall connect buildings to each other. A pedestrian pathway or multi-use path (pedestrian and/or bicycle) between buildings or through parking lots from the public sidewalk to the interior of the site shall be provided for every 400 feet of a project's frontage.
 - b. For buildings along the street frontage, a pedestrian pathway shall connect the primary building entry(ies) to the public sidewalk on each street frontage.
 - c. Pathways shall be provided to connect bicycle parking areas to the building entrance(s) and the sidewalk.
 - d. Internal pedestrian pathways shall be a minimum of ~~four~~ five feet wide. All pathways will be designed to be ADA-compliant.

- e. Where provided, multi-use paths shall be a minimum of 12 feet wide, with an eight-foot clear path and two-foot shoulder on each side, within a public access easement.
- 7. **Pedestrian Circulation Materials.** Where pedestrian circulation crosses vehicular routes, a change in grade, materials, textures, or colors shall be provided to emphasize the conflict point and improve visibility and safety.

C. Services and Utilities.

1. **Location of Above-ground Utilities, Storage, and Service Areas.** All above-ground utility equipment (e.g., electric and gas meters, fire sprinkler valves, irrigation backflow prevention devices, etc.), service areas, and storage areas shall be integrated into building and landscape design and located to minimize impact on the pedestrian experience and neighboring properties by following the standards below (except as required by utility providers, building and fire codes):
 - a. Utilities and equipment, service, storage, and non-passenger loading areas shall be located inside of buildings or on non-primary street frontages, alleys, parking areas, and/or at the rear or side of buildings and shall be fully screened from view per Section 1.3.1.C.2 (Screening of Above-Ground Utilities, Storage and Service Areas) below.
 - b. Utilities and equipment, service, storage, and non-passenger loading areas shall not be located within the front or street side setback area of the lot or development site. Additionally, utilities and equipment, service, storage, and non-passenger loading areas for multi-family and mixed-use developments shall not be located along mid-block pedestrian connections and/or within 25 feet of a street corner.
2. **Screening of Above-Ground Utilities, Storage and Service Areas.** All service and storage areas, utilities, and equipment not housed inside buildings shall meet the following screening standards:
 - a. Screening shall be equal to or higher than the height of the equipment to be screened, unless specified otherwise.
 - b. Screening shall be made of a primary exterior finish material used on other portions of the building(s), architectural grade wood or masonry, metal, or landscape screening that forms an opaque barrier when planted.
 - c. All vents, flashing, electrical conduits, etc., shall be painted to match the color of the adjacent surface.
3. **Rooftop Equipment.** Rooftop elements on multi-family and mixed-use buildings, including roof access, mechanical equipment, and other features needed for the function of the building, shall be located to minimize visual impact by meeting the following requirements. Mechanical equipment less than two feet in height, solar panels, wind generators, or green roof features shall be exempt from these requirements.
 - a. Mechanical equipment shall be set back a minimum of 10 feet from the roof edge or screened through the use of parapet walls, towers, or other architectural features such that it is not visible from any point at or below the roof level of the subject building (see Section 1.3.1.C.2 (Screening of Above-Ground Utilities, Storage and Service Areas)).
 - b. If equipment ~~will be~~ is visible from adjacent taller buildings or from higher grades, it shall be painted to match the rooftop in color and should be grouped together where practical.
4. **Communal Refuse, ~~and~~ Recycling, ~~and~~ Compost/Green Waste Collection Areas.**
 - a. For development projects with communal refuse ~~and~~, recycling, ~~and~~ compost/green waste areas/containers, a communal refuse room or enclosure structure shall be provided that is adequate in capacity, number, and distribution to accommodate all waste generation of the

site. The number [and type](#) of containers and collection areas shall be reviewed and approved by the local disposal service.

b. **Location and Screening of Communal Refuse, ~~and Recycling, and Compost/Green Waste~~ Enclosures.**

Refuse ~~and~~ recycling, [and compost/green waste](#) collection areas shall be integrated into building and landscape design and located to minimize impact on the pedestrian experience and neighboring properties by complying with the following the standards:

- i. Refuse collection areas shall be prohibited along front or street side frontages, or in any required parking spaces, required landscape areas, and open space areas.
- ii. Refuse collection areas shall be located inside of buildings or inside of covered enclosures located along alleys, in parking areas, or at the rear and side of buildings.
- iii. Refuse [and recycling](#) collection areas, to the extent possible, shall be located as far as possible from the residential portion of mixed-use buildings and open space areas.
- iv. Enclosures shall be adequate in height to fully screen containers and materials.
- v. Enclosures shall be opaque and made of a primary exterior finish material(s) used on other portions of buildings, masonry, decorative block, or architectural grade wood, and may be accented with metal. Barbed wire and chain-link fencing are prohibited.
- vi. Enclosure doors shall not swing into any public right-of-way, driveway approaches, or drive aisles. In these cases, sliding doors may be used.
- vii. Separate pedestrian access shall be provided to encourage [the](#) main gates to remain closed.



Refuse enclosure matches style and materials used on primary building(s)

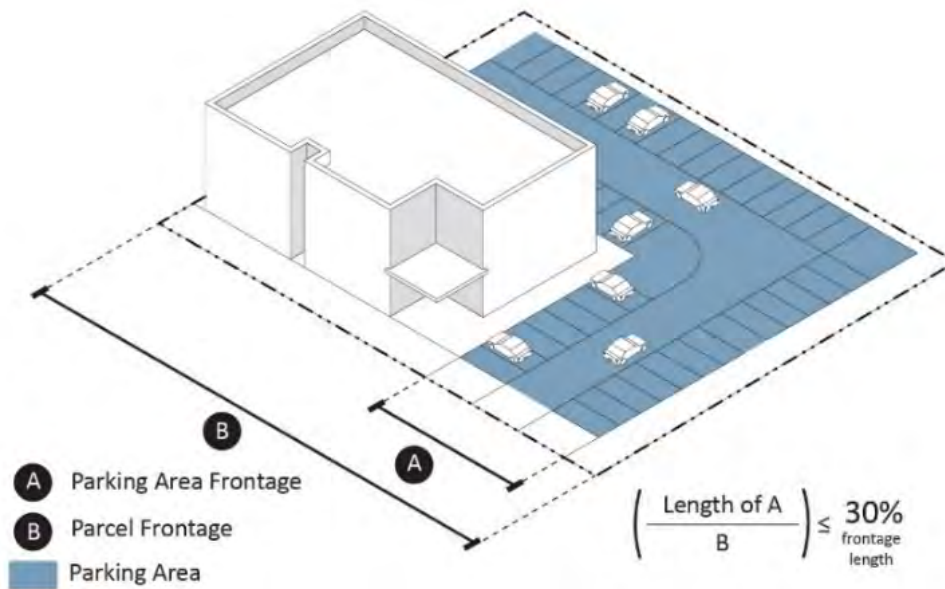
5. **Individual Refuse Containers.** [Individual refuse, recycling, and compost/green waste containers shall be stored in such a manner that containers are not visible to the public or create an odor or vector nuisance.](#)

D. Parking.

See MMC Chapter 17.44 (Parking Requirements) for minimum parking requirements. Additional parking development standards, including minimum stall dimensions, can be found in the City of Marina Design Guidelines and Standards.

1. **Parking Location and Frontage.** This standard applies to new development. To strengthen the presence of buildings on the street, vehicle access, loading, service, and off-street parking shall comply with the following standards:
 - a. Off-Street parking and vehicular circulation areas are prohibited in the front and street side setback, except for driveway access.
 - b. Off-street parking for multi-family and residential mixed-use development shall be located underground or in surface lots or parking structures to the rear or side of buildings.

No more than 30 percent of the primary street frontage shall be occupied by surface parking. If a site has more than one frontage, the parking [area](#) shall not be located along the primary frontage. This limitation does not apply to frontages along alleys.

Figure 4-Figure 5. Maximum Parking Frontage

2. **Pedestrian Routes through Surface Parking Areas.** Multi-family residential developments of five or more units shall provide pedestrian access that is separate and distinct from driveways. Parking areas for mixed-use developments with 25 or more parking spaces shall have distinct and dedicated pedestrian access to building entries and public sidewalks, according to the following standards:
 - a. **Connection to Public Sidewalk.** An on-site pathway shall connect surface parking areas to building entries and to the public sidewalk.
 - b. **Separation from On-site Buildings.** Parking areas designed to accommodate five or more vehicles shall be separated from the exterior walls of on-site buildings by pathways, or landscaping a minimum of four feet in width.
 - c. **Frequency of Routes through Parking Areas.** Pathways running parallel to the parking rows shall be provided for every four rows.
 - d. **Materials and Width.** Pathways shall be physically separated from travel lanes, shall be hard-surfaced, and shall be a minimum of four feet in width.
 - e. **Signage.** Parking entrances and exits shall be clearly marked with signage. These signs shall be treated as directional signs (see Chapter 17.46 (Signs) of the MMC).
 - f. **Separation and Distinction.** Where pedestrian circulation crosses vehicular routes, a change in materials, textures, colors, and/or grade shall be used to emphasize the conflict point and improve visibility and safety.

3. **Parking Structure Design and Screening.** New structured parking shall be designed to meet the following standards:

- a. **Ground Level.** Except for garage entrances, any ground floor parking level facing a public right-of-way or publicly-accessible open space or path (including partially subgrade parking visible above grade) shall:
 - i. Be lined/wrapped with residential or commercial uses (where allowed by zoning) with a minimum depth of 20 feet or the required active frontage depth for that location (whichever is greater); or,
 - ii. Be designed and treated with the same level of detail, material quality, and facade articulation as other facade areas and/or screened with landscape screening (e.g., shrubs, landscaped trellises) and/or crafted ornamental metal screens. No more than 30 percent of the primary street frontage shall be occupied by the parking structure and any entrances.



Facade articulation hides parking structure.



Ornamental screening.

- b. **Upper Levels.** Parking levels above the ground level may extend to the building facade but shall be designed and treated with the same level of detail, material quality, and facade articulation as other facade areas (e.g., facade articulation and modulation, use of real windows with glazing or false windows defined by frames, lintels, or sills). No more than two upper levels of parking shall extend to the building facade.
4. **Surface Parking Screening.** All surface parking areas designed to accommodate five or more vehicles shall be screened from view from public streets, publicly-accessible open spaces, and adjacent lots in a more restrictive zone, according to the following standards:
- a. **Height.** The maximum height of a fence or wall along street frontages and walkways/sidewalks shall be no taller than three feet when used to screen the parking lot. Alley frontages are exempt from this standard. Screening of parking lots along interior lot lines that abut residential zones shall be six feet in height, except within the required front setback of the applicable zone, where screening shall be three feet in height.
 - b. **Fences and Walls.** Screening shall consist of one the following:
 - i. **Walls.** Walls consisting of brick, stone, concrete, stucco, or other quality durable material approved by the Director (see MMC Section 17.42.060 (Height) for height standards). Plain concrete blocks are not allowed as a screening wall material unless capped and finished with stucco or other material approved by the Director.
 - ii. **Fences.** An open fence of manufactured wood, wrought iron, steel, or similar material combined with plant materials to form an opaque screen. Barbed wire and chain-link fencing are prohibited.
 - c. **Planting.** In addition to a fence or wall, screening shall be landscaped with plant materials consisting of closely spaced plants that form an opaque screen. Such plant materials must [be of a minimum size at time of installation to achieve a minimum height of two feet within 18 to 24 months after initial installation. Size considerations should include soil type and specific micro-climate issues. All plantings and](#) must be permanently irrigated and maintained.

E. Lighting.

Refer to Appendix B and the City of Marina Design Guidelines and Standards for lighting plan requirements.

1. Pedestrian-Oriented Lighting. Pedestrian-oriented lighting shall be placed along pedestrian pathways, multi-use pathways and other walkways at minimum intervals of every 40 feet to improve pedestrian comfort, security, and safety.

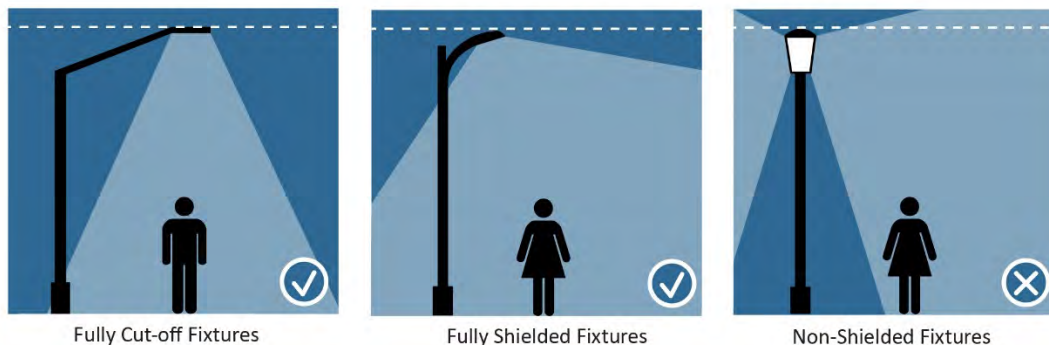
1.2. Fixture Height. Fixture mounting height shall be appropriate for the project and the setting, as follows:

- Abutting Single-Family Residential Homes or Zones.** The maximum height of freestanding outdoor light fixtures abutting single-family residential zones is 12 feet within 15 feet of the shared property line.
- Pedestrian Areas.** The maximum height of pedestrian-scale light fixtures for pathways, private outdoor space, publicly-accessible outdoor space, and other areas of high pedestrian activity is 12 feet.
- Parking Lots.** The maximum height for freestanding outdoor light fixtures in parking lots shall be 16 feet.
- All Other Locations.** In all other locations, the maximum height for freestanding outdoor light fixtures shall be 16 feet.

2.3. Lighting Intensity: Outdoor lighting shall not exceed 1,000 lumens in intensity.

3.4. Light Trespass. All lights shall be directed, oriented, and shielded to prevent light trespass or glare onto adjacent properties. All luminaires shall meet the most recently adopted criteria of the Illuminating Engineering Society of North America (IESNA) for "Cut Off" or "Full Cut Off" luminaires.

Figure 5-Figure 6. Light Trespass



4.5. Attachment. Lighting fixtures on buildings shall be attached only to walls or eaves, and the top of the fixture shall not exceed the height of the parapet, roof, or eave of the roof.

5.6. Color/Temperature. General site and parking lot lighting shall have a nominal correlated color temperature (CCT) of no greater than 3000 Kelvin. Cooler/whiter lighting above 3000 Kelvin in CCT shall be limited to areas where a more accurate color rendition is important, including building entrances and exits (for security reasons), and lighting of signs.

F. Trees and Landscaping.

All landscaping shall comply with MMC Section 8.04.310 (Model water efficient landscaping ordinance requirements) and the Landscape and Irrigation Plan [submittal](#) requirements in [Appendix B](#), and per the City of Marina Design Guidelines and Standards. In addition, the following standards shall apply.

1. **New Street and Pathway Landscaping.** All new streets and pathways within the project shall provide a combination of trees and other plants in a minimum of four-foot-wide planting strip. Trees shall be planted at a minimum of one tree for every 30 to 45 feet of linear street/path (depending on the species and mature canopy width or growth habit). Shrubs and groundcover shall cover at least 30 percent of the planting strip.
2. **Front Setback Landscaping.** See front setback landscape requirements by use, as specified in Sections 1.3.2.K through 1.3.2.M.
3. **Tree Preservation.** Existing mature trees of [six](#) inches or greater in diameter at breast height (DBH) [should shall](#) be preserved [to the extent unless in](#)feasible. Existing trees having a DBH of less than six inches should be relocated [if possible unless in](#)feasible.
4. **Location of Trees.** Trees planted within five feet of a street, sidewalk, paved trail, parking area, or walkway shall be a deep-rooted species or shall be separated from hardscape areas by a root barrier to prevent physical damage to public improvements. Trees planted within the street rights-of-way, utility easements, or within 10 feet of any public improvement shall be submitted to and approved by the Marina Public Works Department. Such approvals may be dependent upon the selection of alternate tree species, the relocation of trees further back from public improvements or the installation of root guards. Also, the location of trees shall not conflict with the location of any private sewer laterals or any private water connections. [—](#).
5. **Plant Size and Spacing.**
 - a. **Shrub Size.** All proposed shrubs shall be a minimum five-gallons in size, with a 15-gallon minimum size when required for screening. The minimum planter width for shrubs is two feet.
 - b. **Tree Size.** The minimum planting size for trees shall be 15-gallon, with 50 percent of all trees on a project site planted at a minimum 24-inch box size. Trees required for screening shall be a minimum 24-inch box size. The minimum planter width for trees shall be four feet.
 - c. **Spacing.** The spacing of trees, shrubs, and ground cover plants shall accommodate mature planting size. Where required for screening, spacing shall form an opaque barrier when planted.
6. **Tree Species.** Trees shall be selected from the City of Marina's Recommended List of Preferred Trees, as may be amended from time to time (see the City of Marina Design Guidelines and Standards document for the List of Preferred Trees). Native and drought-tolerant tree species are strongly encouraged.
7. **Drought-Tolerant Landscaping.**
 - a. A minimum of 65 percent of the total of all landscaped areas shall be landscaped with drought-tolerant plant material requiring minimal irrigation once established, and shall be irrigated separately from any areas which have higher water demands. [Native species are strongly encouraged.](#)
 - b. A maximum of 35 percent of the total of all landscaped areas may be planted or installed with plant material which may require more extensive irrigation once established, including up to a maximum of 25 percent of said total which may be turf. [—](#). The above 35 percent and 25 percent limitations may be exceeded to allow for increased turf areas associated with high-activity areas or uses such as golf courses, recreation areas, parks, and pet parks. Turf is not allowed in median strips.

8. Turf.

- a. The use of natural turf is discouraged except for recreation areas and high activity/foot-traffic areas.
- b. Turf shall not be installed on slopes exceeding 4:1 ratio.

9. Artificial turf. Artificial turf shall be limited to accent areas, high activity/foot traffic areas, and recreational areas. Where artificial turf is installed, it shall be designed as follows:

- a. Artificial turf shall be kept a minimum of five feet away from tree root crowns (measured in all directions).
- b. Artificial turf used for pet areas shall be specifically formulated for that purpose.
- c. A proper drainage system shall be installed underneath to prevent excess runoff or pooling of water.

10. Soil and Mulch.

- a. Native soil in all planting areas shall be amended to a minimum depth of six inches with a minimum of 40 percent organic material. Native soil under portions of planting areas, which are covered exclusively by rocks, gravel, or other non-living landscaping material, need not be so amended.
- b. A minimum of two inches of organic mulch (wood chips, shredded bark, etc.) shall be installed in all non-turf areas unless a ground cover planting is specified.

11. Irrigation. Turf areas or other higher water use plantings shall be grouped and irrigated separately from more drought-tolerant planting areas.**12. Tree Removal.** See MMC Chapter 17.62 (Tree Removal, Preservation and Protection) for tree removal regulations.**13. Maintenance.** All landscaping will be maintained and replaced as needed. In addition, tree pruning shall be a part of regular maintenance and shall be performed by a licensed California landscape contractor in accordance with International Society of Arboriculture (ISA) standards. Severe trimming, pruning, or other maintenance that results in significant alteration of the natural shape of a tree or modification of the central leader (including "lollipoping," "heading," or similar techniques) is prohibited, except in conjunction with public utility maintenance.**G. Open Space.**

See Title 17 (Zoning) of the MMC for open space requirements by zone.

