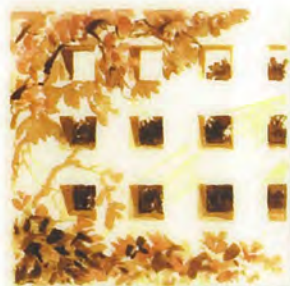




Marina Heights

Community Design Guidelines

Created in accordance with the resolutions approved on March 3, 2004 and the ordinances adopted on March 16, 2004 by the City of Marina City Council.



Amended April 25, 2019 - Planning Commission Resolution 2019-07



Marina Heights

Community Design Guidelines

Patterns for Placemaking

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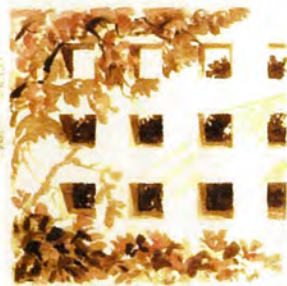
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Landscape Architect
Environs - E/scape Collaborative

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A Guide for the Creation of Marina Heights

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A-1 Marina Heights - A Vision for a Community

Introduction

The livability and quality of life in a neighborhood is directly attributable to the elements that make up the neighborhood. Marina Heights, a plan created by the Marina community, fulfills the goals of the reuse vision and returns elements of traditional neighborhoods that are more vibrant, more people-orientated, and encourage a sense of community pride for the entire city.

The 1050 homes in Marina Heights are distributed in five distinct neighborhoods, and each neighborhood includes a variety of home types and styles. A natural arroyo and oak grove area run nearly the length of the entire property.

Not only will new residents benefit from the recreational and social benefits of Marina Heights, the design of the new neighborhoods are created in a way that generates synergy with the existing, surrounding neighborhoods. Streets and roads as well as bike trails and pedestrian paths connect to the adjacent existing neighborhoods at every point possible.

Marina Heights is a project that lives within its means and respects land and available resources. Our plan for homes honors and preserves the most ecologically significant areas. We have also ensured that the demands of the Marina residents - such as water, school, and city services - do not impact the resources available to other reuse efforts or the existing community.

The plan for Marina Heights is truly a product of community collaboration. We have spent the last four years meeting with business groups, community groups, local leaders, and Marina residents. In all, the Marina Heights team has held or attended roughly 60 meetings with the community.

The response and feedback has been overwhelmingly positive. On the whole, Marina residents are eager to see their Fort Ord reuse opportunity move forward. They want to see their community enhanced, jobs and home opportunities improved, and their future strengthened. Marina Heights serves as a great part in seeing those desires fulfilled. It provides the homes that address the needs of the community while attracting jobs, and it creates a social sense of the community that the entire city can take part in.



Marina Heights Vision

A-2 Design Guidelines - Use and Purpose

The intent of these design guidelines is to create a “pattern book” of design elements for the use of home building, architects, landscape architects, engineers, and other design professionals engaged in the creation of the community of Marina Heights.

These guidelines address the design criteria inherent to the community and cover the most critical features for the successful execution of community building. Issues such as massing, scale, proportion, lot coverages, setbacks, landscaping, vehicular and pedestrian circulation are addressed.

These guidelines are written to inspire innovative and creative architectural designs. Unless otherwise specified herein, they are not intended to be a literal set of rules. The basic concepts found in these guidelines are flexible in their structure, but are intended to communicate the Developer’s vision and design expectations, against which, all home building plans and architecture will be evaluated and approved.

Most importantly these guidelines will address issues concerning the community’s architectural character and community features. Close scrutiny will be applied by the Developer to how the community as a whole and its individual neighborhoods create a sense of community and follow a consistent set of quality measures to meet the following goals:

- A mixture of one & two story homes with limited second story massing
- Varied setback requirements
- An eclectic mixture of architectural styles
- Mixture of vertical & horizontal building massing
- Interplay of color & materials
- Landscape strategic clustering

The Marina Heights community design guidelines provide the means to establish and preserve a sense of value expected by homeowners in today’s sophisticated new home market.

Supporting Documents

These Design Guidelines are a supplement to the Uniform Building Code, City of Marina Building Code, City of Marina Zoning Ordinance, Project Conditions of Approval, EIR Mitigation Measures, City of Marina Design Guidelines for Landscape, Site and Parking Lot Design, Site Lighting and Signs, and all Health & Safety Codes. The design patterns contained herein do not supersede any existing applicable codes or ordinances. The Builder is ultimately responsible for satisfying all applicable zoning and building code requirements, local ordinances and the specific Marina Heights land use entitlements.



Overview

B Community Patterns - Design Concept & Objectives

The individual districts or neighborhoods in Marina Heights each have their own unique combination of characteristics while remaining a part of the overall community fabric. Each District has a predominant architectural style with at least fifty percent of the homes following the District style. The remaining homes are a mix of the other styles, promoting an eclectic and varied community. The styles are reflective of the surrounding historic communities of Monterey, Carmel, Salinas, Pacific Grove, and other areas. The Districts are each influenced by the surrounding amenities and topography and in turn share characteristics depending on their orientation.

Different housing types are distributed throughout the site to promote a variety of scales, and promote an overall sense of a balanced mix. The attached homes have been strategically placed in key anchor positions throughout the site and adjacent to natural open space and community parks. The neighborhood districts are defined by and include trail systems, neighborhood parks, and natural oak groves. By responding to the surrounding conditions, rather than generic planning criteria, the overall community becomes a cohesive blend of neighborhood patterns within the districts.

By respecting these natural spatial and environmental qualities, as great traditional neighborhoods have in the past, Marina Heights residents can enjoy the feeling of a community deeply rooted to its past with all of the convenience of a new community.



Community Patterns

These Districts articulate the specific design concepts of sensitive community planning, which will set the tone for each neighborhood by addressing the following:

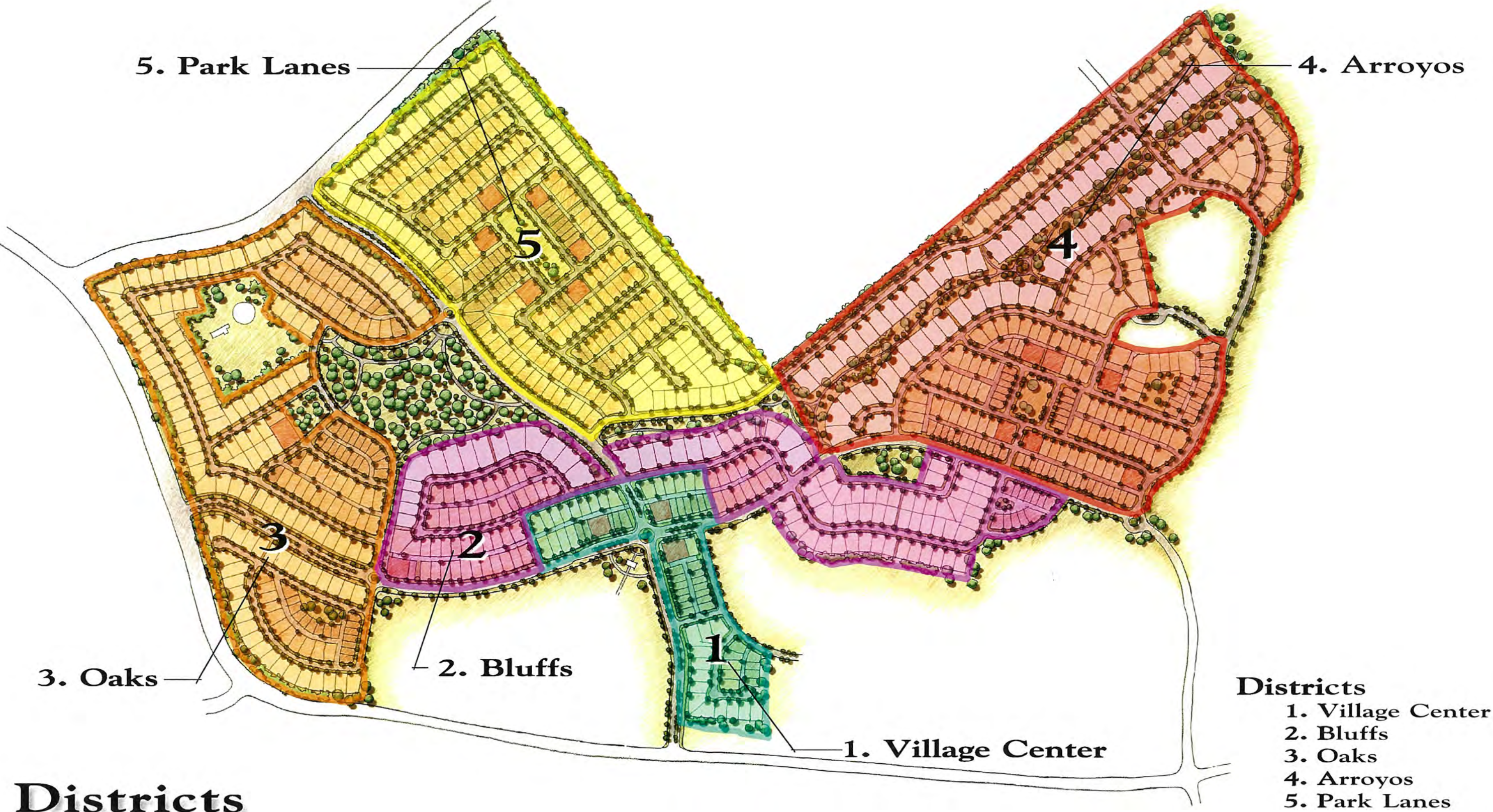
- Establishing building setbacks and coverage ratios within each neighborhood, thereby eliminating over-building individual lots
- Varied massing, scale and proportion of the homes in their neighborhood to create a visually appealing street scene
- Rear yard and building articulation sensitively considers abutting perimeter conditions
- Maximizing view orientation of Districts to natural and man made amenities
- Hierarchy of density sensitive to topography, site location and building type
- Maintaining District-to-District relationships through the park system
- Establishing a predominant style for each District to enhance its individual character and improve its identity and sense of place
- Varied product types within each District
- Varied homesite sizes and widths are integrated throughout the community
- Siting buildings as they relate to the street, view corridors and open space
- Maintaining the natural Oak Preserve
- Community landscape features include:
 - Streets / parkways / intersections
 - Community Parks
 - Entry walls, signage and monuments
- Minimizing disturbance to natural / existing terrain and surrounding eco-systems