- 1. **Common Open Space.** Common open spaces are shared and accessible only to building residents and their visitors. They can be located at the ground level, on parking podiums, or on rooftops, provided they are adequately landscaped. Common open spaces may include courtyards, gardens, play areas, outdoor dining areas, recreational amenities, rooftop amenities, and community rooms, among others. Required setback areas with a dimension less than 20 feet shall not be counted toward common open space requirements. Up to 30 percent of the required common open space may be provided as publicly-accessible open space (see Section



Common open space with landscaping and shading

1.3.1.G.4 (Publicly-Accessible Private Open Space (PAPOS)). Common open spaces shall meet the following standards:

- a. **Dimensions.** Minimum dimension of 20 feet in any direction. Courtyards enclosed on three sides shall have a minimum dimension of 30 feet in all directions. Courtyards enclosed on four sides shall have a minimum dimension of 40 feet and have a minimum courtyard width to building height ratio of 1.25:1.
- b. **Shading.** A maximum of 50 percent of the common open space square footage may be covered by a shading device or roof structure.
- c. **Seating.** The open space shall include seating (e.g., benches, planter seats, etc.)
- d. **Landscaping.** A minimum of 20 percent of the open space area shall be planted with trees, ground cover, and/or shrubs, or provided via planters. A minimum of one tree shall be planted per 600 square feet of the common outdoor space area (aggregated across all common outdoor space areas).
- e. **Slopes.** Slopes shall not exceed 5 percent.

Example Open Space Calculations:

The following provides the open space calculations for an example multi-family project of 100 units in the R-4 zone. See Title 17 (Zoning) of the MMC for open space requirements by zone.

Total Open Space Required:

75 2-bedroom units * 400 sf/unit = 30,000 sf

25 1-bedroom units * 350 sf/unit = 8,750

Total = 38,750 sf of total open space

Minimum Private Open Space Required:

25 ground-floor units * 80 sf/unit = 2,000 sf

75 upper-floor units * 40 sf/unit = 3,000 sf

Total = 5,000 sf of private open space

Common Open Space:

38,750 sf – 5,000 sf = 33,750 sf *Total common open space*

Up to 30% or 10,125 sf (33,750 sf * 0.3) may be provided as publicly-accessible private open space.

2. **Common Open Space Amenities.** All multi-family and residential mixed-use developments with five or more dwelling units shall provide recreational amenities within the site which may include but are not limited to a swimming pool; spa; clubhouse; tot lot with play equipment; picnic shelter/barbecue area; sports facilities; exercise equipment; or day care facilities. The number of amenities shall be provided pursuant to Table 3 (Required Open Space Amenities). When more than one amenity is required, a variety of amenity types shall be provided.

Table 3. Required Open Space Amenities

Number of Units	Number of Open Space Amenities
0-4	0
5-20	1
21-50	2
51-100	3
101-200	4
201-300 *	5

**Add 1one amenity for each 100 additional units or fraction thereof.*

3. **Private Open Space.** Private open space areas are intended for private use for each dwelling unit and may include balconies (covered or uncovered), private yards, terraces, decks, and porches, among others. Private open spaces shall meet the following standards:
 - a. Shall be directly accessible from a residential unit;
 - b. Minimum Dimensions:
 - i. Private yards: Minimum 15 feet in any direction.
 - ii. Ground-floor private outdoor space (e.g., terrace): Minimum 10 feet in at least one direction.
 - iii. Upper-floor private outdoor space (e.g., balconies): Minimum five feet in any direction.
 - c. Minimum clear height dimension of eight feet, measured from the ground-level floor or decking.
 - d. Balcony railings-enclosures shall be solid/opaque where one facing front or street side property lines. Balcony railings-enclosures facing interior open space areas may be transparent/semi-transparent.

4. **Publicly-Accessible Private Open Space (PAPOS).** This section applies to publicly-accessible private open spaces (PAPOS), when provided. If provided, it may count towards up to 30 percent of the required common open space for a project. Publicly-accessible open space may include: plazas, courtyards, seating areas, parklets, play areas, recreational facilities or equipment, dog parks, and usable green space, among others.
 - a. **PAPOS Design and Dimensions.** PAPOS shall be designed to create usable open space for public use. PAPOS shall meet the following standards:
 - i. Minimum dimension of 20 feet in one direction with a minimum of 15 feet in any other direction. Minimum total area of 400 square feet-.
 - ii. A maximum of 40 percent of the open space may be covered.
 - iii. A minimum of 20 percent of the open space area shall be planted with ground cover and/or



Publicly-accessible plaza



Publicly-accessible green space

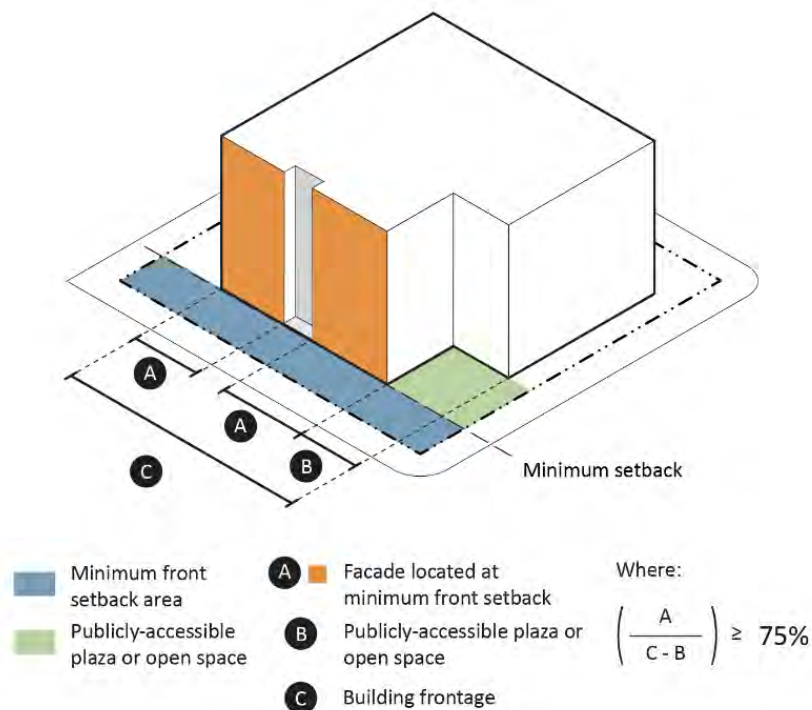
shrubs. A minimum of one tree shall be planted per 400 square feet of the open space area.

- iv. The space shall be publicly accessible ~~for a minimum of 12 consecutive hours per day during daylight hours (sunrise to sunset).~~ An access easement shall be recorded with the County Recorder to ensure public access.
 - v. The space shall be directly accessible from a public right-of-way or from a publicly-accessible lobby; or if the PAPOS is not directly accessible and visible from a public right-of-way, clear signage shall be visible from the public right-of-way directing users to the PAPOS as well as identifying the PAPOS, open space type, hours of access, and amenities.
- b. **PAPOS Amenities.** PAPOS shall include seating options (e.g., seat walls, planter ledges, benches, picnic tables, and seating steps) and shade structures ((e.g., awnings, trellises, umbrellas), and at least one of the following amenities and features: water features, public art, drinking fountains, public restrooms.

1.3.2 Building Design.

- A. **Building Frontage Location.** At minimum, 75 percent of the building facade shall be located at the minimum setback line. Up to 25 percent of the building facade may be located behind the minimum setback to allow for massing breaks, forecourts, plazas, etc. Publicly-accessible plazas/open spaces may be subtracted from the overall facade length to calculate the minimum percentage of building facade to be located at the minimum setback line. Sites with slopes greater than 20 percent shall be exempt from this standard.

Figure 6-Figure 7. Building Frontage Location.



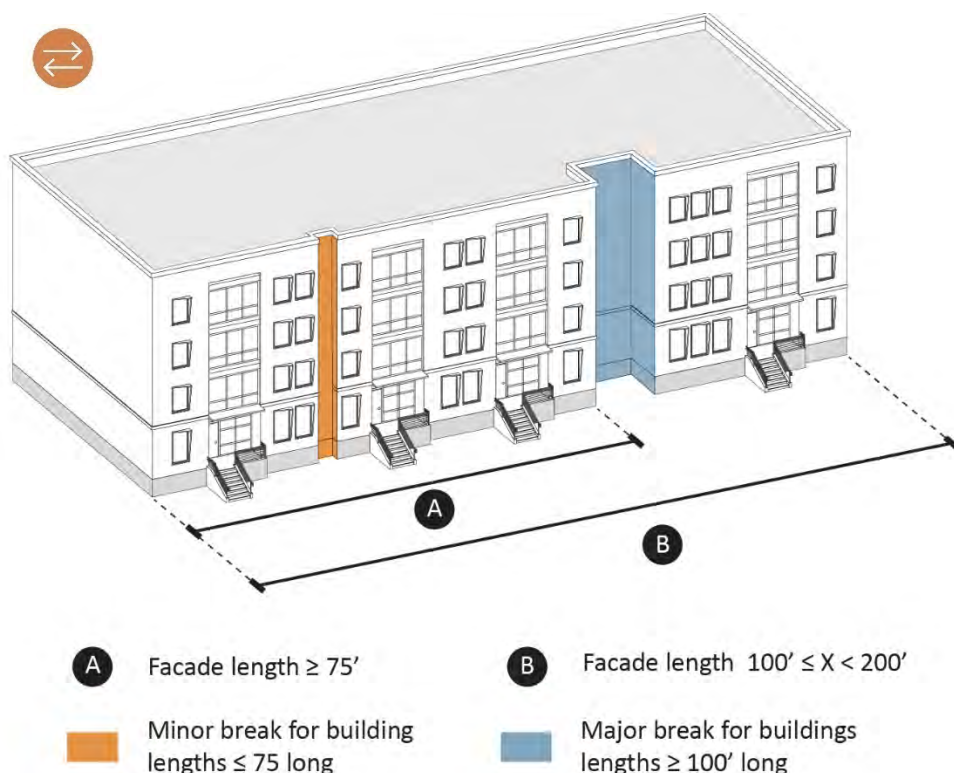
- B. **Maximum Building Length.** Buildings shall not exceed 300 feet in length or width.
- C. **Modulation.**
1. **Major Massing Breaks.** Buildings three stories and taller in height shall have major massing breaks as follows:
 - a. Buildings with primary building facades greater than or equal to 100 feet in length shall provide at minimum one major massing break. Major massing breaks shall be a minimum depth of eight feet and a minimum width of 10 feet and shall extend the full height of the building including a break in the roofline.
 - b. Buildings with primary building facades greater than 200 feet in length shall provide at least two major massing breaks, with one major break with a minimum depth of 10 feet and minimum width of 20 feet (the other break may be at the smaller size - minimum depth of five feet and a minimum width of 10 feet).

2. **Minor Massing Breaks.** All continuous building facades greater than or equal to 75 feet in length shall have at least one minor massing break (vertical shift modulation). Minor breaks shall be a minimum of two feet deep and five feet wide and extend at minimum the full height of the building above the ground floor, including a break in the roofline.



Minor massing breaks at regular intervals

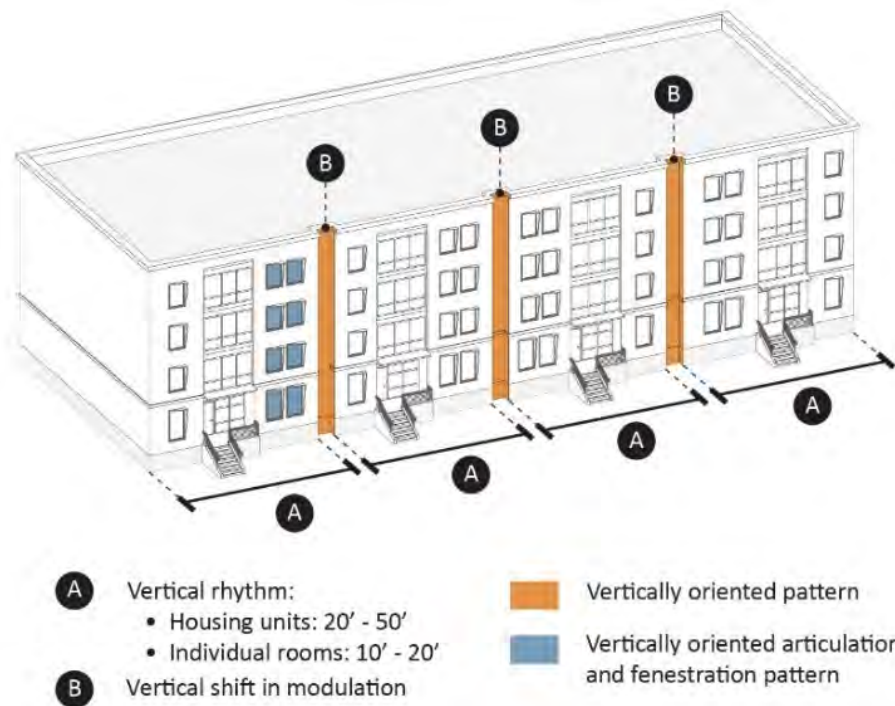
Figure 7. Figure 8. Modulation.



- D. **Facade Rhythm and Pattern.** Multi-family residential and residential mixed-use buildings shall express a rhythm and pattern of lines, shapes, forms and/or colors that reflects the size and scale of a housing unit and/or individual rooms and spaces. This may be achieved with building modulation to create vertically oriented facades, facade articulation, and repeating vertically oriented patterns of fenestration. This rhythm of vertical patterns shall be between 20 to 50 feet in width of linear frontage.



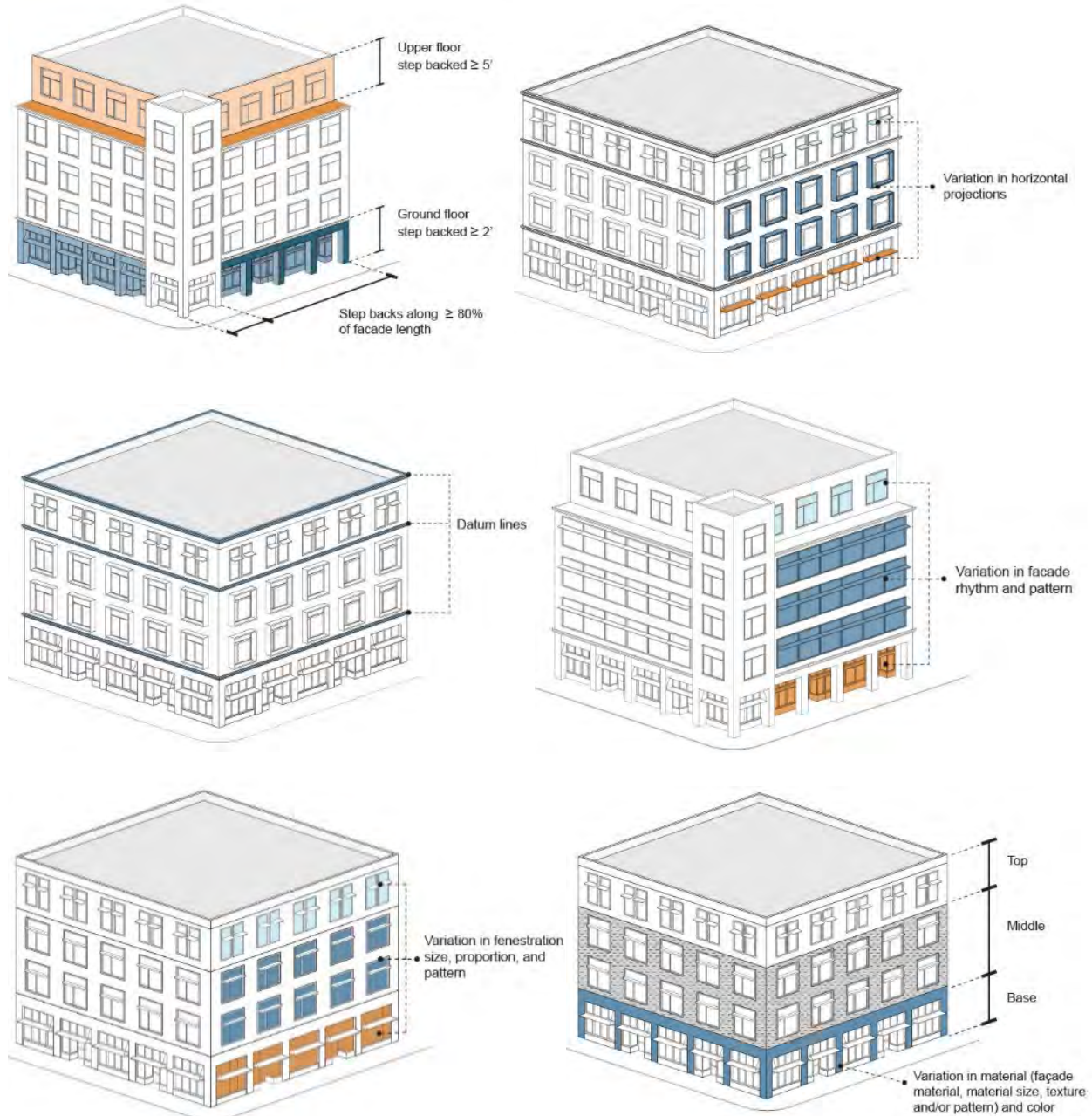
Facade rhythm and pattern expressed through modulation and articulation.

Figure 8-Figure 9. Facade Rhythm and Pattern.

E. **Building Components (Base/Middle/Top).** This standard applies to buildings that are designed using a traditional architectural style. Buildings four stories and higher should be designed to differentiate a defined base, a middle or body, and a top, cornice, or parapet cap. Buildings three stories or less should include at minimum a defined base and top. Each of these elements should be distinguished from one another for a minimum of 75 percent of the facade length through use of at least two of the following:

- Horizontal facade modulation which could include upper floor or ground floor step backs.
 - Ground floor step backs shall include a horizontal shift of the ground floor facade with a minimum depth of two feet to create an overhang or arcade.
 - Upper floor step backs shall include at minimum a five-foot step back from the primary facade for a minimum of 75 percent of the length of the facade.
- Horizontal facade articulation and/or variation in facade articulation strategy (see Section 1.3.2.F (Facade Articulation)).
- Variation in facade rhythm and pattern (see Section 1.3.2.D (Facade Rhythm and Pattern)).
- Variation in fenestration strategy (size, proportions, pattern, and depth or projection) (see Section 1.3.2.H (Fenestration)).
- Variation in material (facade material, material size, texture and/or pattern) and color.

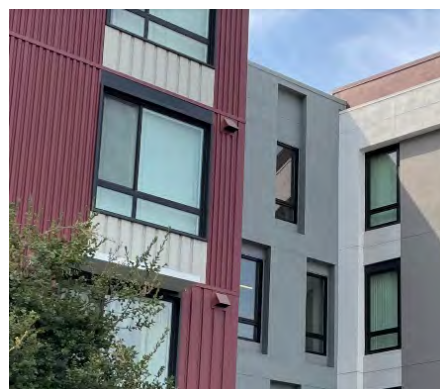
*Defined base, middle, and top*

Figure 9-Figure 10. Building Components (Base/Middle/Top)-

F. **Facade Articulation.** All facades shall include a minimum of two of the following facade articulation strategies to create visual interest:

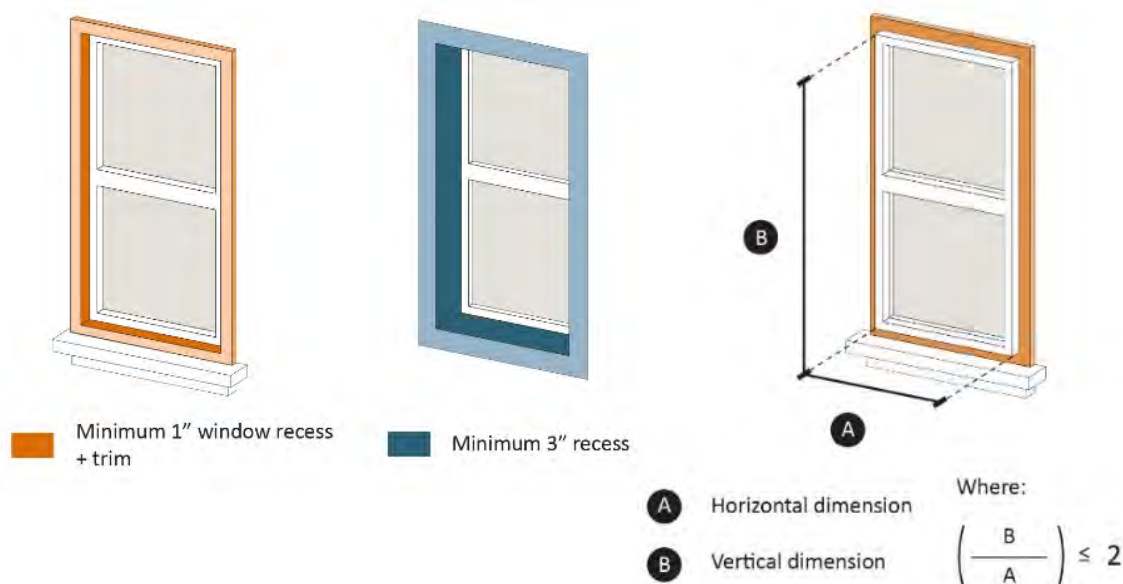
1. **Recesses.** Vertical and horizontal recesses such as a pattern of recessed grouping of windows, recessed panels, or similar strategies. The recess shall be a minimum four inches in depth.
2. **Projections.** Vertical and horizontal projections such as shading and weather protection devices (for windows), decorative architectural details, or similar strategies. Shading and weather protection projections shall be a minimum of two feet in depth. Architectural projections shall be a minimum of four inches in depth.