B Community Patterns - Site Overview

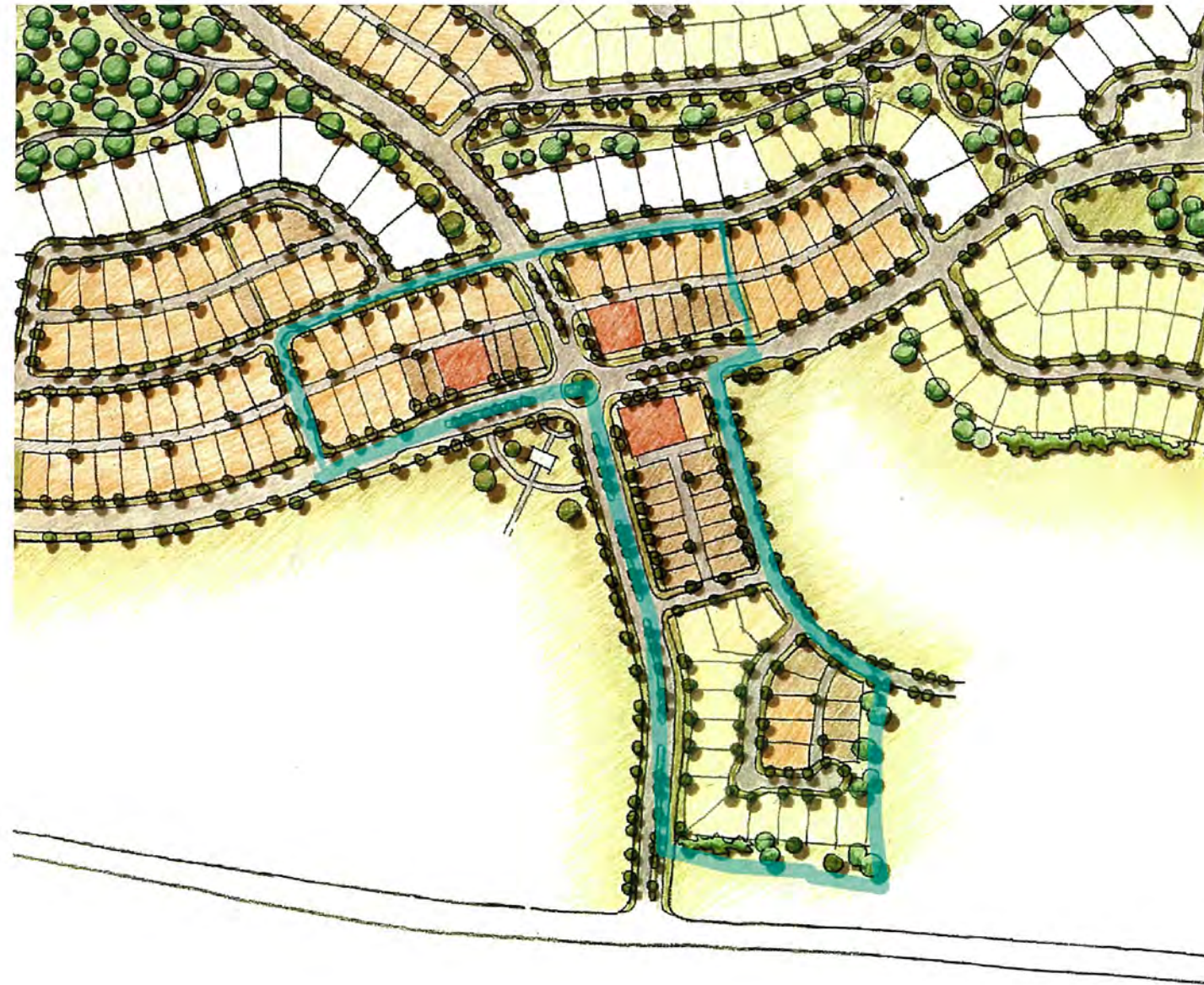


Community Patterns

B-1 District Patterns - Design Concept & Objectives



Districts



Village Center

Predominant Architectural Style:
Eclectic Mix of all approved styles

Neighborhood Mix:

- Type "A" lots
- Type "B" lots
- Type "C" lots
- Type "D" lots
- Type "E" lots

Characteristics:

Adjacent to the community park, the Village Center is an eclectic mix of styles, held together by a common landscape theme and community entry promenade.



Districts - Village Center

Bluffs

Predominant Architectural Style:
Spanish

Neighborhood Mix:

-  Type "A" lots
-  Type "B" lots
-  Type "C" lots
-  Type "D" lots
-  Type "E" lots

Characteristics:

With predominantly larger homes with views towards the ocean, the Bluffs incorporates an overall Spanish style as its neighborhood identity.



Districts - Bluffs



Oaks

Predominant Architectural Style:
Monterey or Ranch

Neighborhood Mix:

- Type "A" lots
- Type "B" lots
- Type "C" lots
- Type "D" lots
- Type "E" lots

Characteristics:

With a large Oak Grove Preserve and neighborhood parks throughout, the Oaks has an overall Monterey style.



Districts - Oaks



Arroyos

Predominant Architectural Style:
Ranch or Spanish

Neighborhood Mix:

- Type "A" lots
- Type "B" lots
- Type "C" lots
- Type "D" lots
- Type "E" lots

Characteristics:

The Arroyos neighborhood has a long linear park with a predominance of large Ranch style homes. The trail systems and neighborhood parks open up and connect the community districts.



Districts - Arroyos



Park Lanes

Predominant Architectural Style:
Cottage

Neighborhood Mix:

- Type "A" lots
- Type "B" lots
- Type "C" lots
- Type "D" lots
- Type "E" lots

Characteristics:

The Park Lanes neighborhood shares an edge with the Oak Grove Preserve and contains its own large neighborhood park. The overall cottage style of the neighborhood creates an identifiable sense of community with its friendly "architectural forward" design orientation.



Districts - Park Lanes

C Architectural Patterns - Concepts & Objectives

The primary goal of these Architectural Patterns is to create homes with a balance of form, massing and scale, that appeal to the region's new home buyers, yet respect the critical relationship within the neighborhood village and overall community of Marina Heights. The following criteria establishes the essential characteristics that will promote and support these goals:

- A percentage of one-story homes within each District is strongly encouraged to meet consumer demand, as well as to achieve varied building massing at the street scene and from rear view conditions
- A maximum coverage concept, restricting total square footage which can be built in each District will be strictly enforced
- Rear yard and building articulation must be sensitively considered to create a variety of massing, larger usable yards, and a varied silhouette when viewed from a distance
- Balanced massing, either symmetrical or asymmetrical
- Strong roof forms, either gabled, hipped, or shed. Various combinations are encouraged
- Strong entry statements that are proportional with the overall structure
- Long horizontal masses broken and counter balanced by strong vertical elements
- Reduction of two story impact at front and rear orientations and macro/micro community edge conditions, creating an articulated combination of vertical and horizontal elements and massing through the use of predetermined building envelope coverage requirements
- De-emphasis of the garage from the street frontage and creativity in their location / configuration
- Generous eaves and overhangs providing shadow and texture to the home
- Use of various exterior finish materials
- Implementation of quality architectural detailing
- Integration of balconies and covered patios
- Colonnades and/or covered porches
- Detailing indicative of the appropriate historical styles
- Windows and doors positioned proportionately within the primary elevation where they are applied
- Harmonious siting of the home within its homesite, surrounding landscape features and adjacent homes
- Colors of soft earth tones, with accent colors on doors, windows, shutters, wrought iron, awnings and trim as appropriate