3. **Datum Lines.** Datum-Horizontal lines that continue the full length of the building, such as cornices, with a minimum four inches in height, and a minimum two inches in depth with a change in material.
 4. **Balconies.** Balconies or Juliet balconies (every 20 to 50 feet). Balconies shall be a minimum of five feet in depth; Juliet balconies shall be a minimum of eight inches in depth.
 5. **Screening Devices.** Screening devices such as lattices, louvers, shading devices, perforated metal screens, or similar strategies.
- G. **Blank Walls.** Along streets, sidewalks, pedestrian pathways, and open space areas, blank walls (facades without doors, windows, landscaping treatments, or public art) shall be less than 30 feet in length.
- H. **Fenestration.** Fenestration shall meet the following standards:
1. Fenestration shall reinforce vertical proportions and patterns with windows that shall not exceed a 2:1 horizontal-to-vertical ratio.
 2. Windows shall be recessed at least three inches from the plane of the surrounding exterior wall, or shall provide a combination of trim and recess with minimum one inch recess. Curtain walls are exempt.
 3. Curtain walls, if used, shall have a vertical orientation of mullions, joints, or solid panels that create a vertical pattern that does not exceed a 2:1 horizontal-to-vertical ratio.



Recessed windows

Figure 10.Figure 11. Fenestration.



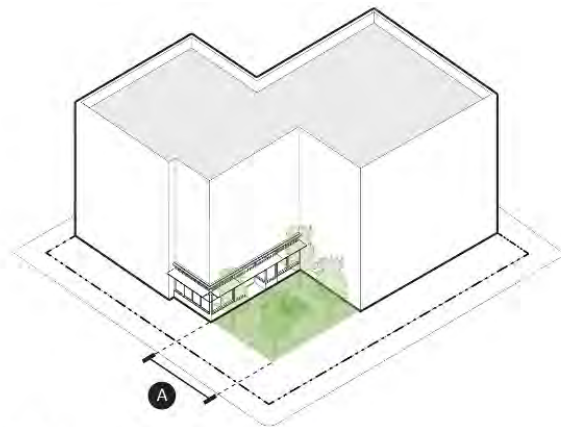
- I. **Treatment of Corner Buildings.** Buildings located at street corners that are three stories and higher shall include the following special features:
1. The building facade shall be located at the minimum front and street side yard setback or build-to line on both facades for a minimum aggregated length of 50 feet meeting at the corner, OR the building shall be set back at the corner to provide a publicly-accessible open space/plaza or outdoor seating area for public dining with a minimum dimension of 20 feet and minimum area of 400 square feet.
 2. The entrance to ground floor retail or the primary building entrance shall be located within 25 feet of the corner of the building.
 3. The corner of the building shall include one or more of the following features:
 - a. A different material application and/or fenestration pattern from the rest of the facade.
 - b. A change in total height of at least four feet greater or less than the height of the abutting primary facade.
 - c. A special architectural feature such as a rounded or cut corner, tower/cupola, or similar.



Corner features a rounded tower/cupola.

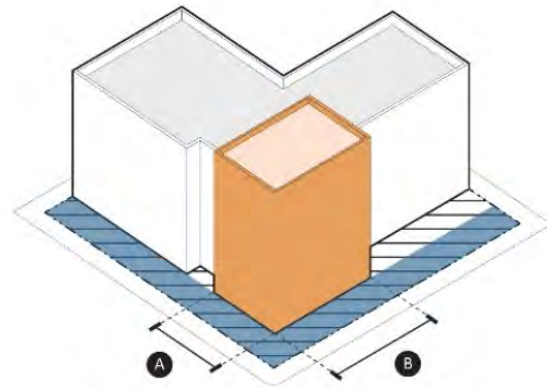


Corner height change.

Figure 11-Figure 12. Treatment of Corner Buildings

A Minimum 20' dimension

Publicly accessible open space or common open space ≥ 400 sf

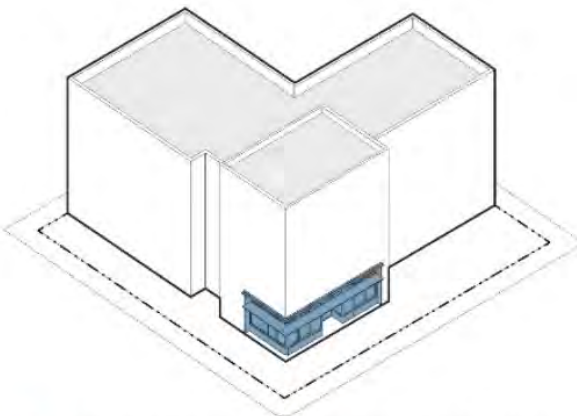


Front setback area

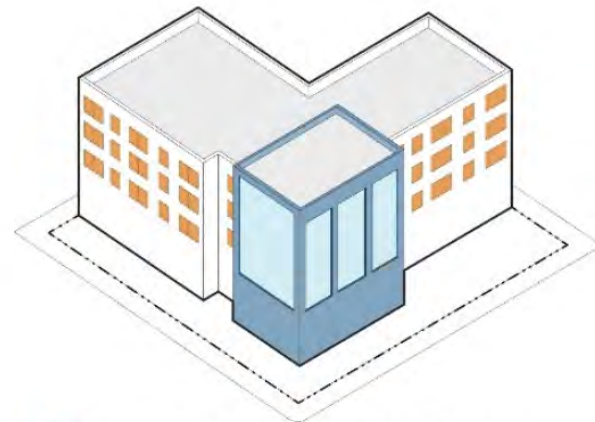
Minimum front setback area

Where:

A + **B** $\geq 50'$

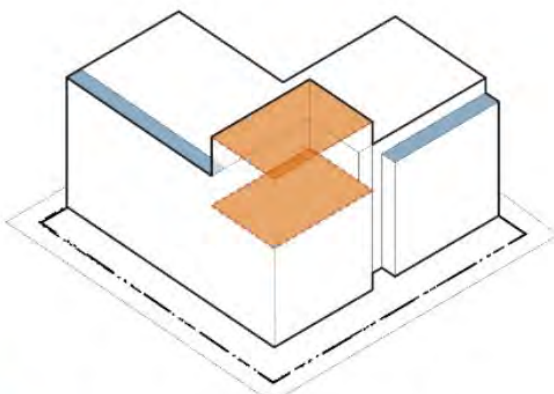


Corner entry to ground floor retail or primary building entrance



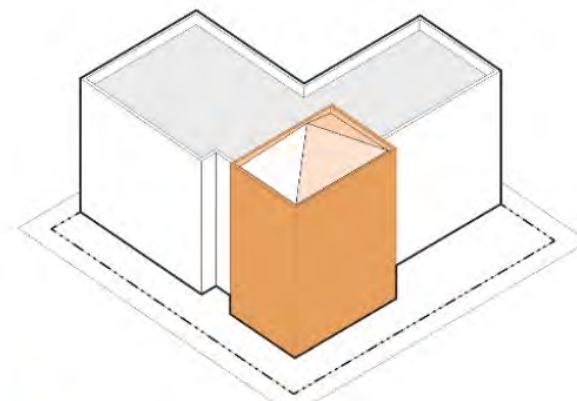
Corner element material or fenestration pattern

Remaining facade building material or fenestration pattern



Corner element height $\leq 4'$ or $\geq 4'$ than abutting height

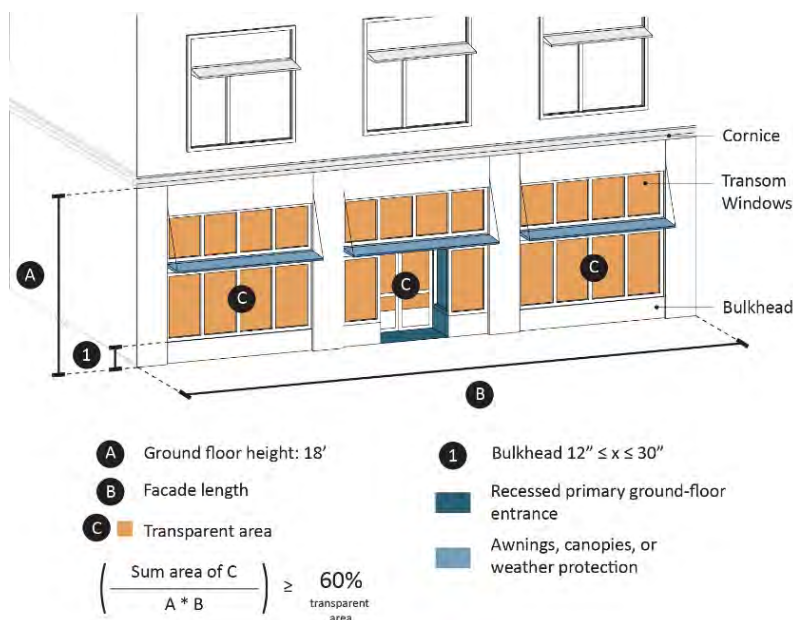
Building height of abutting facade



Corner architectural feature

- J. **Roof Edge Treatment.** Buildings shall be designed with at least one of the following roofline edge treatments:
1. A decorative cornice treatment (other than just colored "stripes" or "bands"). Cornices shall project a minimum of four inches from the facade.
 2. A sloped roof with overhangs and brackets.
 3. A parapet, which shall include a cap and corner detail to create a shadow line to enhance the building.
- K. **Ground Floor Design – Retail/Commercial**
1. **Ground Floor Height.** The minimum ground floor height for retail/commercial is 18 feet floor-to-floor.
 2. **Orientation of Primary Entries.** Each commercial/retail tenant shall have its own primary ground-floor entrance. Primary entries shall face or be directly visible from the public right-of-way or a publicly-accessible path/open space. This may be through a lobby or forecourt (or combination).
 3. **Weather Protection.** Primary ground floor entrances shall include weather protection that is a minimum six feet wide and four feet deep by recessing the entry, providing an awning/canopy, or using a combination of these methods.
 4. **Transparency.** Storefronts in new mixed-use developments shall contain clear openings and windows for a minimum of 60 percent of the linear length of the first-floor facades facing sidewalks, pedestrian walks, or publicly-accessible open space areas. Dark tinted, reflective, mirrored, or opaque glazing is not permitted for any required wall opening along ground floor retail facades.
 5. **Bulkheads and Solid Base Walls.** If provided, bulkheads and solid base walls shall not be less than 12 inches or higher than 30 inches from finished grade.
 6. **Transom Windows.** Commercial clerestory and transom windows are recommended to provide a continuous horizontal band or row of windows across the upper portion of the shopfront.

Figure 12-Figure 13. Retail/Commercial Ground Floor Design



7. **Awning and Canopies.**

- a. Awnings and canopies shall provide a minimum of eight feet of vertical clearance over the sidewalk.
 - b. When transom windows are provided above display windows, awnings, canopies, or similar weather protection elements shall be installed between the transom and display windows. These elements should allow for light to enter the storefront through the transom windows and allow the weather protection feature to shade the display window.
 - c. Awnings may be fixed or retractable.
 - d. Awnings, canopies, and other weather protection elements shall not extend across more than 80 percent of the facade. Instead, individual segments shall be divided into sections to reflect the major vertical divisions of the facade, and shall be installed over each shopfront entry or set of shopfront windows. Awnings shall not extend across wall sections, across multiple sets of windows, or over columns or structural piers/pilasters.
 - e. Awnings and canopies shall be made of fabric, glass, wood (synthetic or weather treated), metal, or a combination of such materials. Vinyl and plastic awnings are prohibited. [All awnings and canopies shall be maintained in good condition and repaired or replaced as needed.](#)
8. **Front Setback Landscaping.** A minimum of 10 percent of the front yard area shall be landscaped. Pots and above-ground planters may be used to satisfy this standard.

L. **Ground Floor Design - Other Non-Residential.**

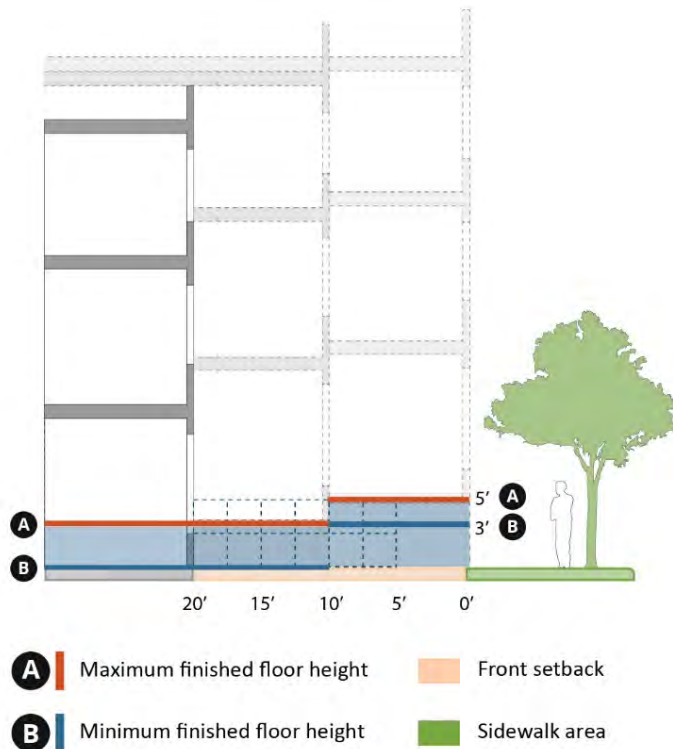
1. **Ground Floor Height.** The minimum ground floor height for other non-residential uses (e.g., office) is 15 feet floor-to-floor.
2. **Orientation of Primary Entries.** Primary entries shall face or be directly visible from the public right-of-way or a publicly-accessible path/open space. This may be through a lobby or forecourt (or combination).
3. **Weather Protection.** Primary entries shall include weather protection that is a minimum eight feet wide and six feet deep by recessing the entry, providing an awning/canopy, or using a combination of these methods.
4. **Transparency.** A minimum of 30 percent of the linear length of ground floor facades facing public rights-of-way, pedestrian pathways, or publicly-accessible open space areas shall include clear openings and windows. Dark tinted, reflective, mirrored, or opaque glazing is not permitted for any required wall opening along ground floor non-residential facades.
5. **Awnings and Canopies.** See standards in Section 1.3.2.K.7 (Awnings and Canopies).
6. **Front Setback Landscaping.** A minimum of 20 percent of the front yard area shall be landscaped.

M. **Ground Floor Design – Residential.**

1. **Minimum Finished Floor Height for Residential Units with Individual Entries.** To provide greater privacy for ground-floor residents, the finished floor height of ground floor residential units that face a public right-of-way or publicly-accessible path/open space shall be within the minimum and maximum heights according to setback distance from property line or back of walk as follows:
 - a. Setback $\leq$ 10 feet: Minimum finished floor height of three feet above grade; maximum finished floor height of five feet above grade.

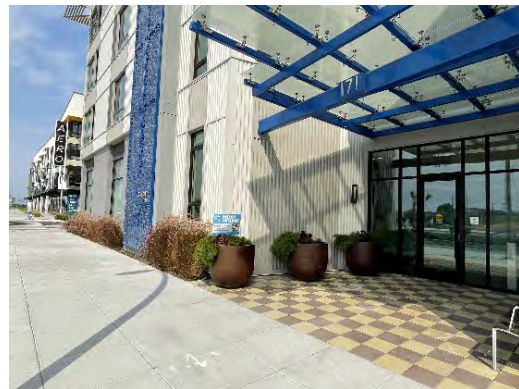
- b. Setback > 10 feet: Minimum finished floor height of zero feet above grade; maximum finished floor height of three feet above grade.
- c. On sites with a cross slope greater than two percent along a building facade, the average height of the finished floor and back of walk shall be used for the "grade." Where ADA accessibility requirements prohibit raised unit entries for some or all units, those units are exempt. For corridor buildings, accessible entries shall be located on from the interior corridor.

Figure 13-Figure 14. Minimum Finished Floor Height for Residential Units with Individual Entries.



2. **Primary Shared Residential Entries.** Primary entries shared by multiple units (e.g., leading to upper stories) along street frontages shall meet the following standards (excludes individual residential entries):

- a. At least one pedestrian entry is required for each building on each primary street frontage, unless a greater number is required by the adopted Building or Fire Codes. A single corner entry may be provided to fulfill this requirement.
- b. Primary shared building entries shall face or be directly visible from the public right-of-way or a publicly-accessible path/open space. This may be through a lobby, front porch, or forecourt (or combination).
- c. Primary shared entries shall provide weather protection that is a minimum eight feet wide and six feet deep by fully or partially recessing the entry, providing an awning/canopy, or using a combination of these methods.



Prominent entry canopy provides weather protection.

3. **Primary Individual Residential Entries.**

- a. A minimum of 50 percent of the ground floor residential units that face a public right-of-way, publicly-accessible path, or open space shall have unit entries that face the street, path, or open space (Senior units or other deed-restricted units for special populations are exempt.).
- b. Primary ground-floor entrances serving individual residential units shall include weather protection that is a minimum of four feet wide and four feet deep by recessing the entry, providing an awning/canopy, or using a combination of these methods.

4. **Front Setback Landscaping.** A minimum of 40 percent of the front yard area shall be landscaped. Front yards that are greater than 10 feet in depth shall also include at minimum one tree per 40 linear feet of street frontage.



Individual stoop entries

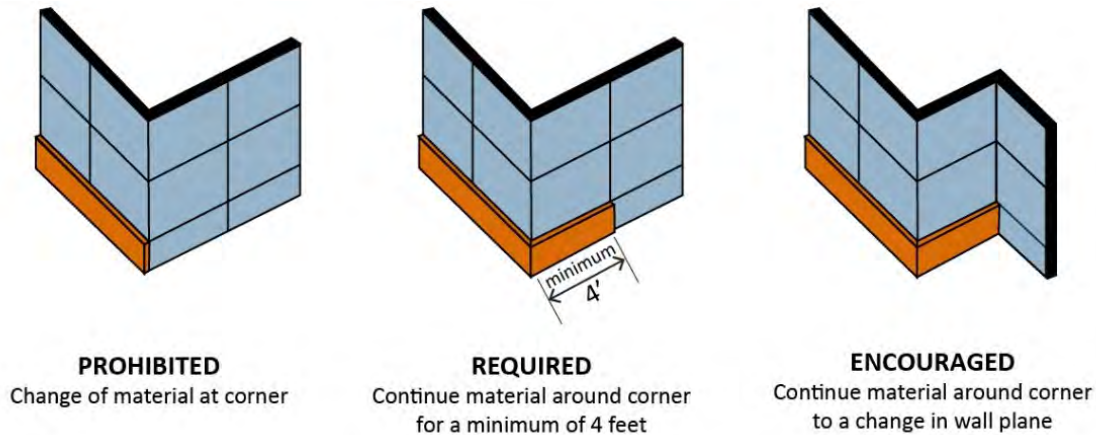
N. **Building Materials and Colors.**

1. **Variation in Materials.** At least two materials shall be used on any building frontage, in addition to glazing and railings. Any one material must comprise at least 20 percent of the building frontage, excluding windows, railings, base bulkheads, and trim.