Architectural Patterns

C-1 Architectural Patterns - Massing, Scale, and Proportion

Massing, Scale and Proportion

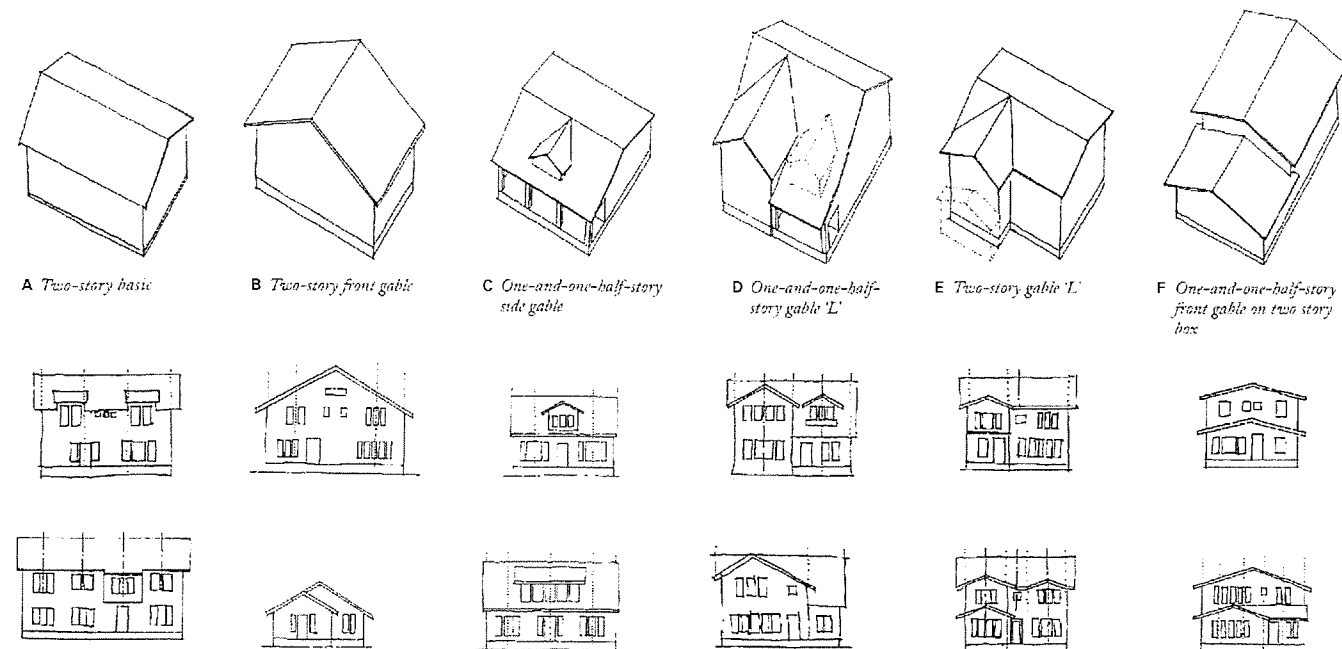
The massing of the home should be organized as a whole, and should not appear as a mixture of unrelated forms. Massing of the forms should also be established by characteristics of the architectural style.

The features and elements of design that contribute to the fabric of Marina Heights should at all times respond to human scale. Bulky homes that “overwhelm” the natural setting are not suitable. Simple two story box massing with little or no relief is not acceptable. By creating combinations of one and two-story elements and positive / negative space, the home(s) are balanced within their site and the neighborhood, creating a positive expression of the home to its style and the community.

Proportions and placement of each home’s architectural elements must be appropriately applied so as not to overwhelm the massing and scale of the home, site and neighborhood.

The following techniques are appropriate means to achieve proper massing, scale and proportion:

- Mixture of one and two story homes within a neighborhood
- Mixture of one and two story components within a two story home
- Varied setbacks for different components of the home such as: garage, second floors, etc.
- Utilization of L’s (a wing at right angles) and porches
- Staggered offset wall planes on each façade when possible
- Massing characterized by a series of stepping forms
- An assemblage of multi-dimensional components
- Homes at one with the land, giving the sense of permanence
- Minimum of three façade element breaks at the building front elevation
- Minimum of two façade element breaks at the building rear elevation
- Minimize corner site impact by selecting homes with reduced building heights and single story elements at corners
- Avoid repetitious plans and encourage plan innovation



Architectural Patterns

C-2 Architectural Patterns - Edge Conditions

Edge Patterns

Edge Patterns protect the edge conditions of each District neighborhood to maintain amenities and streets within Marina Heights.

Critical Edge Conditions include any edges viewable from:

- Collector roads
- Internal streets
- Pedestrian paths & trails
- Parks
- Open space

Proper architectural patterning is required where homes are viewed from these conditions.

Enhancements to all effected building elevations shall include:

- Exterior finishes and color
- Roof articulation
- Plan articulation / offsets
- Varied setbacks
- Mixture of one and two story homes within the neighborhood



Architectural Patterns

C-3 Building Type “A” Lot Specifications

Building Type “A” Lot Size

Typical Lot Dimensions:

80' x 100' (8,000 sf)

Typical Corner Lot Dimensions:

85' x 100' (8,500 sf)

Main Body

The width of the Main Body of the building shall be a maximum of 70 feet for type “A” lots.

Front Yard Setback/ Front Facade Zone

The depth of the Front Yard is typically 10 feet from the front property line to the Front Yard Setback Line, unless noted otherwise. The Front Facade Zone extends 10 feet from the Front Yard Setback Line. The front porch shall be placed as close as possible to the Front Yard Setback Line.

Side Yard Setback

Minimum 5-foot setback from the side property line or 10 feet if adjacent to B, C, D, or E lot types.

Side Street Setback/ Side Street Facade Zone

Structures shall be set back a minimum of 10 feet from the side street property line, unless noted otherwise. The Side Street Facade shall be defined by the side facades of the Main Body and any Rear Wings or Out Buildings.

Wraparound porches are encouraged on the Main Body. Where there is no building structure, the Side Street Facade shall be delineated by a fence or hedge.

Rear Yard Setback

All structures shall be set back a minimum of 5 feet from the rear lane right-of-way or 15 feet from the centerline of the Lane.