Figure 14-Figure 15. Variation in Materials.



2. **Variation in Colors.** Colors shall be used as follows:
 - a. Primary colors shall be used on the majority of the building surface.
 - b. Secondary colors shall be used to accentuate facade elements or upper floors.
 - c. Accent colors shall be limited to moldings, trims, bulkheads, doors, and/or signage.
 - d. Up to two additional colors may be used to distinguish between upper and lower floors or as an additional secondary color.
3. **Material Changes at Corners.** A change in material must be offset by a minimum of two inches in depth. Materials shall continue around corners for a minimum distance of four feet. If feasible, the same material should continue to the next change in the wall plane.

Figure 15-Figure 16. Material Changes at Corners.

4. **Durable Materials.** Buildings shall incorporate durable finish and/or accent materials, which include masonry, tile, stone, stucco, architectural grade wood, brick, glass, and finished metal that will not rust. Wrought iron shall not be allowed. Materials should be appropriate to Marina's coastal climate.
5. **Prohibited Materials.** Plain untextured block, plywood, vinyl, plastic (and plastic laminate), corrugated metal, mill-finish (non-colored) aluminum metal windows or door frames and fiberglass are prohibited as materials.
6. **Building Component Colors.** All vents, flashing, and electrical conduits shall be painted the same color as the adjacent surface. Gutters and downspouts shall be painted the same color as the adjacent surface or may be a decorative material as approved by the Director (e.g., copper).

1.4 Architectural Guidelines.

[The City of Marina is demographically diverse as illustrated in Appendix B \(City of Marina Demographics\). As such, the City has identified See Appendix A \(Architectural Style Guide\) for community design goals and additional architectural design guidelines to help guide future development as illustrated in: Appendix A \(Architectural Style Guide\).](#)

Appendix A: Architectural Style Guide

Introduction

The City of Marina is demographically diverse as illustrated in Appendix B (City of Marina Demographics). The City's diverse cultural makeup is an important part of its identity. The various cultures within Marina can be an important resource for architectural elements and design of buildings. Developers are strongly encouraged to reflect the cultural and ethnic diversity of Marina in new architecture, which will help to enhance Marina's unique identity and distinguish the city from neighboring communities.

As such, the purpose of the following Architectural Style Guide is to foster a range of architectural styles in the City that is reflective and inclusive of the variety of cultures who have come together to make up the Marina community. These styles include, but are not limited to:

- Asian-Inspired
- Craftsman
- Mid-Century/Ranch
- Monterey
- Contemporary/Industrial
- Prairie
- Pueblo

Architectural Integrity

This document does not prescribe or require any particular style. However, buildings should be designed using elements that are authentic to whichever architectural style is selected with regard to building form, detailing and decorative features, colors, materials, etc. while adhering to the standards in the Objective Design Standards document.

The style sheets on the following pages provide each architectural style's character-defining design elements.



This symbol indicates that the photo has been changed since the Public Review Draft.

A. Asian-Inspired

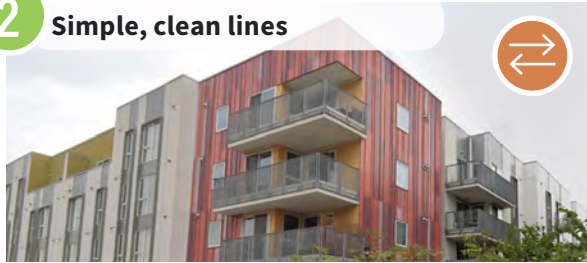
Asian style architecture embraces subtle elements and modern interpretations of various Asian design traditions. It incorporates features like multi-level roofs, clean horizontal lines, and extended roof eaves. The exterior is dominated by natural materials such as bamboo, wood, and stone, presenting a subdued and harmonious color palette. Additionally, Asian landscaping plays a pivotal role in creating a Zen-like ambiance, reflecting purity and tranquility using rock gardens and water features. This style lends itself to extensive interpretation of Asian themes in contemporary architecture, both at the house scale and at the multifamily or mixed-use building scale. Some of the key characteristics of Asian inspired style architecture include:

1 Multiple roof planes + pitches



Tiled roofs with asymmetrical positioning create interesting spaces.

2 Simple, clean lines



The designs emphasize simplicity and clean aesthetics, evoking a sense of elegance and balance.

3 Extended eaves



Exposed rafter beams with angled ends are often seen under extended eaves.

4 Paned windows + doors



Prominent horizontal paned windows adorned with geometric ornamentation are accompanied by red accent doors and window trim.

5 Natural materials + colors



Asian-inspired designs often use natural materials, such as wood, bamboo, and stone with a subdued color palette.

6 Asian-inspired landscaping



Elements like rock gardens, water features, and landscape enhancements such as stone lanterns, wooden trellises, and gates, contribute to the tranquil and serene ambiance.



Photo Sources (Left Page):

1. Councilmember Kathy Biala
2. Raimi + Associates
3. <https://www.priceypads.com>

4. <https://www.pinterest.com>
5. <https://www.priceypads.com>
6. <https://www.houzz.com>

B. Craftsman

Craftsman style architecture traces its origins back to the late 19th century, and was inspired by the English Arts and Crafts Movement. American designers made it their own, especially in California. It is characterized by a simple yet functional design, a preference for natural materials, and a strong emphasis on craftsmanship. Craftsman homes are typically one or one-and-a-half stories tall, with low-pitched roofs, overhanging eaves, and exposed beams. They often feature wide front porches with tapered columns, wood shingle or stucco exteriors, and built-in furniture and other handcrafted elements. This style is typically found in single-family residential homes with some examples in the “missing middle” housing types. Some of the key characteristics of Craftsman style architecture include:

1 Gable Roofs



Wide unenclosed eave overhangs, with the gable roofs facing the street.

2 Exposed rafters



Beams, rafter tails, brackets, or braces supporting the low-pitched gable roofs.

3 Extended columns or column bases



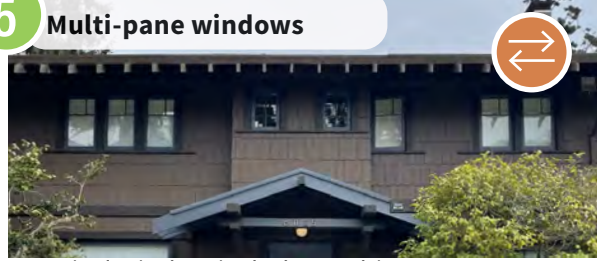
Continuous columns or bases, extending uninterrupted to the ground. Porch posts are typically tapered. The lower portion of a wall are often battered or sloped near the ground.

4 Deep front porches



Wide, deep front porches. They may be included under the main roofline and are frequently the full width of the main facade.

5 Multi-pane windows



A typical window includes multi-pane upper sashes paired with a single pane in the lower sash. Transom windows are also common.

6 Warm earth-tones colors



Colors are often earth-toned, with dark wood stains.

7 Natural materials



Wood shingle, clapboard, or stucco siding, both for structural purposes and as decorative elements. Stone is usually laid in random pattern similar to the texture of cobblestones.



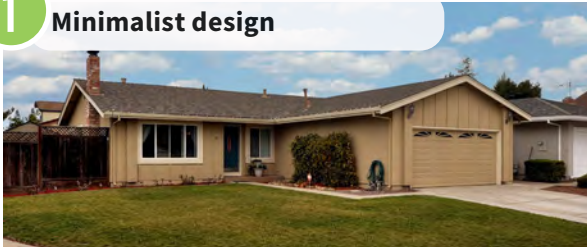
Photo Sources (Left Page):
 1. <https://www.oldhouseonline.com>
 2. Raimi + Associates
 3. Raimi + Associates
 4. Raimi + Associates

5. Raimi + Associates
 6. <https://preservationgreensboro.org>
 7. Raimi + Associates

C. Mid-Century/Ranch

Mid-century ranch style architecture originated in the 1930s, flourished in the 1940s and 1950s, and was a bridge between the International Style and earlier traditional styles including the Prairie style. It is characterized by its simple, functional design, its use of modern materials, and its emphasis on open space and natural light. Ranch homes are typically one-story, with low-pitched roofs, large windows, and attached garages. Ranch homes are often built on large lots, with plenty of space for outdoor living. This style is typically applicable to single-family residential. Some of the key characteristics of Mid-century/Ranch style architecture include:

1 Minimalist design



Clean lines and open spaces epitomize the minimalist approach to design.

2 Low-pitched roofs with wide overhangs



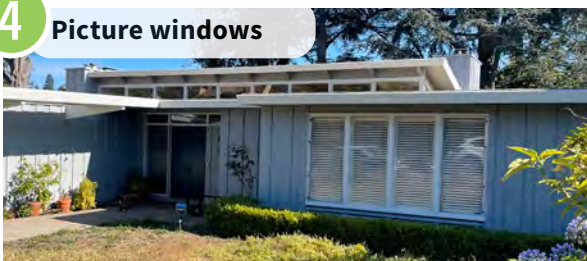
Single-story, wide massing is characteristic of Ranch homes. The full width of a Ranch house faces the street.

3 Asymmetrical design



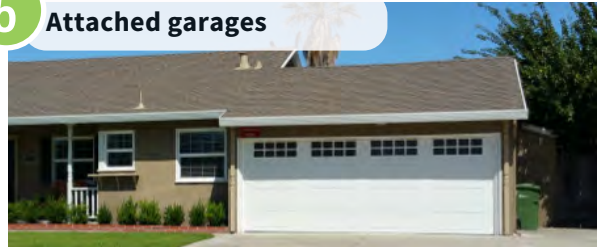
The use of front-facing gables and the irregular placement of windows and doors all contribute to the general asymmetry typical to the style.

4 Picture windows



Ranch houses typically have at least one large picture window in the front of the house.

5 Attached garages



Ranch homes typically incorporate attached garages or carports.

6 Sheltered entrances



Entrance doors are thoughtfully placed under porches (integrated into the main roofline) or wide overhanging eaves.

7 Indoor-outdoor flow



The seamless integration of the indoor and outdoor space with sliding doors leading to patios.

8 Natural materials



The use of organic materials like wood, brick, and stone adds warmth and authenticity to the overall aesthetic.



Photo Sources (Left Page):

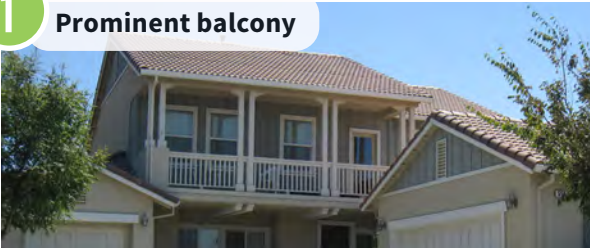
1. <https://sanjoserealestatelosgatoshomes.com>
2. <https://sanjoserealestatelosgatoshomes.com>
3. <https://isarchitecture.com>
4. Raimi + Associates

5. <https://sanjoserealestatelosgatoshomes.com>
6. <https://sanjoserealestatelosgatoshomes.com>
7. <https://paragoncb.com>
8. <https://contemporist.com>

D. Monterey

Monterey style architecture is a regional architectural style of California that developed in the early 19th century. It is characterized by its simple, elegant design, its use of local materials, and its blend of Spanish Colonial Revival and New England Colonial Revival influences. Monterey style homes are typically two stories, with low-pitched roofs and overhanging eaves and feature a full-width, cantilevered upper-story balcony (or two-story porch) made of simple wood construction. The windows, often double hung or casement, are long and reach the ground on one or both stories. They often feature stucco walls, red-tiled roofs, and wrought-iron railings. This style is typically found in single-family residential homes. Some of the key characteristics of Monterey style architecture include:

1 Prominent balcony



Prominent balconies that provide a place to relax and enjoy the outdoors.

2 Simple roof forms



Low-pitched roofs that are often covered with red-tiled or clay tiles. The principal roof usually encompasses the second story balcony.

3 Long windows



Long, double hung or casement windows reach the ground on one or both stories. These windows often feature uncomplicated colonial surrounds or minimal ornamentation.

4 Wrought iron railings



Wrought-iron railings, which add a touch of elegance and sophistication.

5 Clean design



Simple forms and bare walls feature few elaborations. Details such as decorative carving, etc. are rare.



Photo Sources (Left Page):
 1. Raimi + Associates
 2. Raimi + Associates
 3. <https://www.houzz.com>

4. Raimi + Associates
 5. Raimi + Associates

E. Contemporary/Industrial

Contemporary/industrial style architecture has gained significant popularity, blending the clean lines and simplicity of contemporary design with the raw, authentic appeal of industrial elements. It celebrates the use of true materials like wood, metal, glass, concrete, and plaster, often leaving them unfinished or minimally treated to showcase their inherent beauty. In this style, structural elements are not concealed but instead embraced and showcased as an integral part of the overall design. Some of the key characteristics of Contemporary/Industrial style architecture include:

1 Raw materials



Use of genuine materials like wood, metal, glass, concrete, and plaster, left in their raw or minimally treated state.

2 Industrial materials



Industrial materials, such as cor-ten steel, corrugated metal, and cables, add a sense of ruggedness and authenticity.

3 Exposed structural elements



Exposed structural elements like beams, columns, and girders, highlighting the functionality of these elements.

4 Mix of materials



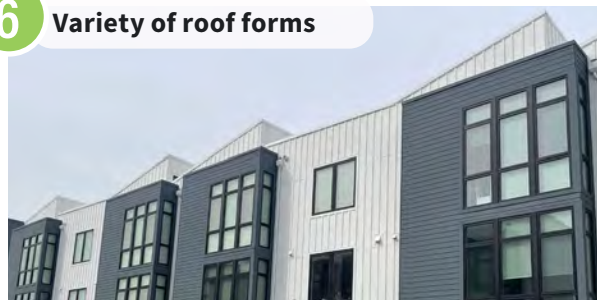
A mix of materials, which can create a sense of visual interest and depth.

5 Simple geometric detailing



Prioritizing order and simplicity, this style often incorporates straightforward geometric massing, with minimal elaborate detailing.

6 Variety of roof forms



A variety of roof forms, such as flat roofs, pitched roofs, and barrel vaults. These roof forms can be made of different materials, such as concrete, metal, or glass, and can be used to create a sense of visual interest and depth.



Photo Sources (Left Page):
 1. <https://metalconstructionnews.com>
 2. Raimi + Associates
 3. Raimi + Associates

4. Raimi + Associates
 5. Raimi + Associates
 6. Raimi + Associates

F. Prairie

Prairie style architecture originated in Chicago and was popular in the Midwest in the early 20th century. It is characterized by its simple and strong horizontal lines, use of natural materials, and its emphasis on connecting the interior with the exterior. Prairie style homes are typically made of brick or stucco, and have large windows that let in plenty of natural light. They often feature overhanging eaves, which provide shade in the summer and shelter from the rain in the winter. The style was popularized by architects such as Frank Lloyd Wright and Louis Sullivan. This style is typically found in single-family residential homes. Some of the key characteristics of Prairie style architecture include:

1 Simple, horizontal lines



Clean, uncluttered lines that stretch horizontally, emphasizing a harmonious integration with the surrounding landscape.

2 Low-pitched roofs with overhanging eaves



Low-pitched roofs with broad overhanging eaves, serving practical purposes like providing protection from sun and rain.

5 Heavy porch posts



Sturdy and substantial porch posts to support the overhanging eaves.

6 Large multi-pane windows



Expansive, multi-pane windows that flood the interior with abundant natural light.

3 Deep porches



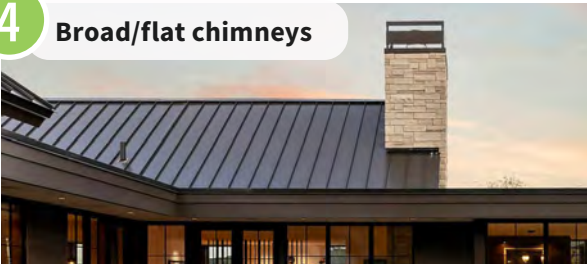
Deep one-story porches with heavy square supports/columns.

7 Natural materials



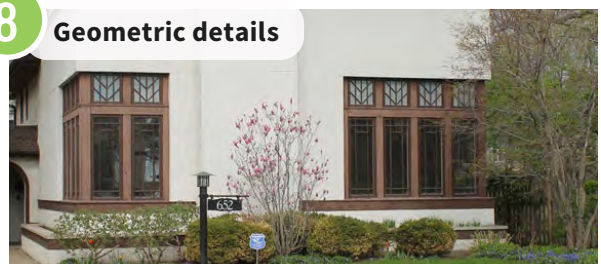
Natural materials such as clapboard, brick, stone, and stucco to reflect natural surroundings.

4 Broad/flat chimneys



Broad and flat chimneys, often made of brick or masonry, emphasize the horizontality of Prairie style houses.

8 Geometric details



Geometric elements, such as rectangular shapes and straight angles, as well as stylized floral and circular ornamentation, add a sense of order and symmetry.



Photo Sources (Left Page):

1. Raimi + Associates
2. <https://oldhouseonline.com>
3. <https://isarchitecture.com>
4. <https://onekindesign.com>

5. <https://briodesignhomes.com>
6. <https://www.pinterest.com>
7. <https://www.vanbrouck.com/prairie-modern-home.html>
8. <https://thisamericanhouse.com>

G. Pueblo

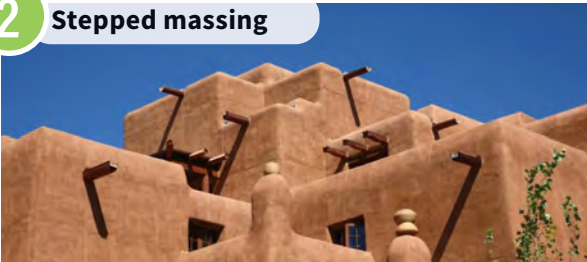
Pueblo style architecture, a regional architectural style of the Southwestern United States, draws inspiration from native and Spanish Colonial Revival architecture. Pueblo-style buildings are characterized by their flat roofs, often supported by substantial wooden beams called vigas. The design features wavy stucco finishes and irregular, rounded corners, imitating the handcrafted finishes of native styles. This architectural approach also embraces walled courtyards, patios, and roof decks, which suit the warm climates prevalent in the regions where it is found. This style is typically found in single-family residential homes. Some of the key characteristics of Pueblo style architecture include:

1 Flat roofs with wooden beams



Flat roofs with parapet walls, featuring porches with shed roofs with clay tiles or wood shingles. Protruding 'vigas' or substantial wood beams about a foot from the walls.

2 Stepped massing



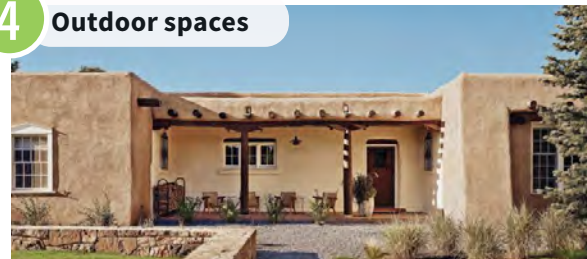
Stepped, multi-level massing. This effect is further accentuated by stepped details in walls and parapets.

3 Rounded corners



Irregular and rounded corners reflect the traditional Pueblo architecture and adobe construction.

4 Outdoor spaces



Walled courtyards, patios, and roof decks suitable to the warm climates where this style is found.

5 Irregular finishes



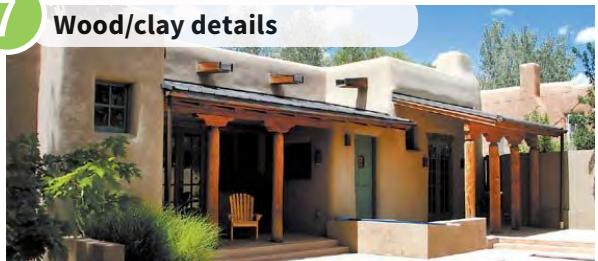
Uneven, wavy stucco finishes, mirroring the handcrafted appeal of native designs and adobe construction.