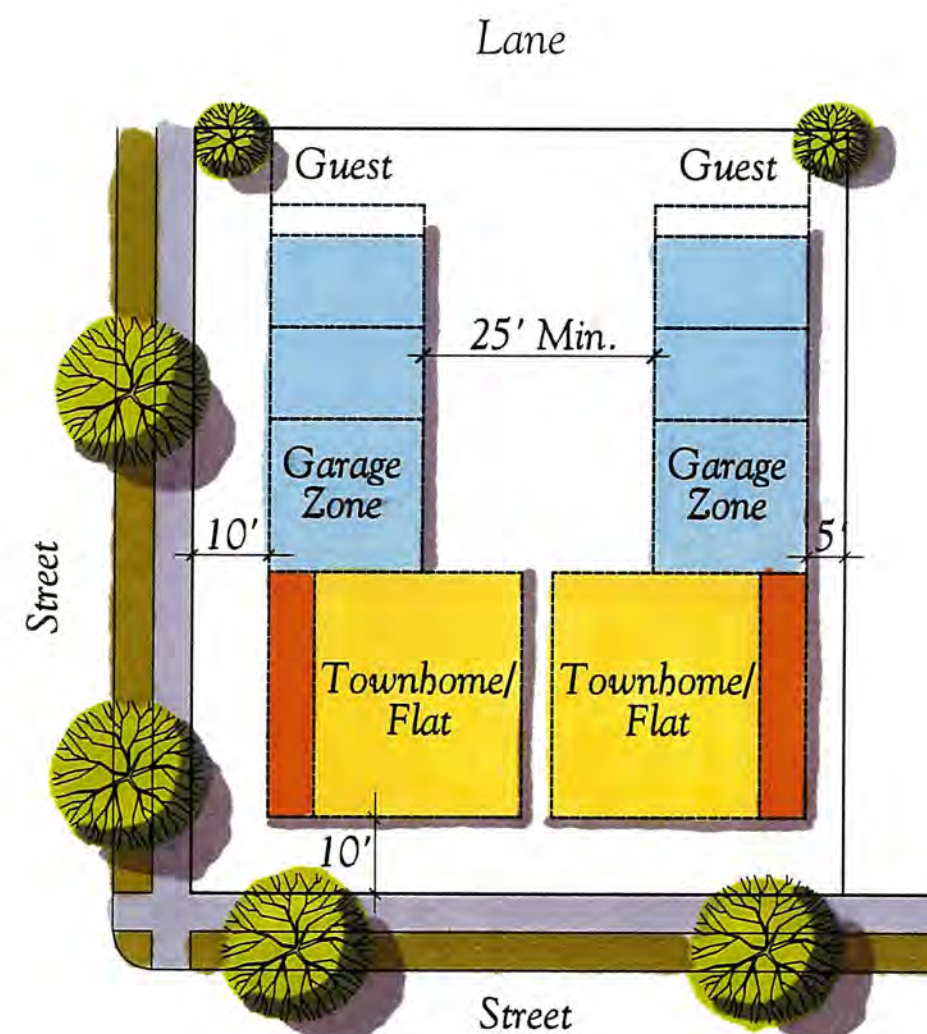
Encroachments

Only porch steps may extend into the Front Yard and Side Street Setback Zone.

Out Building Requirements

Garages and carports shall be set back either 5 feet from the rear property line or a minimum of 13 feet. Garages may be either detached or attached to the Main Body. Garages opening onto public streets are not permitted.

See Amended Text page C-3A per
Planning Commission Resolution
2019-07 - Adopted April 25, 2019



Building Placement - Townhome

C-3 Building Type “B” Lot Specifications

See Amended Text page C-3A per
Planning Commission Resolution
2019-07 - Adopted April 25, 2019

Building Type “B” Lot Size

Typical Lot Dimensions:

35' x 75' (2,625 sf)

Typical Corner Lot Dimensions:

40' x 75' (3,000 sf)

Main Body

The width of the Main Body of the house shall be a maximum of 25 feet for type “B” lots.

Front Yard Setback/ Front Facade Zone

The depth of the Front Yard is typically 10 feet from the front property line to the Front Yard Setback Line, unless noted otherwise. The Front Facade Zone extends 10 feet from the Front Yard Setback Line. The front porch shall be placed as close as possible to the Front Yard Setback Line.

Side Yard Setback

Minimum 5 foot setback from the side property line.

Side Street Setback/ Side Street Facade Zone

Structures shall be set back a minimum of 10 feet from the side street property line, unless noted otherwise. The Side Street Facade shall be defined by the side facades of the Main Body and any Rear Wings or Out Buildings.

Wraparound porches are encouraged on the Main Body. Where there is no building structure, the Side Street Facade shall be delineated by a fence or hedge.

Rear Yard Setback

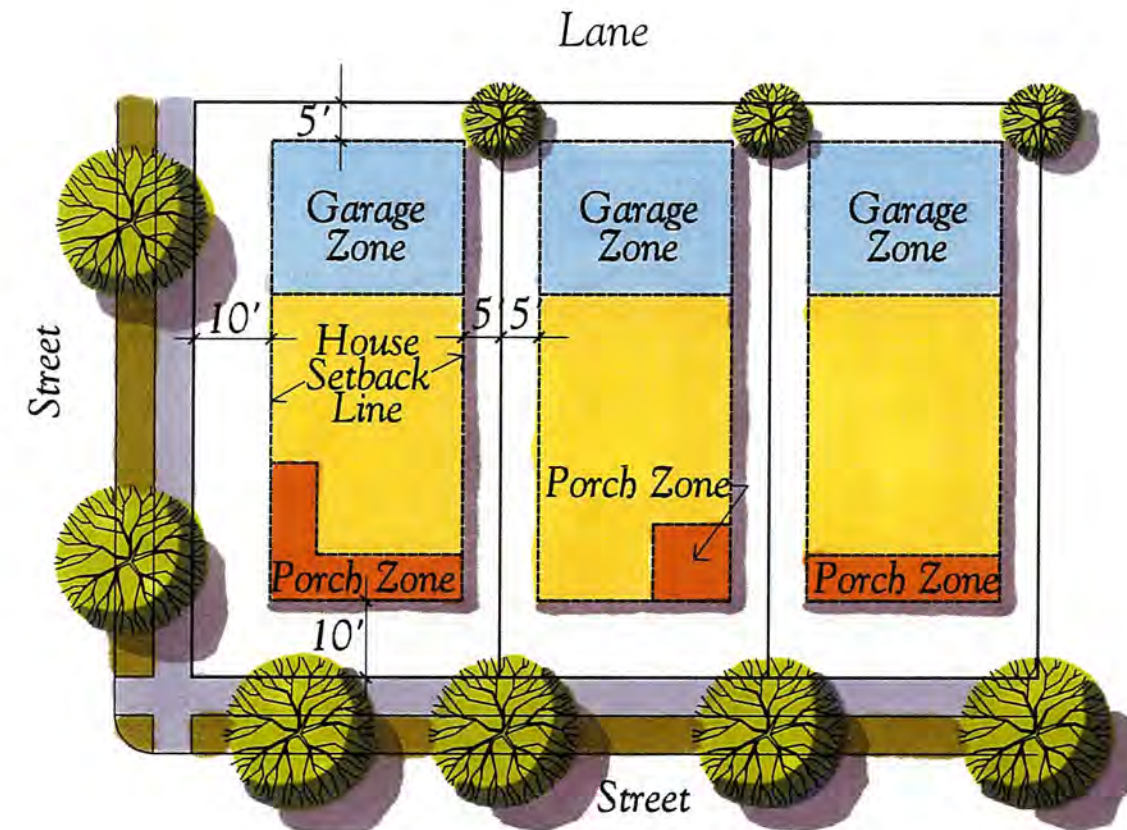
All structures shall be set back a minimum of 5 feet from the rear lane right-of-way or 15 feet from the centerline of the Lane.

Encroachments

Only porch steps may extend into the Front Yard and Side Street Setback Zone.

Out Building Requirements

Garages and carports shall be set back either 5 feet from the rear property line or a minimum of 13 feet. Garages may be either detached or attached to the Main Body by a one-story rear wing. Garages opening onto public streets are not permitted.



Building Placement - Cottage Lots

C-3 Building Type “C” Lot Specifications

See Amended Text page C-3A per
Planning Commission Resolution
2019-07 - Adopted April 25, 2019

Building Type “C” Lot Size

Typical Lot Dimensions:

50' x 100' (5,000 sf)

Typical Corner Lot Dimensions:

55' x 100' (5,500 sf)

Main Body

The width of the Main Body of the house shall be a maximum of 40 feet for type “C” lots.

Front Yard Setback/ Front Facade Zone

The depth of the Front Yard is typically 10 feet from the front property line to the Front Yard Setback Line, unless noted otherwise. The Front Facade Zone extends 10 feet from the Front Yard Setback Line. The front porch shall be placed as close as possible to the Front Yard Setback Line.

Side Yard Setback

Minimum 5-foot setback from the side property line.

Side Street Setback/ Side Street Facade Zone

Structures shall be set back a minimum of 10 feet from the side street property line, unless noted otherwise. The Side Street Facade shall be defined by the side facades of the Main Body and any Rear Wings or Out Buildings.

Wraparound porches are encouraged on the Main Body. Where there is no building structure, the Side Street Facade shall be delineated by a fence or hedge.

Rear Yard Setback

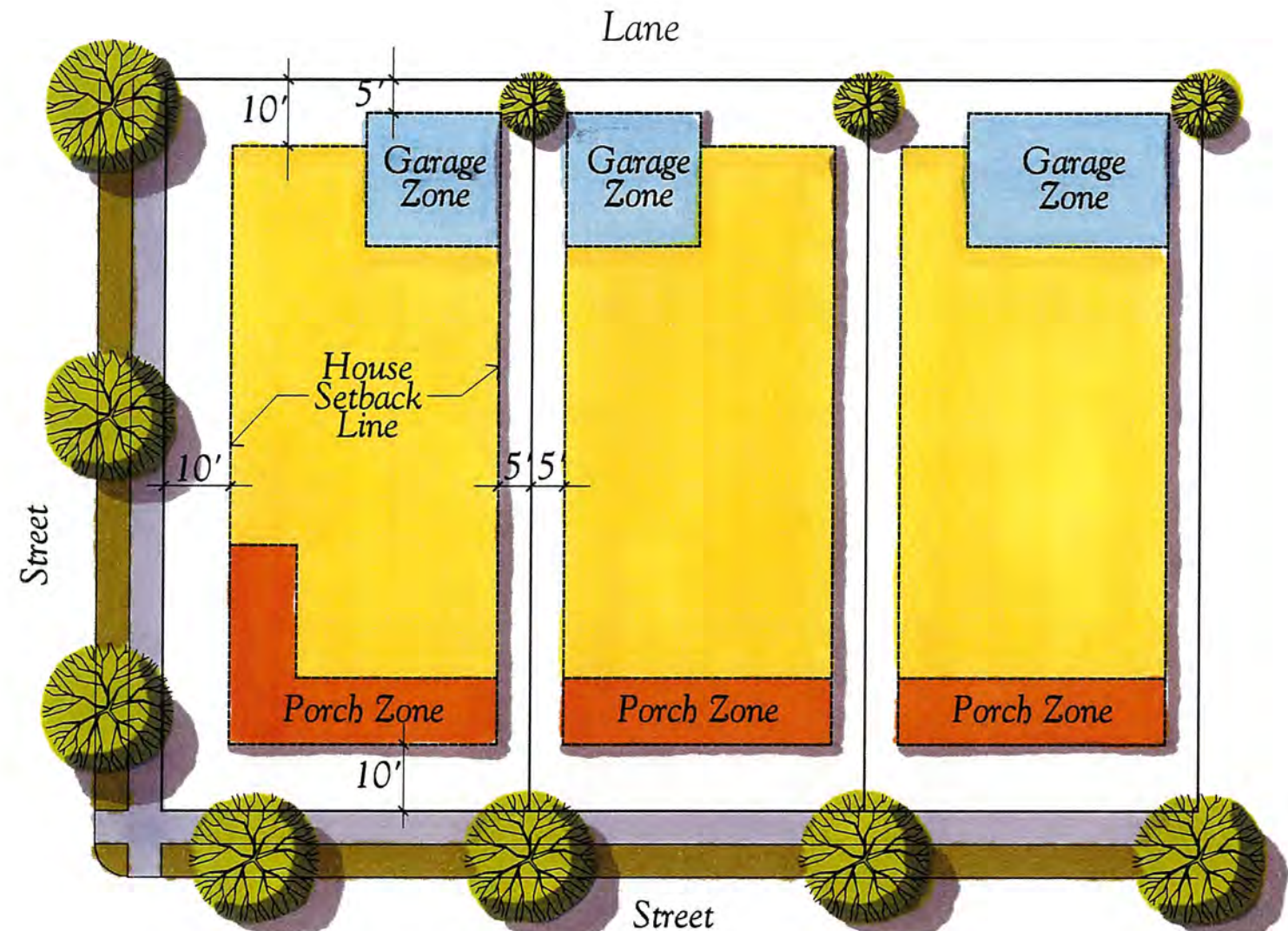
All structures shall be set back a minimum of 5 feet from the rear lane right-of-way or 15 feet from the centerline of the Lane, except for garages which shall be setback either 5 feet from the rear property line or a minimum of 13 feet.