6 Simple windows



Straightforward, straight-headed windows, often with wooden lintels.

7 Wood/clay details



Decorative elements like projecting roof beams (vigas), clay rainwater gutters (canales), and intricately carved wood.



Photo Sources (Left Page):

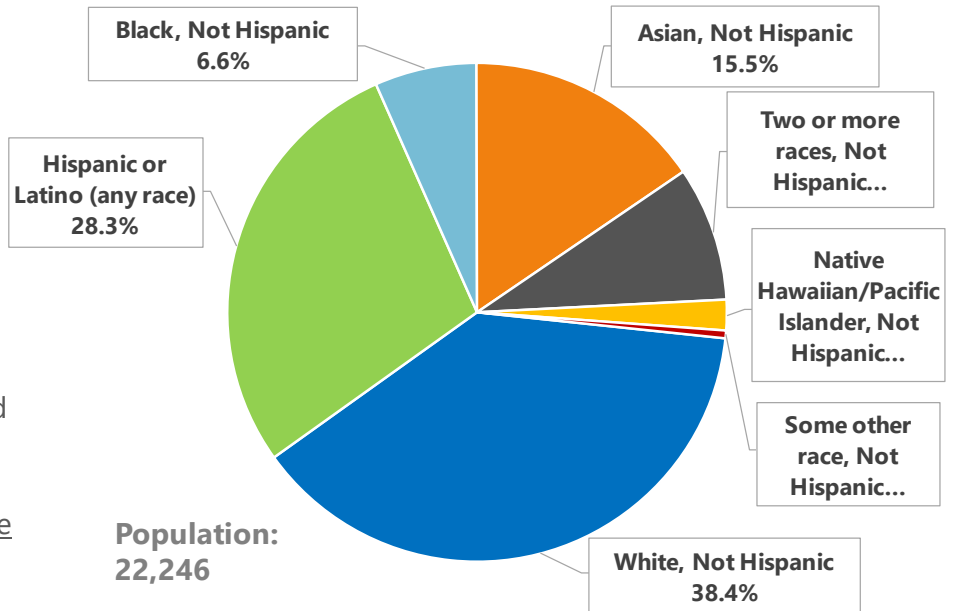
1. <https://housecrazysarah.life>
2. <https://isarchitecture.com>
3. La Fonda on the Plaza. (2023, July 3). In Wikipedia. https://en.wikipedia.org/wiki/La_Fonda_on_the_Plaza

4. <https://www.cowboysindians.com>
5. <https://www.cowboysindians.com>
6. <https://www.thespruce.com>
7. <https://www.pinterest.com>

Appendix B: City of Marina Demographics

Race & Ethnicity (Single Category Only)

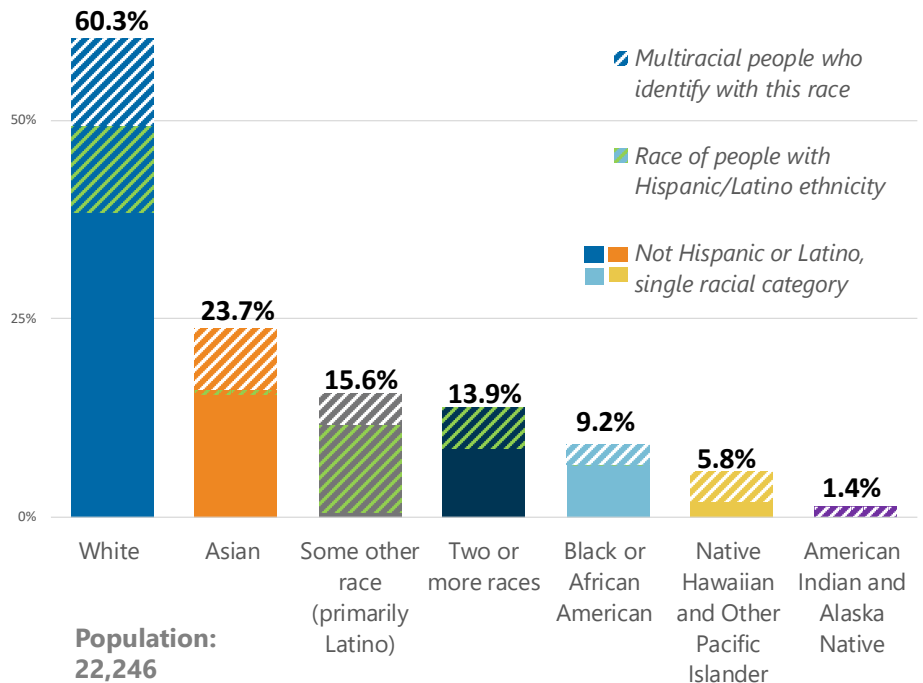
- All non-Hispanic residents are represented as a single racial category:
 - White
 - Asian
 - Black
 - Native Hawaiian/P.I.
 - Some Other Race
 - Two or More Races
- Hispanic/Latino residents (of any racial group) are **ONLY** represented as Hispanic
- Sums to 100% -- because all residents are only represented once as a single category



Source: American Community Survey, 2021 5-Year Estimates, DP05: Demographic and Housing

Detailed Race & Ethnicity (Inclusive of All Races)

- Non-Hispanic single race residents select one race
- **Multiracial residents select multiple races**
- Hispanic and Latino residents select the race(s) they feel best represents them – because of the way the Census collects data, **all Hispanic residents are included in other racial groups (reflected in the green hatched areas, sums to 28.2%)**
- Sums to 130% because all multiracial residents identify with multiple racial categories



Source: American Community Survey, 2021 5-Year Estimates, DP05: Demographic and Housing
<https://data.census.gov/table/ACSDP5Y2021.DP05?q=Two+or+More+Races+in+marina,+ca>

CITY OF MARINA OBJECTIVE DESIGN STANDARDS
Response to Comments Received at the Joint City Council/Planning Commission Workshop on October 12, 2023

#	Section	Page	PC/CC	Topic	Comment/Question	Response	Response Topic
1	1.2.1	3	PC	Applicability	Will the ODS apply to Specific Plan areas?	The ODS does not apply to any specific plans areas, with the exception of the Downtown. The ODS will apply in the DVSP area until the DVSP is adopted. Edit has been made to the ODS document.	Revision
2			PC	Applicability	Will the ODS apply to ADUs?	No, the ODS will not apply to ADUs since most ADUs developed in the City of Marina fall under the statutory ADU category and hence are limited to the standards in Government Code section 65852.2(e)	Outside of Scope
3	1.1.2	3	PC	Applicability	Do the ODS apply to SB9 projects, or only if two SB9 homes are being built at the same time? Clarify that smaller houses being built one at a time in an infill subdivision would not be applied; only if built at the same time	As previously written, the ODS would only apply to SB9 units built at the same time, not a project where each home is built one at a time. However, we have revised the ODS to require SB9 projects and subdivisions to follow the ODS for all units built over a 5 year period.	Revision
4	1.1.2	3	PC	Applicability	Clarify language in the Applicability Section - just say that the ODS does not apply to any specific plans areas, rather than listing out all the SPs	The ODS already states this.	No Change
5	1.1.2	3	CC	Applicability	What takes precedence between the ODS and zoning code?	Generally the Zoning Code governs development standards and the ODS governs design. If there is a conflict, the Zoning Code will prevail. We will add a statement to this effect in the Applicability Section.	Revision
6			CC	Applicability	Would there be a possibility that the ODS prevents the conversion of a garage to an ADU? Or in the case of a MFR unit, conversion of existing space into another unit?	No	No Change
7	1.3.1.B.6	16	CC	ADA	Is a 4 ft-wide pedestrian path ADA compliant? Would it allow two wheelchairs to pass one another? There should be a requirement for wider areas for certain lengths of pathways.	Yes, the minimum per ADA is 48 inches. This does not allow two wheelchairs to pass one another - instead ADA requires turnout areas. We have revised the requirement to require 5 ft wide pathways.	Revision
8			CC	ADA	Can the ODS add in language for ADA compliance?	Yes, we have added a statement about ADA compliance.	Revision
9			PC	Building Design	Will height regulations change?	No. Height standards are located in the Zoning Code by zone.	No Change
10	1.3.2.B	26	PC	Building Design	Maximum building length - why 300 ft linear in either direction?	We want to break up large buildings into smaller, human-scale buildings, and this includes length and width/depth for building at corners. The dimension of 300 feet was chosen because this is the typical scale of a small urban block.	No Change
11	1.2.1.C	6	PC	Building Design	Question regarding garage setback for single-family homes. This is too limiting. Some current new homes have front loaded garages that are flush with the front façade.	We recommend keeping the requirement as is. For small-lot SFR on narrow lots, a two-car garage can dominate the front façade. Requiring the garage to be set back from the primary façade helps ensure that living spaces and the primary entry are the dominant features on the primary facade, rather than the garage.	No Change
12	1.2.2.F	13	CC	Building Design	Please clarify 1.2.2.F (Building Roofs) - “Primary roof forms shall be gable, hipped, flat, or shed.” No curved roofs? It would be helpful to include drawings of the different roof forms.	We have revised the standard to allow curved roofs.	Revision
13	1.2.2.G	13	PC	Building Design	Allow for flush/flat windows.	We recommend keeping the requirement for recessed windows or windows with both trim and recess, as they create depth and shadow lines. Also, flush windows can have water problems/leaks.	No Change
14	1.2.2.D	12	PC	Building Design	Can we have front entry designs that create safer places for deliveries? (mail, parcels boxes)	We have CPTED principles incorporated into the standards, which should address this concern. Individual homeowners can choose to provide parcel lockers.	No Change
15	1.2.2.F.2	13	PC	Building Design	Roof overhangs standard - Ok with 12" overhang requirement where the roof drains rainwater. For gable ends with no water runoff, 6" overhang should be sufficient. Is there a reason to require an overhang on the non-eaved side? Also ODS should require rain gutters and downspouts.	Yes, the standard was intended for eaves of roofs. The standard has been revised to clarify this. It is not necessary to require rain gutters and downspouts as newly constructed homes typically include these.	Revision
16	1.3.1.A	15	PC	Building Design	The standard for offsetting windows could be challenging or costly for developers. Most homes in Sea Haven and Dunes do not comply with this. Most developers have a set building models/products that might not comply with this. This might deter developers from building in Marina. If you build a solid fence 6 ft high, do you still need to offset the windows?	The fence wouldn't come into play for windows on upper floors. This standard does not apply to single-family homes next to each other; only to multi-family and mixed-use properties next to single-family homes or other multi-family properties. This standard was included because privacy was important to the community. We recommend keeping the standard, and we don't want to have privacy impacts of multi-family infill next to existing single-family neighborhoods.	No Change

CITY OF MARINA OBJECTIVE DESIGN STANDARDS
Response to Comments Received at the Joint City Council/Planning Commission Workshop on October 12, 2023

#	Section	Page	PC/CC	Topic	Comment/Question	Response	Response Topic
17	1.2.2.H; 1.3.1.D.4b	14, 20, 37	CC	Building Design - Colors and Materials	There are inconsistencies in acceptable/prohibited materials, namely 'corrugated metal' and 'wrought iron'; will the prohibited materials be removed from the examples (text and photos)?	The ODS specifies that wrought iron shall not be allowed as a building material. However, wrought iron IS an allowed material for fences.	No Change
18	1.2.2	13	CC	Building Design - Colors and Materials	Can the ODS address bird-friendly design? Perhaps in the materials section?	Bird-friendly design should be considered as a part of the zoning code and apply to ALL buildings in the city, not just residential and mixed use projects.	Outside of Scope - Zoning Code
19	1.3.1.A.2	15	CC	Building Design - Colors and Materials	Is the window placement/offset standard measured horizontally and vertically?	Measured horizontally. We have revised to make clearer.	Revision
20	1.2.1.E.2c	8, 14	CC	Building Design - Colors and Materials	Page 8 2c “All vents, flashing, electrical conduits, etc., shall be painted to match the color of the adjacent surface.” This is too restrictive. Sometimes the design uses a different color or material to accent these features.	Revised	Revision
21	1.3.2.K	33, 34	CC	Building Design - Ground Floor Design	Commercial first floor design should include outside dining.	The ODS does not prohibit or restrict outdoor dining. Restaurants can construct outdoor dining on private property, or on the sidewalk with an Encroachment Permit.	No Change
22	1.3.2.K	33, 34	CC	Building Design - Ground Floor Design	Omit fabric awnings. They are not durable enough and they don't look as good.	Fabric awnings need to be replaced and maintained as needed. Language added.	Revision
23			PC	Building Design - Sustainability	Question regarding how to design buildings for flooding/climate change.	This is a larger policy question that should be discussed as part of the General Plan Update. Flooding is also addressed in MMC C.hapter 15.48: Flood Damage Prevention	Outside of Scope - General Plan
24			PC	Building Design - Sustainability	Can we include requirements for electric vehicle infrastructure? Can we require more than the Building Code?	EV charging requirements are covered in the Cal Green Building Code. Adopting requirements above and beyond the Green Building Code would be a separate process involving amendments to the Municipal code	Outside of Scope - Building Code
25			PC	Building Design - Sustainability	Can we require solar panels?	This is covered in the Cal Green Building Code.	Outside of Scope - Building Code
26			CC	Building Design - Sustainability	Are green building standards required in ODS?	No, these are covered by the Cal Green Building Code.	Outside of Scope - Building Code
27			CC	Building Design - Sustainability	Can the City regulate the design or placement of solar panels?	The Solar Rights Act severely restricts a City's ability to enact standards or restrictions related to design and placement of solar panels.	No Change
28			CC	Building Design - Sustainability	Can the ODS require standards stricter than that of the Green Building Code?	The appropriate place for any changes related to the Building Code should be discussed with the Building Official and addressed in the Municipal Code.	Outside of Scope - Building Code
29	1.2.1.D	6, 7	PC	Landscaping/Trees	Can homeowners plant additional trees in their yard? And do they have to follow these ODS?	The ODS require a minimum number of trees along new private streets and pathways and they must follow the standards and be approved by Public Works if they are within 5 ft of a street/sidewalk, etc. Homeowners can plant any trees they choose within their private yards.	No Change
30	1.2.1.D, 1.3.1.F	7, 23	PC	Landscaping/Trees	How do we stop or limit topping of trees by utility providers/PG&E? Instead of pruning trees properly they often just top them.	Unfortunately, there is nothing the City can do to stop this. Utility providers can top/prune trees away from utility lines as necessary.	No Change
31	1.2.1.D, 1.3.1.F	7, 23	PC	Landscaping/Trees	Can we require gopher barriers for plantings or turf?	In the landscaping standards, we have added a standard to provide gopher barriers or address gopher intrusion.	Revision
32	1.2.1.D	6	CC	Landscaping/Trees	Make the tree preservation guideline required by stating that trees shall be preserved unless infeasible.	Yes, we have made this revision.	Revision
33	1.3.1.F.13	7, 23	CC	Landscaping/Trees	Is a permit required for tree pruning?	No pruning permit is required, but if a tree is severely pruned or trimmed such that it damages or kills the tree, it is unlawful and would be subject to code enforcement.	No Change
34	1.3.1.F.6	22	CC	Landscaping/Trees	Why not add a requirement for native plant species? How do we require maintenance of landscaping?	Requiring native species can be very limiting, so we have added a guideline to strongly encourage native plant species. Additionally, the City requires a bond for the landscaping for the first two years of a project. Subsequent to that, maintenance of landscaping is handled by code enforcement. For example, if plants die or fail, new plants would have to be installed.	Revision

CITY OF MARINA OBJECTIVE DESIGN STANDARDS
Response to Comments Received at the Joint City Council/Planning Commission Workshop on October 12, 2023

#	Section	Page	PC/CC	Topic	Comment/Question	Response	Response Topic
35	1.3.1.F	22	CC	Landscaping/Trees	Change the tree preservation guideline to a mandatory requirement ("shall" instead of "should").	We have modified the tree preservation guideline to state that "trees shall be preserved unless infeasible."	Revision
36	1.2.1.D; 1.3.1.F	7, 23	CC	Landscaping/Trees	Revise the landscaping maintenance requirement so that it requires long-term maintenance of all landscaping, not just trees.	Revised.	Revision
37	1.3.1.E.3	21	CC	Lighting	The light standards reference the IESNA standards. Instead reference the Dark Sky Association standards.	The Dark Sky Association does not have specific standards for cut-off luminaires.	No Change
38	1.3.1.E	21	CC	Lighting	Can the ODS include lighting requirements for pathways?	A lighting standard for pathways has been added.	Revision
39	1.2.1.F	9	CC	Open Space	Will common open space only be available to residents and their guests? What about non-residents? Shouldn't it be possible to design common areas that are also accessible to non-residents? That's already the case in several developments in Marina, e.g., parks at Sea Haven and the Dunes, and common areas at the University Village that are open to the public.	Within the MFR/Mixed-Use section we have separate standards to address private open space (i.e. balconies), common open space for building residents, and publicly-accessible open space (PAPOS). We have added a requirement to ensure that any PAPOS are available for public use in perpetuity. In single-family subdivisions, the Subdivision Ordinance requires the provision of park space.	Revision
40	1.2.1.F	10	PC	Open Space	The minimum open space dimensions seem small - are they sufficient?	Yes, we believe that these dimensions are sufficient, and align with the open space standards in the zoning code. These are minimums can be exceeded. There is no maximum.	No Change
41	1.3.1.G.3	25	CC	Open Space	What does it mean by when it says that balcony railings must be opaque. Just the top rail?	We have revised the standard to state that balcony "enclosures" shall be solid/opaque.	Revision
42	1.3.1.G	25	CC	Open Space	Make more clear that PAPOS are accessible to general public	Revised.	Revision
43	1.3.1.G	23	CC	Open Space	The City should allow development to build up rather than out to maximize open space.	This is a larger policy questions that can be discussed as part of the General Plan Update.	Outside of Scope - General Plan
44	1.3.1.G	23, 24	CC	Open Space	The ODS address number of amenities but not variety/types of amenities for open space. For example, if a development had to provide two open space amenities, could they choose the same type for both? Can we require that they be different amenities?	Yes, revised the standard to address this.	Revision
45			PC	Parking	Will there be requirements for bicycle/scooter parking?	Bicycle parking requirements belong in the zoning code and will be updated after the General Plan Update as part of the comprehensive Zoning Code Update	Outside of Scope - Zoning Code
46			PC	Parking	Will amount of parking change?	No. Parking requirements/ratios are located in the Zoning Code. The ODS regulate design and layout of parking, not amount.	Outside of Scope - Zoning Code
47	1.3.1.D.4c	20	PC	Parking	The surface parking screening standards states that plantings must grow to a minimum of 2 ft within 18 months. Landscaping in Marina grows very slowly because of the sandy soil. What happens if it doesn't reach this height in 18 months?	We have revised the standard to 24 months and also added a performance standard that requires the applicant to consider soil type microclimate while selecting plant materials. This should also make it easier for code enforcement purposes.	Revision
48	1.2.1.E.3	8	-	Services/Utilities	Will compost requirements be integrated?	Yes, the refuse and recycling standards are intended to regulate trash, recycling, and compost/green waste. Revised.	Revision
49	1.2.1.E.3	8	CC	Services/Utilities	Refuse needs to include compost	Revised.	Revision
50	1.2.1.E.3	8	CC	Services/Utilities	It should read "The number [and type] of containers and collection areas shall be reviewed and approved by the local disposal service"	Revised.	Revision
51	1.2.1.E, 1.3.1.C	8, 17	CC	Services/Utilities	Can we require the undergrounding of utilities for new developments?	On private property, utilities must be undergrounded per the municipal code. This should be addressed through municipal code updates.	Outside of Scope - Municipal Code
52	1.2.1.B.b	5	PC	Site Design	Please clarify 1.2.1.B.b (Townhouse Site Planning/Configuration) and the restriction on number of townhomes in a row (6 maximum). This would preclude designs such as the crescent rowhouses in Bath, England.	Typical townhomes are about 25-35 feet in width. This restriction was aimed at reducing excessively long (> 200 ft) buildings/rows of homes. We have increased the number of townhomes in a row to 10.	Revision
53			PC	Site Design	Can the ODS address RV/boat storage in yards/driveways and screening of trashcans for single-family homes?	These types of standards belongs in the zoning code and will be updated after the General Plan Update as part of the comprehensive Zoning Code Update.	Outside of Scope - Zoning Code
54	1.2.1.B	25	PC	Site Design	For townhouses that face a common central open space, it states that the central open space must be 30 feet wide. But if balconies project into the courtyard space, is the distance between balcony's enough to accommodate privacy?	We have added in an additional requirement that balconies may only project up to 5 feet into the common open space, which would allow 20 feet separation between balconies.	Revision
55	1.3.1.B.6	16	CC	Site Design	Revise dimension of internal pedestrian paths to require them to be 5 feet wide.	Revised	Revision