Encroachments

Only porch steps may extend into the Front Yard and Side Street Setback Zone.

Out Building Requirements

Garages and carports shall be set back either 5 feet from the rear property line or a minimum of 13 feet. Garages may be either detached or attached to the Main Body by a one-story rear wing. Garages opening onto public streets are not permitted.



Building Placement - Market “A”

C-3 Building Type “D” Lot Specifications

Building Type “D” Lot Size

Typical Lot Dimensions:

60' x 100' (6,000 sf)

Typical Corner Lot Dimensions:

65' x 100' (6,500 sf)

Main Body

The width of the Main Body of the house shall be a maximum of 50 feet for type “D” lots.

Front Yard Setback/ Front Facade Zone

The depth of the Front Yard is typically 10 feet from the front property line to the Front Yard Setback Line, unless noted otherwise. The Front Facade Zone extends 10 feet from the Front Yard Setback Line. The front porch shall be placed as close as possible to the Front Yard Setback Line.

Side Yard Setback

Minimum 5-foot setback from the side property line.

Side Street Setback/ Side Street Facade Zone

Structures shall be set back a minimum of 10 feet from the side street property line, unless noted otherwise. The Side Street Facade shall be defined by the side facades of the Main Body and any Rear Wings or Out Buildings.

Wraparound porches are encouraged on the Main Body. Where there is no building structure, the Side Street Facade shall be delineated by a fence or hedge.

Rear Yard Setback

All structures shall be set back a minimum of 20 feet from the rear property line.

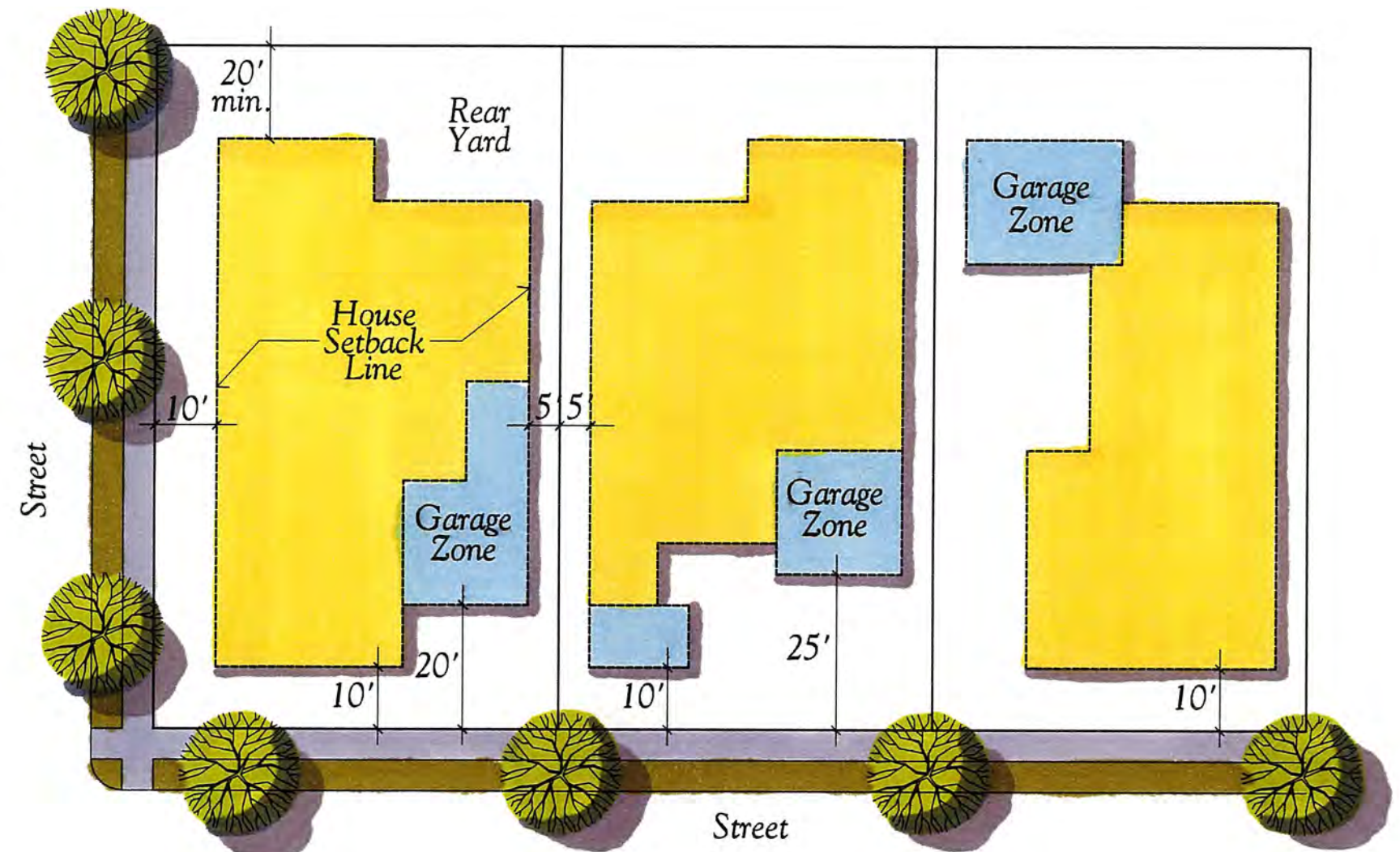
Encroachments

Only porch steps may extend into the Front Yard and Side Street Setback Zone.