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#	Section	Page	PC/CC	Topic	Comment/Question	Response	Response Topic
56		12, 37	CC	Administration/ Procedures	Director approval is required for several of the standards. What is the appeals process?	The appeals process is the same as the existing appeals process for Staff decisions (10 days from the decision).	No Change - Question
57	1.1.2	3	PC	Administration/ Procedures	Why don't the ODS apply to one single-family home?	The City does not currently require Design Review for a single SFR.	No Change
58			PC	Administration/ Procedures	Can we provide a template or shortened checklist for implementation	Yes, the City will provide a checklist of the standards that will be provided to project applicants.	Outside of scope, but will be developed by City staff
59			CC	Administration/ Procedures	Can the ODS document be amended?	Yes, this is a living document that can be amended by the City as frequently as necessary.	No Change
60			CC	Administration/ Procedures	Create simplified checklist for staff to use in review process	Yes, the City will provide a simplified checklist of the standards that will be provided to project applicants.	City staff to provide
61		3	CC	Administration/ Procedures	Instead of requiring projects to meet all the standards, could we develop a scorecard with incentives for meeting certain standards or guidelines that are a higher priority to the community?	This approach was considered at the beginning of this project.It was not pursued because a scorecard system can be very complicated to develop and administer. To clarify further, we have added the following text to the document: <i>"Applicants are allowed and encouraged to provide higher quality design elements as long as they are compliant with the baseline requirements in this document."</i>	Revision
62			CC	Administration/ Procedures	Can we incentivize certain styles or standards by providing something that developers want, such as density bonuses?	A community benefits program should be a larger policy consideration that could be part of the General Plan Update. A community benefits program requires a fiscal analysis to understand whether the incentives provided are enough to fiscally justify the benefits. This would be a separate work effort in the \$25-50,000+ budget range. Another consideration is that the State Density Bonus Law already provides so many incentives and waivers, it is challenging to develop a community benefit program that could compete with SDBL. Additionally, the City is limited in terms of the incentives it can offer. Density bonuses can be achieved by using SDBL and waiving standards (not adding more requirements). Today, most projects are surface-parked in order to pencil. Adding density would push these projects to go move to structured parking which is likely not financially feasible today. Major reductions in the city 's parking standards would need to be further examined in order to utilize a density bonus as an incentive. Furthermore, an incentive-based ODS document typically starts with a low threshold for design quality and allows applicants to provide more quality in return for an incentive. The approach that has been taken in this ODS is to require high-quality design as the baseline. This is particularly important given that applicants can use the State Density Bonus Law to waive standards below the required threshold. Finally, as noted in comment #61 above, we allow for superior design that is above and beyond the minimum provided by ODS. If "superior" design can only be achieved by non-compliance with the ODS, an applicant can always go through the standard discretionary review process.	Out of Scope/No change
63			PC	Administration/ Procedures	These are mandatory standards, so exceptions would require a lot of red tape. Is that correct?	It would require following the City's standard discretionary Design Review process.	Revision
64			CC	Administration/ Procedures	Can developers still go through Design Review/PC?	Yes, applicants can choose to go through a discretionary process if they do not want to follow the ODS.	No Change - Question

CITY OF MARINA OBJECTIVE DESIGN STANDARDS
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#	Section	Page	PC/CC	Topic	Comment/Question	Response	Response Topic
65			CC	Administration/ Procedures	Can developers go above the minimum requirements?	Yes; as long as they meet the minimums and don't exceed the maximums.	No Change - Question
66	A; F	APP	PC	Style Guide	What is the difference between Asian-Inspired and Prairie style architecture? They seem very similar.	Yes, these are similar because Prairie style was influenced by Frank Lloyd Wright's visits to Japan. Example images updated.	Revision
67		APP	CC	Style Guide	ODS should state that any of the styles can be used to comply with the ODS	Revised.	Revision
68	G	APP	CC	Style Guide	Pueblo style should include plaster/stucco	Stucco is an allowed material, per the ODS.	No Change
69		APP	CC	Style Guide	Commissioner Walton does not see her community represented in colonial-era architecture which she considers racist; Walton to provide examples.	References to Spanish Colonial etc. have been changed to Spanish Revival. Examples not received from Commissioner Walton.	Revision
70		APP	CC	Style Guide	Some of the images shown in the Style Guide do not conform to the ODS (e.g., recessed windows).	Images used in the Style Guide are intended to illustrate the overall style, but may not conform to all standards in the ODS.	No Change
71		APP	CC*	Style Guide	Remove the terms "colonialism" from both the Monterey style and the Pueblo styles. I agree with Audra Walton that this term suggests eras of oppression for many people.	The description accurately refers to the historic origins of the style. But we have changed the term to "Spanish Revival" instead of "Spanish Colonial"	Revision
72	A	APP	PC	Style Guide	There are many types of Asian architecture - architectural styles in Japan are different from those in India or Thailand. Can we expand on the selection of Asian Style architecture?	Asian style is not a specific style. To the Commissioner's point, the style criteria are not representative of all the cultures in Asia. Design features in these cultures may not overlap enough for us to indicate as a part of a singular "Asian" style. Different style sheets for all Asian cultures is not recommended.	No Change
73		APP	CC	Style Guide	Can the ODS be more architecturally restrictive? If we allow all these architectural styles, we will end up with a hodge-podge of styles all of the City, which is what we currently have. Maybe we should limit it to just a few styles to encourage some more uniformity. It might encourage more of an identity for new development.	Certain cities have limited architectural styles (e.g., Santa Barbara), but it usually is based on what already exists. Marina doesn't really have a dominant architectural style(s). When we met with the Council in May 2023, we were told to honor and encourage the diversity of styles and cultures in Marina. Our recommendation would be to continue to allow architectural diversity to flourish.	No Change
74		APP	CC	Style Guide	We have a lot of Mid-Century/Ranch homes in Marina, simply because it was the cheapest way to build a home. I don't think it was because of style, but because of economics. If we narrowed this down, I would like to see Mid-Century/Ranch removed from the Style Guide.	This is a reflection of the time these buildings were constructed, and it is a more dominant style in the City. We recommend keeping it in the Style Guide.	No Change
75			CC	Layout/Photos	Add glossary of architecture terms	We have added a brief glossary of terms.	Revision
76	1.3.1.C.4	18	CC	Layout/Photos	Change refuse enclosure picture on page 18 to something less ornate. Junsay Oaks affordable CHISPA housing in Marina has a nice enclosure.	Replaced with another image.	Revision - Photos
77	A	APP	CC*	Layout/Photos	On the large photo on second page, drop down the text "Extended eaves with exposed rafter beams 3" since the text actually blocks the view of the extended eaves.	Revised	Revision
78			CC*	Layout/Photos	All pics are of gable roofing! Please vary the roofs when you are focused on other design elements. It suggests a favoring of gable roofing.	Several photos have been replaced.	Revision
79		APP	CC*	Layout/Photos	Please peruse all photos to ensure that modern pics are also represented to exemplify your points and not primarily traditional designs depicted.	Several photos have been replaced. See images with the change symbol	Revision
80	A	APP	CC	Layout/Photos	Replace the pics on the current draft version on Appendix A for #1 and #2 pic descriptions. They do not present a positive image of Asian inspired designs.	Several photos have been replaced.	Revision

Comments with * were received via email after the joint study session

PC RESOLUTION NO. 2024-01

A RESOLUTION OF THE PLANNING COMMISSION RECOMMENDING THE CITY COUNCIL ADOPT OBJECTIVE DESIGN STANDARDS (ODS) AND AMEND SECTIONS 17.04, 17.06, 17.08, 17.10, 17.12, 17.16, 17.18, 17.20, 17.44, 17.50, 17.56, AND 17.66 OF THE MARINA MUNICIPAL CODE (MMC) AND SECTIONS 4.2 AND 4.26.4 OF THE 2000 GENERAL PLAN. THE PROPOSED ODS AND ASSOCIATED MMC AND GENERAL PLAN AMENDMENTS ARE EXEMPT FROM ENVIRONMENTAL REVIEW PER § 15061(b)(3) OF THE CEQA GUIDELINES.

WHEREAS, recent changes to the State law (primarily the Housing Crisis Act of 2019, also known as SB 330) make it difficult to deny or reduce the density of housing projects that meet objective standards and require expedited processing of qualifying projects (*SB35 / AB2162*);

WHEREAS, ODS have been defined in State law as Standards that involve no personal or subjective judgement by a public official and are uniformly verifiable by reference to an external and uniform benchmark or criterion available and knowable by both the development applicant and public official prior to submittal (SB 330);

WHEREAS, with funding through the City's Regional Early Action Planning (REAP) grant (\$65,000) and the City's Community Development Department (CDD) from increased license and permit revenues within the Building Inspection Department, the City was able to contract with Raimi+Associates to prepare Objective Design Standards;

WHEREAS, after receiving input from Marina residents, community stakeholders, the Planning Commission and the City Council, draft ODS have been prepared by the City's consultant, Raimi+Associates, and included herein as **Exhibit A**;

WHEREAS, at the request of the City Council, the consultant team also prepared a Style Guide (**Exhibit B**) to assist designers in achieving consistency of style throughout a project. It is noted that architectural style is the choice of the applicant and style should not hinder the designer's ability to meet the minimum ODS to qualify for ministerial review under SB 330;

WHEREAS, in order for the ODS to be consistent with the Title 17 of the Marina Municipal Code (MMC) and the 2000 General Plan (Sections 4.2 and 4.26.4), several amendments are required and included herein as **Exhibits C and D**, respectively;

WHEREAS, in the event that an applicant cannot or chooses not to utilize the ODS, the standard discretionary design review process will continue to be available;

WHEREAS, the Planning Commission finds that the proposed Municipal Code amendments comply with the findings set forth in Section 4 of Exhibit C, attached hereto;

WHEREAS, the Planning Commission finds that the proposed General Plan Amendment complies with the findings set forth in Exhibit A to Exhibit D, attached hereto; and

WHEREAS, the Planning Commission finds the proposed ODS is exempt from environmental review per § 15061(b)(3) of the CEQA Guidelines as described in **Exhibit E**.

NOW, THEREFORE BE IT RESOLVED by the Planning Commission of the City of Marina, that it hereby recommends the City Council:

- 1) Consider removing *D. Monterey* from the Architectural Style Guidelines (Appendix A) due to its reference to and promulgation of settler colonial attitudes potentially harmful to Marina residents, both past and present;
- 2) Incorporate Sec. 1.1.4 of the draft ODS which was inadvertently omitted from the online Planning Commission package. This Section refers to the discretionary review process which will remain an option for developers who choose not to utilize the ODS;
- 2) Find that the proposed ODS, Municipal Code Amendments, and General Plan Amendment are exempt from CEQA under section 15061(b)(3) of the CEQA Guidelines;
- 3) Adopt the draft Objective Design Standards (ODS) as provided pending amendments to the General Plan (2000) and Title 17 of the Marina Municipal Code (MMC) as required;
- 4) Introduce and adopt the proposed Municipal Code Amendments; and
- 5) Adopt the proposed General Plan Amendment.

PASSED AND ADOPTED by the Planning Commission of the City of Marina at a regular meeting duly held on the 22nd of February, 2024, by the following vote:

AYES, COMMISSIONERS: HUR, WALTON, ST. JOHN, JACOBSEN, WOODSON

NOES, COMMISSIONERS: NONE

ABSENT, COMMISSIONERS: RANA

ABSTAIN, COMMISSIONERS: NONE

ATTEST:


Guido Persicone, Director

Glenn J Woodson

Digitally signed by Glenn J Woodson
DN: cn=Glenn J Woodson, o=City of Marina, email=glenn.woodson@gmail.com, c=US
Date: 2024.02.27 11:32:19 -08'00'

Glenn Woodson, Chair

Exhibits

The complete PC packet with all exhibits can be obtained from the Agenda Center website:

<https://www.cityofmarina.org/AgendaCenter/ViewFile/Item/1320?fileID=6755>

ORDINANCE NO. 2024-__

AN ORDINANCE AMENDING MARINA MUNICIPAL CODE SECTIONS 17.04 (DEFINITIONS), ARTICLE 2 (ZONING DISTRICTS, USES AND DEVELOPMENT STANDARDS), ARTICLE 4 (REGULATIONS AND STANDARDS APPLICABLE TO ALL ZONES), AND ARTICLE 5 (REGULATIONS FOR SPECIFIC LAND USES) TO ACCOMMODATE THE ADOPTION OF OBJECTIVE DESIGN STANDARDS (ODS). THE ZONING AMENDMENTS ARE EXEMPT FROM CEQA PER § 15061(B)(3), THE “COMMON SENSE” EXEMPTION.

-oOo-

1. In September 2022, the City Council authorized an agreement with consulting firm Raimi+Associates (R+A) to prepare Objective Design Standards (ODS) to bring the City into compliance with Senate Bill (SB) 330, also known as the Housing Crisis Act of 2019, which went into effect statewide in January 2020.

2. Since approval of the agreement, the City’s Community Development Department (CDD) has been working with R+A to engage Marina citizens and developer stakeholders in the preparation of draft ODS. This engagement has included a dedicated City web page, social media blasts with links to online questionnaires and project updates, two (2) public study sessions with the Planning Commission and City Council, and tabling efforts at several City events over the past year.

3. Through this proposed amendment, staff seeks to modify and add sections to the Marina Municipal Code (MMC) to assist the City in its obligation to provide timely service and clear regulations that expedite qualified housing projects as required by the Housing Accountability Act (Government Code (GC) §§ 65913 et seq.).

4. This amendment is needed to enact necessary MMC references to the ODS which will stand on its own as an independent regulatory document. There will be additional MMC amendments coming forward that will further clarify and streamline processes, but are not necessary at this point in time.

5. An amendment to these Sections of the MMC is needed to provide clarity,

transparency, and compliance with state law. The proposed ordinance amendments are referenced herein under SECTION 3. and are provided in a ~~strike~~through and underline format. Findings for the proposed amendment are included herein.

6. The City of Marina Planning Commission, at a duly noticed public hearing on _____, 2024, and consistent with GC 65090, adopted Resolution 2024-_____, recommending that the City Council adopt the proposed amendments.

7. The City Council reviewed the proposed amendments and considered the recommendations of the Planning Commission and held a duly noticed public hearing on _____, 2024.

8. Environmental. In accordance with the California Environmental Quality Act (CEQA), this ordinance is not subject to CEQA pursuant to the State CEQA Guidelines, California Code of Regulations, Title 14, Article 5, Section 15061(b)(3) because the proposed ordinance is covered by the general rule that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Therefore, the adoption of this ordinance is exempt from CEQA and no further environmental review is necessary.

NOW, THE CITY COUNCIL OF THE CITY OF MARINA DOES HEREBY ORDAIN
AS FOLLOWS:

SECTION 1. The foregoing recitals are adopted as findings of the City Council as though set forth fully herein.

SECTION 2. The City Council of the City of Marina determines the proposed ordinance amendment is exempt from the California Environmental Quality Act pursuant to CEQA Guideline Section 15061(b)(3).

SECTION 3. The City Council hereby adopts the ordinance amendments as follows noting that ~~strike~~through and underlined sections refer to those that are recommended for

deletion or addition, respectively:

Article 1
17.04
DEFINITIONS

...

17.04.440 Hotel, resort.

17.04.440.1

“Housing Development Project” as defined in California Government Code Section 65589.5, means a use consisting of residential units only, mixed-use developments consisting of residential and non-residential uses with at least two-thirds of the square footage designated for residential use, and transitional or supportive housing projects.

17.04.441 Junior accessory dwelling unit.

...

Article 2
Chapter 17.06
R-1 OR SINGLE-FAMILY RESIDENTIAL DISTRICT

17.06.010 Generally. The regulations in this chapter shall apply in all R-1 districts and shall be subject to the provisions of Chapter [17.42](#).

17.06.015 Design Standards. Housing Development Projects, as defined in Chapter 17.04 (Definitions) shall comply with the City of Marina Objective Design Standards.

17.06.020 Permitted uses.

...

Chapter 17.08
R-2 OR DUPLEX RESIDENTIAL DISTRICT

17.08.010 Generally. The regulations in this chapter shall apply in all R-2 districts and shall be subject to the provisions of Chapter [17.42](#).

17.08.015 Design Standards. Housing Development Projects, as defined in Chapter 17.04 (Definitions) shall comply with the City of Marina Objective Design Standards.

17.08.020 Permitted uses.

...

Chapter 17.10

R-3 OR LIMITED MULTI-FAMILY RESIDENTIAL DISTRICT

17.10.010 Generally. The regulations in this chapter shall apply in all R-3 districts and shall be subject to the provisions of Chapter [17.42](#).

17.10.015 Design Standards. Housing Development Projects, as defined in Chapter 17.04 (Definitions) shall comply with the City of Marina Objective Design Standards.

17.10.020 Permitted uses.

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Chapter 17.12

R-4 OR RESIDENTIAL MULTI-FAMILY DISTRICT

17.12.010 Generally. The regulations in this chapter shall apply in all R-4 districts and shall be subject to the provisions of Chapter [17.42](#).

17.12.015 Design Standards. Housing Development Projects, as defined in Chapter 17.04 (Definitions) shall comply with the City of Marina Objective Design Standards.

17.12.020 Permitted uses.

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Chapter 17.12.190.F

ALTERNATIVE REGULATIONS FOR SMALL-LOT SINGLE-FAMILY DWELLINGS

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E. Private open space shall be provided at the rate of ten percent of each dwelling's habitable floor area or one hundred twenty square feet, whichever is greater, on patios, decks, balconies, atriums or other outdoor private areas contiguous with and directly accessible from the unit, with a minimum width of six feet and at least one dimension of not less than ten feet. Developments approved pursuant to this section prior to the effective date of the ordinance codified in this chapter shall be considered conforming to this section.

~~F. The minimum building site area or the minimum site width in subsections [A](#) and [B](#), respectively, of this section shall be increased as determined necessary by the advisory agency or the city council to compensate for any loss in usability of the building site due to topography or easements within the boundary of the building site.~~

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Chapter 17.16

C-R COMMERCIAL/MULTIPLE-FAMILY RESIDENTIAL DISTRICT

17.16.010 Generally. The regulations in this chapter shall apply in all C-R districts and shall be subject to the provisions of Chapter [17.42](#).

17.16.015 Design Standards. Housing Development Projects, as defined in Chapter 17.04 (Definitions) shall comply with the City of Marina Objective Design Standards.

17.16.020 Permitted uses.

...

17.16.170 Development standards – Mixed use developments

...

C. *Reduced Parking.* Notwithstanding the parking requirements of Chapter [17.44](#), no covered or guest parking shall be required for residential uses that are part of a mixed use development.

D. *Site and Architectural Design Review.* If a mixed-use project goes through a discretionary review process, ~~The design review approval of mixed use projects~~ shall be based upon the following criteria:

1. Promoting internal compatibility between the different uses on the same site;
2. Minimizing effects potentially detrimental to on-site or neighboring residential use such as, but not limited to, potential noise, glare and odors;
3. Ensuring that the design of residential units of a mixed use development is of a residential character, and that privacy between residential units and between other uses on the site is maximized through careful siting and design;
4. Encouraging integration of the street pedestrian environment with retail commercial uses on the site through the use of plazas, courtyards, walkways, and street furniture.

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Chapter 17.18

C-1 OR RETAIL BUSINESS DISTRICT

17.18.010 Generally. The regulations in this chapter shall apply in all C-1 districts and shall be subject to the provisions of Chapter [17.42](#).

17.18.015 Design Standards. Housing Development Projects, as defined in Chapter 17.04 (Definitions) shall comply with the City of Marina Objective Design Standards.

17.18.020 Permitted uses.

...

C. Residential Maximum Density and Floor Area Limitation. Residential dwellings are permitted a maximum density of twenty-five units per acre as part of a mixed-use development. Floor area for residential use shall not exceed ~~fifty~~ seventy percent of the total gross floor area of a mixed-use development ~~within the “core area” as defined by the Marina General Plan, and shall not exceed seventy percent outside this core area. Notwithstanding this limitation, residential floor areas can be increased to sixty percent within the core area, where at least fifteen percent of the total dwellings are targeted as affordable to lower and moderate income households, in addition to any affordable housing that may be required pursuant to a development’s inclusionary housing requirement.~~

D. Reduced Parking. Notwithstanding the parking requirements of Chapter [17.44](#), no covered or guest parking shall be required for residential uses that are part of a mixed use development.

E. Site and Architectural Design Review. If a mixed-use project goes through a discretionary review process, The design review approval ~~of mixed use projects~~ shall be based upon the following criteria:

1. Promoting internal compatibility between the different uses on the same site;
2. Ensuring that the design of residential units of a mixed use development is of a residential character, and that privacy between residential units and between other uses on the site is maximized through careful siting and design;
3. Encouraging integration of the street pedestrian environment with retail commercial uses on the site through the use of plazas, courtyards, walkways, and street furniture.

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Chapter 17.20

C-2 OR GENERAL COMMERCIAL DISTRICT

17.20.010 Generally. The regulations in this chapter shall apply in all C-2 districts and shall be subject to the provisions of Chapter [17.42](#).

17.20.015 Design Standards. Housing Development Projects, as defined in Chapter 17.04 (Definitions) shall comply with the City of Marina Objective Design Standards.

17.20.020 Permitted uses.

...

Article 4
Chapter 17.44
Parking Requirements

17.44.010. Generally. All uses permitted by this title shall provide minimum parking in accordance with the formulas in this chapter. Parking for Housing Development Projects, as defined in 17.04.440.1, shall rely on the Marina ODS in terms of layout and design.

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Article 5
Chapter 17.50
Criteria and Standards for Low Income Senior Citizens' Apartment Projects

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17.50.120 Setbacks and special yards.

A. For low-income senior citizens' apartment projects with from sixteen to twenty dwelling units, the minimum setbacks and special yards shall be as required in the underlying zone.

B. For low income senior citizens' apartment projects with more than twenty dwelling units, the minimum front, side, rear and special yard requirements of the underlying district and the locational requirements for accessory buildings in the general zoning regulations shall be superseded by a requirement of a minimum ten-foot setback around the periphery of the project site; ~~provided, however, that nothing contained in this section shall limit the authority of the planning commission or the city council on appeal to require a greater setback.~~ Encroachments of up to five feet into said ten-foot perimeter may be approved by the planning commission or the city council on appeal, as follows:

1. Encroachments shall be limited to surface parking spaces, open or covered decks or patios, portions of buildings which are single-story and do not exceed sixteen feet in height, or portions of two-story structures where the use of the second-story space is limited to passive living activities, i.e., sleeping or bathing areas of a dwelling.

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17.50.160 Parking.

At least 0.8 parking spaces shall be provided for each one-bedroom or studio unit, ~~eighty percent of which shall be covered.~~ Furthermore, space should be reserved on site to provide at least 0.2 additional parking spaces per unit should the need arise. ~~During the use permit consideration, the planning commission or city council on appeal shall have the discretion to reduce or increase the amount of reserved parking area required. Also, the planning commission or the city council on appeal shall consider on-street parking congestion and availability in the neighborhood of a proposed project in order to determine whether greater off-street parking shall be required than the minimum standards listed in this section.~~

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Article 6

Administration, Enforcement and Penalties

17.56.050 Generally. All qualified Housing Development Projects as defined in 17.04.440.1 and under state law shall be ministerially reviewed and approved.

...

17.56.010 Site and architectural design review board – Approval required when.

The Marina planning commission shall appoint a site and architectural design review board, hereinafter referred to as the board, as a subcommittee of the Marina planning commission. The board shall have the power to review and make recommendations to the planning commission regarding all applications for developments in the city. A building permit shall not be issued for any of the following uses until site and architectural design approval has been obtained: public buildings and grounds; public and private schools; colleges, libraries, art galleries, and museums; public and private hospitals and other institutions; churches and other religious buildings and grounds; clubs, lodges, mortuaries, meeting halls, and other places of public assembly; motels and hotels; office buildings; all commercial and industrial uses; mobile home parks; parking lots; public utility structures and installations, except poles and towers carrying overhead lines; ~~and more than one dwelling unit on a single parcel; and one dwelling unit on a single parcel where said parcel abuts upon and has legal access to two or more non-intersecting public streets.~~ Also, no occupancy permit shall be issued pursuant to Title [15](#) for civilian reuse projects on former United States military land until site and architectural design approval has been obtained. All housing development projects, as defined in Chapter 17.04 (Definitions) that meet objective zoning and design standards per the City of Marina Objective Design Standards shall be reviewed ministerially at Staff level.

...

Chapter 17.66

Development Standards for Condominium/Planned Development Projects and Condominium Conversions

...

17.66.020.C. *Pedestrian Walkways.* Public sidewalks shall be provided along both sides of any public street within the boundary of the project and along any public street abutting the project site in accordance with city standards. An internal pedestrian walkway system shall be provided which connects each unit and each building with the project with public sidewalk system in accordance with a plan reviewed and approved by the design review board and in accordance with ~~adopted design guidelines~~ the City of Marina Objective Design Standards. A minor driveway may serve purposes of a walkway system for the connection of up to four units.

...

17.66.050 All landscaping shall comply with MMC Section 8.04.310 (Model water efficient landscaping ordinance requirements), the Landscape and Irrigation Plan submittal requirements approved by the design review board in accordance with adopted design guidelines. Landscaping¹ and landscape irrigation system shall be installed and maintained in compliance with approved^{be} plans to the satisfaction of the planning director. No change shall be made subsequently without the review and approval of the planning director.

...

SECTION 4. Findings. City Council finds the proposed Code amendments compliant with the General Plan and the Marina Municipal Code as follows:

General Plan Compliance

1) General Plan Policy 2.28 – Affordable Housing

Under California law, each community also has the responsibility to provide housing affordable to all income groups. The California Department of Housing and Community Development assigns a share of what it projects to be the statewide housing need to each region in the state. In the Monterey Bay area, AMBAG then allocates the region's statewide share to local jurisdictions through its Regional Housing Needs Plan. These housing targets are subsequently incorporated into the jurisdictions' general plans through updates of their housing elements. Through implementation of its Housing Element policies and programs, Marina will continue to enhance the local supply of affordable housing and meet the housing needs of special-needs populations.

Evidence: The adoption of Objective Design Standards (ODS) will support the City's requirements and obligations to providing a streamlined path toward the development of both market rate and affordable housing units.

2) General Plan Policy 2.31 et al – Housing Policies.

The 2000 General Plan contains a variety of policies aimed at providing high-quality housing for all incomes with an emphasis on the provision of open space, amenities and designs that accentuate and enhance the existing neighborhoods.

Evidence: The ODS will ensure that minimum standards are incorporated into projects to which ODS will apply. The ODS in no way limits a developer from proposing an enhanced design that exceeds the minimum design standards and the existing discretionary review process will remain in place for developers who prefer to utilize it.

3) Draft 6th Cycle Housing Element – Program 3.3 Design Review Process and Requirements

Evidence: The utilization of ODS is reflected in Program 3.3 of the City's 6th Cycle HE which is pending HCD's approval at the time of this writing. Furthermore, the adoption of ODS by local jurisdictions was required by state law effective in 2020.

Zoning Compliance

- 1) Lateral consistency with Marina Municipal Code (MMC) Title 17, Article 1. General Provisions (Ch. 17.04 – Definitions), Article 2. Zoning Districts, Uses and Development Standards (Chs. 17.06, 17.08, 17.10, 17.12, 17.16, 17.18, 17.20), Article 4. Regulations and Standards Applicable to All Zones (Ch. 17.44), Article 5. Regulations for Specific Land Uses (Chs. 17.50, 17.56, 17.66), and Article 6. Administration, Enforcement and Penalties.

Evidence: The proposed changes to the above sections are intended to bring the MMC into compliance with State law addressing Objective Design Standards. No mapping or individual property changes are proposed.

- 2) Compliance with Section 17.40 – Coastal Zoning

Evidence: The proposed ODS will not be in effect in the Coastal zone until such time as a Local Coastal Program (LCP) amendment is approved by the City Council and certified by the California Coastal Commission.

- 3) Compliance with Section 17.72.010

“This title may be amended by changing the boundaries of districts or by changing any other provision thereof whenever the public necessity and convenience and the general welfare require such amendment by following the procedure of this chapter.”

Evidence: The amendment will not change boundaries of districts but will amend text throughout Title 17 in an effort to aid in the City’s ongoing compliance with housing regulations that are constantly changing at the State level, in this case, consistency with California Government Code section 65589.5 and others. The proposed amendments are a public necessity and are undertaken in accordance with the procedure of this chapter.

SECTION 5. Severability. If any portion of this Ordinance is found to be unconstitutional or invalid the City Council hereby declares that it would have enacted the remainder of this Ordinance regardless of the absence of any such invalid part.

SECTION 6. The City Manager is directed to execute all documents and to perform all other necessary acts to implement this Ordinance.

SECTION 7. Effective Date. This Ordinance shall be in full force and effect thirty (30) days after its final passage and adoption.

I HEREBY CERTIFY that the foregoing is a true and correct copy of an Ordinance passed and adopted by the City Council of the City of Marina at a meeting thereof on _____, 2024, by the following vote:

AYES: COUNCIL MEMBERS:

NOES: COUNCIL MEMBERS:

ABSENT: COUNCIL MEMBERS:

ABSTAIN: COUNCIL MEMBERS:

Bruce C. Delgado, Mayor

ATTEST:

Anita Sharp, Deputy City Clerk

RESOLUTION NO. 2024-__

A RESOLUTION OF THE CITY COUNCIL AMENDING SECTIONS 4.2 AND 4.26.4 OF THE “COMMUNITY DESIGN & DEVELOPMENT ELEMENT” OF THE GENERAL PLAN TO ACCOMMODATE OBJECTIVE DESIGN STANDARDS (ODS). THIS GENERAL PLAN AMENDMENT IS EXEMPT FROM ENVIRONMENTAL REVIEW PER SECTION 15061(b)(3) OF THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) GUIDELINES.

WHEREAS, the City of Marina (City) endeavors to be in compliance with the Housing Accountability Act and other State housing laws and, as such, has prepared Objective Design Standards (ODS) that will assist in creating a streamlined ministerial review for all new multi-family and residential mixed-use housing projects that qualify; and

WHEREAS, the ODS will facilitate context-appropriate, high-quality design by bringing consistency and clarity to project review and permitting; and

WHEREAS, in addition to amendments to Title 17 of the Marina Municipal Code (MMC), the City’s 2000 General Pan should be amended to include reference to the ODS in addition to the City’s Design Guidelines and Standards in Sec. 4.2 and specific design standards in Sec. 4.26.4, as adopted by reference herein (**Exhibit A**); and

WHEREAS, the Planning Commission, at a duly noticed public hearing on February 22, 2024, and in accordance to GC 65090, adopted PC Resolution 24-01 recommending that the City Council amend the referenced section as presented; and

WHEREAS, adoption of a minor amendment to Sections 4.2 and 4.26.4 of the General Plan will not result in a significant negative impact to the environment and is exempt from environmental review per Section 15061(b)(3) of the California Environmental Quality Act (CEQA) Guidelines; and

NOW THEREFORE, BE IT RESOLVED that the City Council does hereby:

1. Find that the foregoing recitals are adopted as findings of the City Council as though set forth fully herein.
2. Determine the proposed General Plan Amendment is exempt from the California Environmental Quality Act pursuant to CEQA Guideline Section 15061(b)(3).
3. Make the findings set forth in **Exhibit B**, attached hereto, and adopt the amendments to the 2000 General Plan, Sections 4.2 and 4.26.4, as set forth hereto in **Exhibit A**

PASSED AND ADOPTED by the City Council of the City of Marina at a regular meeting duly held on the 7th day of March 2023, by the following vote:

AYES, COUNCIL MEMBERS:
NOES, COUNCIL MEMBERS:
ABSENT, COUNCIL MEMBERS:
ABSTAIN, COUNCIL MEMBERS:

Bruce Delgado, Mayor

ATTEST:

Anita Shepard-Sharp, Deputy City Clerk

Exhibit A

Existing General Plan (2000) to be amended as depicted in underline and ~~strikeout~~:

Community Design & Development Element

Function and Content

...

- 4.2** The policies of this element cut across and relate in some manner or other to all 17 Framework Policies of Chapter 2. Aesthetics and appearance, functional concerns, environmental protection and enhancement, and safety and security concerns are all addressed. This element thus serves as the complement to both the Community Land Use and Community Infrastructure elements. The Land Use Element defines how the city's land supply is to be used; the Infrastructure Element identifies what essential community services and facilities are to be provided; and the Community Design and Development Element establishes the physical design and construction requirements to accommodate the permitted uses and required infrastructure. Complementing and implementing the Community Design and Development Element are the City's Design Guidelines and Standards for Landscape, Lighting, Site and Parking Lot Design. For multi-family and residential mixed-use developments that qualify as Housing Development Projects as defined in Title 17 of the Marina Municipal Code, building design and site layout shall be to the City's adopted Objective Design Standards. These guidelines establish detailed landscaping, lighting, sign and parking lot requirements for development projects and should be consulted and applied as appropriate to all applicable projects (as identified in the Design Guidelines and Standards).

...

- 4.26.4** So as to avoid impeding local pedestrian and vehicular travel, block lengths for new subdivisions should not ~~normally~~ exceed ~~350~~ 400 feet and ~~only rarely~~ 450 feet. When block lengths exceed ~~450~~ 400 feet, in existing subdivisions, for example, short mid-block alleys should be provided for emergency vehicle access and mid-block paths should be provided for pedestrians and bicyclists. Where cul-de-sacs are proposed, connecting paths for pedestrians and bicyclists shall be provided to link neighborhoods, to connect residential and commercial areas and/or to provide pedestrian/bicyclist access to parks and schools.

Exhibit B

Findings

The following standard findings should be made for each General Plan amendment (the finding is in *italics* and staff's justification follows):

- *The proposed amendment is deemed in the public interest.*

The adoption of these minor General Plan text amendments will facilitate the implementation of Objective Design Standards (ODS) as required by the California Housing Accountability Act. This will streamline the provision of all types of qualifying residential development which is in the public interest throughout the state of California.

- *The proposed amendment is consistent and compatible with the rest of the General Plan and any implementation programs that may be affected.*

The two (2) minor amendments are consistent with other sections of the General Plan and will cause these design-related sections to reference the ODS as necessary.

- *The potential impacts of the proposed amendment have been assessed and have been determined not to be detrimental to the public health, safety, or welfare.*

The proposed amendment will be beneficial to public health, safety, and welfare as it will provide a clear, consistent, and streamlined process for the review and permitting of qualified Housing Development Projects.

- *The proposed amendment has processed in accordance with the applicable provisions of the California Environmental Quality Act (CEQA).*

The adoption of this Resolution and minor amendments to Sections 4.2 and 4.26.4 of the General Plan will not result in a significant negative impact to the environment and is exempt from environmental review per Section 15061(b)(3) of the California Environmental Quality Act (CEQA) Guidelines.



Rincon Consultants, Inc.

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Monterey, California 93940

831 333 0310

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www.rinconconsultants.com

December 13, 2023
Project No: 22-13264

Alyson Hunter, AICP, Planning Services Manager
City of Marina
Community Development Department
211 Hillcrest Avenue
Marina, California 93933
Via email: ahunter@cityofmarina.org

Subject: CEQA Exemption Memorandum for Marina Objective Design Standards – City of Marina, Monterey County, California

Dear Ms. Hunter:

This memorandum provides an analysis to support the determination by the City of Marina (the lead agency) that the proposed Marina Objective Design Standards (ODS) are exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15061(b)(3) (“general rule” or “common sense”). This memorandum discusses the background of the proposed ODS, the requirements to apply the common sense exemption under CEQA, and the applicability of the common sense exemption to the proposed ODS.

Objective Design Standards Background

California State housing legislation requires local jurisdictions to develop objective design standards to facilitate housing development. This legislation includes Senate Bill 35, the Streamlined Affordable Housing Act (2016), which requires the approval of qualified housing projects based on objective regulatory standards, and Senate Bill 330, the Housing Crisis Act (2019), which prohibits imposing or enforcing new design standards on or after January 1, 2020 that are not objective.

Objective design standards, as opposed to subjective standards, are defined under state law as “standards that involve no personal or subjective judgement by a public official and are uniformly verifiable by reference to an external and uniform benchmark or criterion available and knowable by both the development applicant or proponent and the public official prior to submittal” (California Government Code Section 65913.4). An objective design standard can be verified by referencing established criteria. An example of an objective design standard from the proposed Marina ODS is “primary colors shall be used on the majority of the building surface.” This is different than a subjective design standard, which could be “colors of the building surface shall be consistent with existing development.” The latter, subjective design standard would require judgement from a public official, whereas the use of primary colors on the building surface can be objectively verified by both the public official and the development applicant.

The City of Marina intends to comply with recent state housing legislation and develop and adopt the City’s ODS. These standards specify design elements that are required for all multi-family residential projects, residential mixed-use projects, and new single-family residential projects of two or more units in the inland portions of the city. The intent of the ODS is to allow flexibility and creativity in design, while also providing a clear set of standards and design expectations for single-family residential,



multi-family residential, and residential mixed-use projects that align with the City's objectives. The ODS is a policy document that would replace the City's existing Design Guidelines and Standards, adopted in 2001. The ODS would apply to areas within the city of Marina outside of the Coastal Zone at this time.

The Common Sense Exemption

The proposed ODS are being initiated by the City of Marina and would require discretionary approval from the City. Therefore, pursuant to CEQA Guidelines Section 15060(c), this activity is potentially considered a project under CEQA. Pursuant to CEQA Guidelines Section 15061(a), the lead agency (in this case, the City of Marina) shall determine whether the project is exempt from CEQA.

Pursuant to CEQA Guidelines Section 15061(b), a project is exempt from CEQA if:

- (1) The project is exempt by statute (see, e.g. Article 18, commencing with Section 15260).
- (2) The project is exempt pursuant to a categorical exemption (see Article 19, commencing with Section 15300 [of the CEQA Guidelines]) and the application of that categorical exemption is not barred by one of the exceptions set forth in Section 15300.2.
- (3) The activity is covered by the common sense exemption that CEQA applies only to projects which have the potential for causing a significant effect on the environment. Where it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment, the activity is not subject to CEQA.
- (4) The project will be rejected or disapproved by a public agency. (See Section 15270(b)).
- (5) The project is exempt pursuant to the provisions of Article 12.5 of this Chapter.

As stated in CEQA Guidelines 15061(b)(3), where it can be seen with certainty that there is no possibility that the activity would result in a significant effect on the environment, the activity is not subject to CEQA. "A project that qualifies for neither a statutory nor a categorical exemption may nonetheless be found exempt under what is sometimes called the 'common sense' exemption, which applies '[w]here it can be seen with certainty that there is no possibility that the activity in question may have a significant effect on the environment'." (*Muzzy Ranch* at 380, citing CEQA Guidelines, § 15061(b)(3), and *Davidon Homes v. City of San Jose* (1997) 54 Cal.App.4th 106, 113–118). Whether a particular activity qualifies for the commonsense exemption presents an issue of fact. Substantial evidence supporting the exemption may be found in the information submitted in connection with the project to support that the agency considered reasonably foreseeable physical changes in the environment and the resulting possible environmental impacts in reaching its decision. (*Wal-Mart Stores, Inc. v. City of Turlock* (2006) 138 Cal.App.4th 273, 291; *CREED-21 v. City of San Diego* (2015) 234 Cal.App.4th 488, 510-512).

The following analysis demonstrates that the ODS, as a policy document, would not have the potential to cause a significant effect on the environment and the common sense exemption applies.

Exemption Analysis and Applicability

As stated under *Objective Design Standards Background* above, the ODS is a policy document that would replace the City's 2001 Design Guidelines and Standards. The ODS do not include specific development projects; rather, they establish design standards for future residential development in Marina. Additionally, the ODS would not require zoning or land use changes as part of its adoption or implementation, which could result in physical changes to the environment. Therefore, the ODS would not facilitate housing development. Future housing development within Marina would be subject to separate environmental review under CEQA and would be subject to compliance with the established

regulatory framework, including federal, state, regional, and local regulations (e.g., Marina General Plan policies and Marina Municipal Code standards). Future housing development would also be subject to development review by the City.

Therefore, because the activity in question would involve adoption of a policy document which does not, in and of itself, include any proposed development, and would not require rezoning or facilitate development, there is no possibility that the ODS would have a significant effect on the environment, and they are not subject to CEQA.

Below is a brief analysis that demonstrates adoption of the ODS would not result in a direct or reasonably foreseeable indirect physical change in the environment. Environmental resources discussed are those on the *CEQA Guidelines* Appendix G Checklist. Since the ODS would not in and of itself include any proposed development or changes to the physical environment, the following analysis is provided for informational purposes only.

- **Aesthetics.** Adoption of the ODS would involve replacing the City's existing Design Guidelines and Standards and would not, in and of itself, include any proposed development. The proposed ODS would not involve rezoning and would not facilitate development. As such, its implementation would not cause a substantial adverse effect on a scenic vista, damage scenic resources within a state scenic highway, create a new source of substantial light or glare, or otherwise alter the existing visual character of the city. Therefore, there is no possibility that the ODS would have a significant effect on the environment, and no significant effect to aesthetics would occur.
- **Agriculture and Forestry Resources, Biological Resources, Cultural Resources, Geology and Soils, Mineral Resources, and Tribal Cultural Resources.** Adoption of the ODS would involve replacing the City's existing Design Guidelines and Standards and would not, in and of itself, include any proposed development or rezoning. The ODS would not directly or indirectly involve land use changes or ground disturbance that would convert agricultural land to non-agricultural use; result in the loss or conversion of forest land; result in a substantial adverse effect to special status species, habitat, or wildlife movement; cause a substantial adverse change in the significance of a historic or archaeological resource, or human remains; cause substantial adverse effects related to seismicity, ground failure, erosion, or geologic stability; result in the loss of availability of a mineral resource; or cause a substantial adverse change in the significance of a tribal cultural resource. Therefore, there is no possibility that the ODS would have a significant effect on the environment. No significant effect to agriculture and forestry resources, biological resources, cultural resources, geology and soils, mineral resources, or tribal cultural resources would occur.
- **Air Quality, Energy, Greenhouse Gas Emissions, Noise, and Transportation.** Adoption of the ODS would involve replacing the City's existing Design Standards and Guidelines and would not, in and of itself, include any proposed development or rezoning. The ODS would not directly or indirectly involve construction or operational activities that would generate pollutant emissions, greenhouse gas emissions or noise, and would not directly or indirectly involve activities that increase energy demand, demand for transportation facilities, or vehicle trips. There is no possibility that the ODS would have a significant effect on the environment, and no significant effect to air quality, energy, greenhouse gas emissions, noise, or transportation would occur.
- **Hazards and Hazardous Materials, Hydrology and Water Quality.** Adoption of the ODS would involve replacing the City's existing Design Guidelines and Standards and would not, in and of itself, include any proposed development or rezoning. The ODS would not directly or indirectly involve the transport, use, or disposal of hazardous materials, nor create a significant hazard to the public or environment. Similarly, the ODS would not involve changes in land use or

ground disturbance that would violate water quality standards, substantially decrease groundwater supplies, substantially alter existing drainage patterns, or release pollutants in a flood hazard, tsunami, or seiche zone. There is no possibility that the ODS would result in a significant effect on the environment. No significant effect to hazards and hazardous materials or hydrology and water quality would occur.

- **Land Use and Planning.** Adoption of the ODS would involve replacing the City's existing Design Guidelines and Standards and would not, in and of itself, include any proposed development or rezoning. The ODS would not involve changes to the physical environment that would physically divide an established community, or result in conflicts with adopted policies and regulations that intend to avoid or mitigate and environmental effect. Therefore, there is no possibility that the ODS would have a significant effect on the environment, and no significant effect to land use and planning would occur.
- **Population and Housing, Public Services, Recreation, and Utilities and Service Systems.** Adoption of the ODS would involve replacing the City's existing Design Guidelines and Standards and does not, in and of itself, include any proposed development or rezoning. The ODS would not induce substantial unplanned population growth or displace substantial numbers of existing people or housing; result in substantial adverse physical impacts associated with the provision of new or physically altered government facilities; or result in physical deterioration of existing parks or recreation facilities. Similarly, the ODS would not require or result in the relocation or construction of new or expanded water, wastewater treatment or stormwater drainage, electric power, natural gas, or telecommunication facilities; nor generate demand for water supply or solid waste service. As such, there is no possibility that the ODS would have a significant effect on the environment and no significant effect to population and housing, public services, recreation, and utilities and service systems would occur.
- **Wildfire.** Adoption of the ODS would involve replacing the City's existing Design Guidelines and Standards and would not, in and of itself, include any proposed development. The ODS would not impair an adopted emergency response plan or emergency evacuation plan; exacerbate wildfire risks; require the installation or maintenance of infrastructure that may exacerbate fire risks; or expose people or structures to significant risks as a result of post fire slope instability or drainage changes. As such, there is no possibility that the ODS would have a significant effect on the environment, and no significant effect to wildfire would occur.

As discussed above, the ODS would not facilitate specific development projects nor require zoning or land use changes as part of its adoption or implementation, which could result in physical changes to the environment. As demonstrated above, the ODS would not result in a direct or reasonably foreseeable indirect physical change in the environment and they are not subject to CEQA, pursuant to CEQA Guidelines Section 15060(c)(2). Additionally, as demonstrated above, it can be seen with certainty that there is no possibility that the ODS would have a significant effect on the environment and it is not subject to CEQA, pursuant to Section 15061(b)(3) of the CEQA Guidelines. As such, the proposed ODS meet the criteria for the common sense exemption as identified above.



Determination

Based on this analysis documented in this memorandum, the proposed ODS meet the criteria for a common sense exemption pursuant to Section 15061(b)(3) of the CEQA Guidelines.

Sincerely,

Rincon Consultants, Inc.

A handwritten signature in blue ink that reads "Kayleigh Limbach".

Kayleigh Limbach, Environmental Planner
Project Manager
831-753-3190
klimbach@rinconconsultants.com

A handwritten signature in blue ink that reads "Megan Jones".

Megan Jones, Managing Principal
Principal in Charge
831-920-5424
mjones@rinconconsultants.com

Mayor and Members of the City Council
City Council

City Council Meeting
of March 19, 2024

**CITY COUNCIL CONSIDER INTRODUCING ORDINANCE NO. 2024-,
AMENDING CHAPTER 17.44 (PARKING ORDINANCE) TO
IMPLEMENT PROGRAM 3.1 OF THE HOUSING ELEMENT.**

REQUEST: It is requested that the City Council

1. Consider introducing Ordinance No. 2024-, amending Chapter 17.44 (Parking Ordinance) to implement Program 3.1 of the Housing Element

BACKGROUND

On December 5, 2023, the City Council directed city staff to submit the Housing Element to the California Department of Housing and Community Development (State HCD). Certification of the document by State HCD is anticipated in the near term. Per the programs of the Housing Element the City is mandated to take specific action steps every year to maintain certification with the State. In 2024, six separate actions will be required to be completed by the end of the calendar year. One action is the implementation of Program 3.1 of the Housing Element which mandates a text amendment to the Parking Ordinance.

ANALYSIS

Covered Parking- As California grapples with a continued housing crisis, policymakers are turning their attention to the high cost to produce new homes. Several reports have detailed how expensive building in the Golden State has become, including recent work done at the Turner Center for Housing Innovation to document and analyze the costs of both market-rate and affordable housing development. These escalating costs directly translate to higher rents and home prices, and erode the effectiveness of our affordable housing subsidies. To address this issue, lawmakers have introduced several pieces of legislation that could meaningfully reduce the cost to build new homes. A 2020 report by the University of California Berkley Turner Center found that building structured parking increase the cost of building housing California by \$35,000 per unit.¹ As such, to implement Program 3.1 of the Housing Element, the California Department of Housing and Community Development (State HCD) are requiring Marina to remove the requirement for covered parking. The same number of spaces would be required but the requirement to have a covered space will be removed.

*Supportive Housing (AB 2162)-*The City already provides reduced parking requirements for transitional and supportive housing and senior housing projects and affordable housing consistent with State Density Bonus law. However, the recently passed AB 2162 removes minimum parking requirements for supportive housing within 0.5 mile of a public transit stop.²

¹ Turner Center: <https://turnercenter.berkeley.edu/research-and-policy/ab-1401-residential-parking-requirements/>

² Supportive Housing as defined by the California Health and Safety Code Section 5067514(b)(2) is housing with no limit on length of stay that is occupied by persons with low incomes who have one or more disabilities and may include, among other populations, adults, emancipated minors, families with children, elderly persons, young adults aging out of the foster care system, individuals exiting from institutional settings, veterans, and homeless people. The housing is linked to onsite or offsite Supportive Services

Emergency Shelters (AB 139)- AB 139 requires local jurisdictions to amend zoning provisions for emergency shelters, establishing parking requirements based on staffing level only.

CORRESPONDENCE

No applicable correspondence to this permit has been received as of February 9, 2023

EX PARTE COMMUNICATION DISCLOSURES

Adoption of an ordinance is a legislative act of the Planning Commission and City Council and therefore ex parte disclosure do not apply.

ENVIRONMENTAL DETERMINATION

The proposed project is exempt from the California Environmental Quality Act (CEQA) under Section 15061(b)(3) as the adoption of the ordinance will have no reasonable possibility that the project will have a significant effect on the environment. No further environmental review is necessary.

CONCLUSION

This request is submitted for recommendation to the City Council.

Respectfully submitted,

REVIEWED/CONCUR:

Guido Persicone, AICP
Community Development Director
City of Marina

APPROVED

Layne Long
City Manager
City of Marina

ORDINANCE NO. 2024-

**AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF MARINA AMENDING
CHAPTER 17.44 (PARKING) OF THE ZONING CODE TO IMPLEMENT PROGRAM
3.1 OF THE HOUSING ELEMENT**

WHEREAS, on December 5, 2023, the City Council directed city staff to file the Final Housing Element with the California Department of Housing and Community Development (State HCD); and

WHEREAS, the City of Marina is anticipating State HCD certificating the Housing Element in the near term; and

WHEREAS, City of Marina is obligated by the programs of the Housing Element to implement several policies and ordinances modifications in 2024 to remain compliant with Housing Element law; and

WHEREAS, a 2020 report by the University of California Berkley Turner Center found that building structured parking increase the cost of building housing California by \$35,000 per unit; and

WHEREAS, on September 26, 2018, AB 2162 was signed by the Governor to further reduce the impact of parking requirements on transitional and supportive housing; and

WHEREAS, Assembly Bill 139 (AB 139) was adopted in 2019 to only require parking for staffing of emergency shelters; and

WHEREAS, Program 3.1 of the Housing Element directs the City to adopt zoning text amendments to the Parking Ordinance to reduce the constraint parking has on the availability of housing in the City; and

**NOW THEREFORE, THE CITY COUNCIL OF THE CITY OF MARINA DOES
ORDAIN AS FOLLOWS:**

Section 1. Findings.

The City Council finds and determines the recitals set forth above to be true and correct and by this reference, incorporates the same herein as findings.

Section 2. Chapter 17.44, “Parking Ordinance” of Title 17, Zoning, of the Marina City Code is hereby amended to read as follows:

**Chapter 17.44
PARKING REQUIREMENTS**

Sections:

17.44.010 Generally.

17.44.020 Residential.

17.44.010 Generally.

All uses permitted by this title shall provide minimum parking in accordance with the formulas in this chapter. (Ord. 2020-07 § 2, 2020; Zoning Ordinance dated 7/94, 1994)

17.44.020 Residential.

Parking requirements for residential use, excluding residential use approved by use permit as pursuant to Section [17.18.030](#) or [17.20.030](#), shall be as follows:

A. Single-family dwellings: two spaces ~~which shall be in a garage~~, except single-family dwellings in the R-4 district may as an alternative have one space or two tandem spaces, one of which shall uncovered. ~~garage as determined by the planning commission and subject to obtaining a use permit;~~

B. Duplex dwellings: two spaces per dwelling unit, ~~one of which shall be covered;~~

C. Secondary dwelling units and guest houses in conformance with Section [17.42.040](#): no additional parking required;

D. *Multiple Dwellings.*

1. One-bedroom units and efficiencies: one space for each dwelling unit ~~which shall be covered~~ plus one additional space for each five dwelling units or fraction thereof,

2. Two-bedroom units: one and one-half spaces for each dwelling unit, ~~one of which shall be covered~~ plus one additional space for each five dwelling units or fraction thereof,

3. Three or more bedroom units: two spaces for each dwelling unit, ~~one of which shall be covered~~ plus one additional space for each five dwelling units or fraction thereof,

4. *General Note.* All required on-site parking spaces shall be uniformly distributed throughout the development to the satisfaction of the site and architectural design review board,

5. *General Note.* Twenty percent of all required parking spaces, but in no case less than one space, shall be kept unreserved and available for visitor parking. Visitor parking spaces shall be identified by a sign or other means and shall be uniformly distributed throughout the development to the satisfaction of the site and architectural design review board;

E. *Dwellings Approved under Chapter 17.66 (Condominiums).*

1. One-bedroom units and efficiencies: one space for each dwelling unit which shall be ~~enclosed~~ uncovered plus two additional spaces for each five dwelling units or fraction thereof,

2. Two or more bedroom units: two spaces for each dwelling unit which shall ~~uncovered~~ uncovered ~~enclosed~~ plus two additional spaces for each five dwelling units or fraction thereof,
 3. *General Note.* All required on-site parking spaces shall be uniformly distributed throughout the development to the satisfaction of the site and architectural design review board,
 4. *General Note.* Twenty percent of all required parking spaces, but in no case less than one space, shall be kept unreserved and available for visitor parking. Visitor parking spaces shall be identified by a sign or other means and shall be uniformly distributed throughout the development to the satisfaction of the site and architectural design review board;
- F. Rooming and boarding houses: one ~~covered~~ uncovered parking space for each bedroom;
- G. Hotel, resort hotel, motel and auto court accommodations: one space for each unit; one space for the manager and one and one-half spaces for any unit in a hotel, resort hotel, motel or auto court containing a kitchen or kitchenette. Separate parking requirements remain applicable to other uses which may be associated with such complexes, such as restaurants, conference centers or public coastal access;
- H. Mobile home parks: two parking spaces for each mobile home site plus two additional spaces for each five mobile home sites or fraction thereof, except that where a mobile home park has been and continues to be certified by the United States Department of Housing and Urban Development as a mobile home park providing housing for adults fifty-five years old or older, two parking spaces for each mobile home site which may be tandem spaces plus one additional parking space for each six mobile home site or fraction thereof are required. Further, in mobile home parks with more than fifty mobile home sites, an area or areas shall be provided for the storage of boat trailers and recreational vehicles with a total area of not less than twenty square feet per mobile home site;
- I. Recreational vehicle park: one parking space for each six recreational vehicle sites;
- J. Transitional housing for homeless persons: parking shall be provided at the rates as required elsewhere in this section except that the planning commission or city council on appeal may grant a use permit or amendment to an existing use permit, for a lesser number of parking spaces associated with transitional housing for homeless persons under the federal McKinney Act on the basis of adequate evidence of a lesser parking demand and the application of any appropriate conditions determined necessary to meet the general purposes of the zoning ordinance as listed in Section [17.02.030](#). Among the conditions applied in each case shall be a requirement that the applicant establish and maintain a program of monitoring parking usage, including submitting periodic reports of such monitoring to the city, and that the planning commission or city council on appeal may, after a noticed public hearing, require modifications to the parking provided on the site if the city finds that such modifications are warranted. (Ord. 2020-07 § 2, 2020; Ord.

2005-02 § 1 (Exh. A), 2005; Ord. 2003-09 § 1, 2003; Ord. 99-04 § 1, 1999; Ord. 96-24 § 1, 1996; Ord. 96-7 § 1, 1996; Zoning Ordinance dated 7/94, 1994).

K. If a supportive housing development, as defined in California Health and Safety Code Section 50675.14(b)(2), is located within one half mile of a public transit stop, there is no minimum parking requirement for units occupied by supportive housing residents.

L. Emergency shelters must provide either sufficient parking to accommodate all staff working in the emergency shelter, or an amount of parking equal to other residential or commercial uses within the same zone, whichever is less.

Section 3. California Environmental Act (CEQA).

The proposed project is exempt from the California Environmental Quality Act (CEQA) under Section 15061(b)(3) as the adoption of the ordinance will have no reasonable possibility that the project will have a significant effect on the environment. No further environmental review is necessary.

Section 4. Severability.

It is the intent of the City Council of the City to supplement applicable state and federal law and not to duplicate or contradict such law and this ordinance shall be construed consistently with that intention. If any section, subsection, subdivision, paragraph, sentence, clause, or phrase of this ordinance, or its application to any person or circumstance, is for any reason held to be invalid or unenforceable, such invalidity or unenforceability shall not affect the validity or enforceability of the remaining sections, subsections, subdivisions, paragraphs, sentences, clauses, or phrases of this ordinance, or its application to any other person or circumstance. The City Council declares that it would have adopted each section, subsection, subdivision, paragraph, sentence, clause, or phrase independently, even if any one or more other sections, subsections, subdivisions, paragraphs, sentences, clauses, or phrases were declared invalid or unenforceable.

Section 5. Effective Date.

This ordinance shall be in full force and effect thirty (30) days following its passage and adoption, as certified by the City Clerk.

This ordinance was introduced and read on the 19TH day of March 2024 and was finally adopted on the 2nd day of April 2024, by the following vote:

AYES: COUNCILMEMBERS:

NOES: COUNCILMEMBERS:

ABSENT: COUNCILMEMBERS:

ABSTAIN: COUNCILMEMBERS:

Bruce Delgado, Mayor

ATTEST:

Anita Sharp, Deputy City Clerk

EXHIBIT A

FINDINGS

Consistent with the General Plan

- 1) General Plan Policy 5.4.6- Zoning Ordinance Update 5.4-A major revision of the City's existing zoning code is required to implement the General Plan. The initial step should be to thoroughly review and critique the existing code and identify its deficiencies. Changes are required to implement Housing Element policies and programs.

Evidence: By adopting the revisions to the parking ordinance as required by Program 3.1 of the Housing Element, the City will be implementing General Plan Policy 5.4.6 which directs city staff to review the zoning code for consistency with Housing Element Law.

- 2) General Plan Policy 5.7-Preparation and adoption of the following ordinances should be undertaken to address the General Plan objectives of matching housing to the needs of local employees and providing housing to meet the needs of households of all economic levels:

Evidence: By reducing the constraint parking has upon supportive and transitional housing per Program 3.1 of the Housing Element, the City will be implementing General Plan Policy 5.7.