Out Building Requirements

Garages and carports shall be set back a minimum of 10 feet from the front property line. Architecture forward plan orientation with porte-cocheres and garages pushed to the rear are encouraged. Garages may be either detached or attached to the Main Body by a one-story rear wing.

See Amended Text page C-3A per
Planning Commission Resolution
2019-07 - Adopted April 25, 2019



Building Placement - Market “B”

C-3 Building Type “E” Lot Specifications

See Amended Text page C-3A per
Planning Commission Resolution 2019-07
- Adopted April 25, 2019

Building Type “E” Lot Size

Typical Lot Dimensions:

80' x 130' (10,400 sf)

Typical Corner Lot Dimensions:

85' x 130' (11,050 sf)

Main Body

The width of the Main Body of the house shall be a maximum of 60 feet for type “E” lots.

Front Yard Setback/ Front Facade Zone

The depth of the Front Yard is typically 10 feet from the front property line to the Front Yard Setback Line, unless noted otherwise. The Front Facade Zone extends 10 feet from the Front Yard Setback Line. The front porch shall be placed as close as possible to the Front Yard Setback Line.

Side Yard Setback

Minimum 5-foot setback from the side property line.

Side Street Setback/ Side Street Facade Zone

Structures shall be set back a minimum of 10 feet from the side street property line, unless noted otherwise. The Side Street Facade shall be defined by the side facades of the Main Body and any Rear Wings or Out Buildings. Wraparound porches are encouraged on the Main Body.

Rear Yard Setback

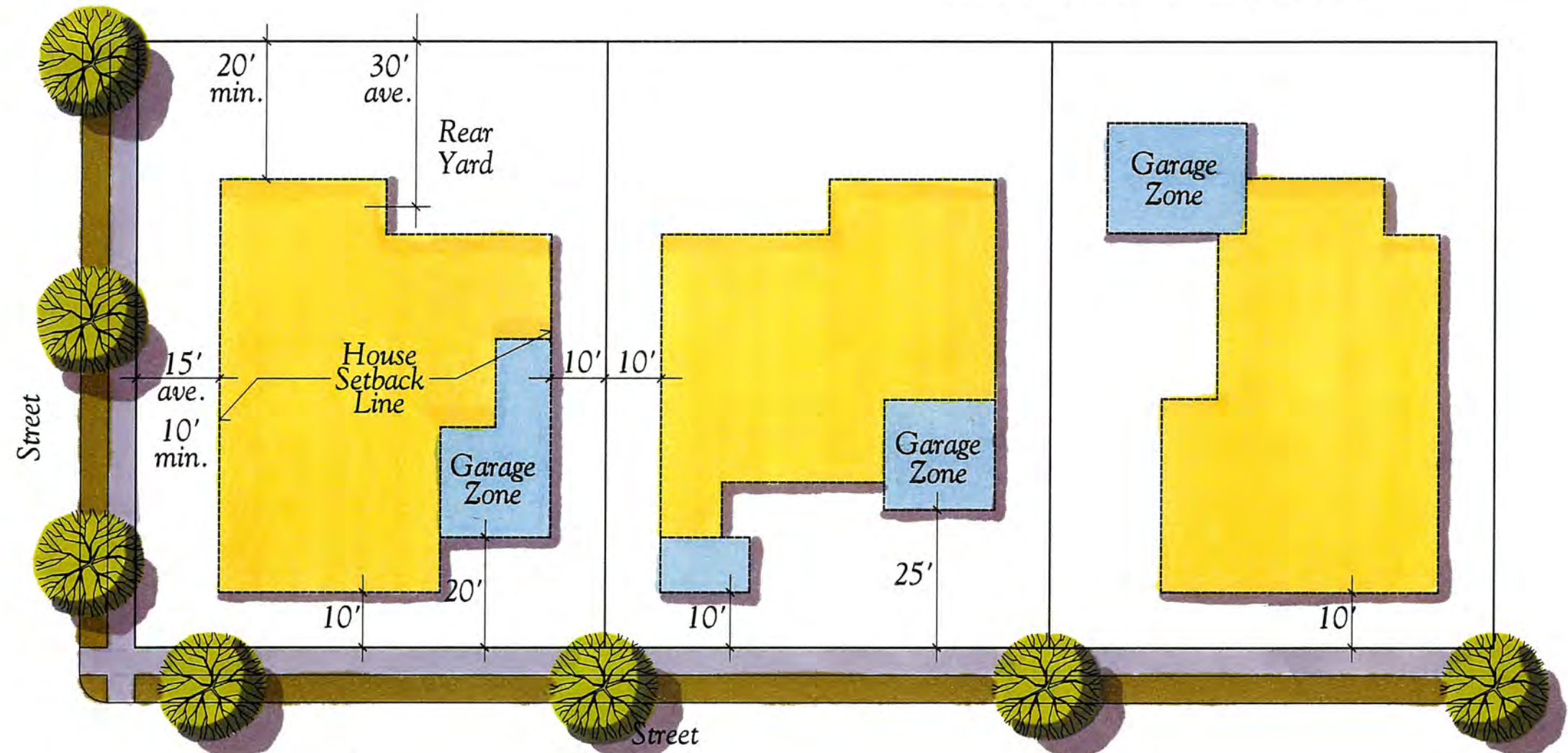
All structures shall be set back a minimum of 20 feet from the rear property line.

Encroachments

Only porch steps may extend into the Front Yard and Side Street Setback Zone.

Out Building Requirements

Garages and carports shall be set back a minimum of 10 feet from the front property line. Architecture forward plan orientation with porte-cocheres and garages pushed to the rear are encouraged. Garages may be either detached or attached to the Main Body by a one-story rear wing.



Building Placement - Estate

As Amended on April 25, 2019 by Planning Commission Resolution No. 2019-07

C-3 Building Type “A” Lot Specifications

Building Type “A” Lot Size

Typical Lot Dimensions:

80’ x 100’ (8,000 sf)

Typical Corner Lot Dimensions:

85’ x 100’ (8,500 sf)

Main Body

The width of the Main Body of the building shall be a maximum of 70 feet for type “A” lots.

Front Yard Setback/Front Façade Zone

The depth of the Front Yard is typically 10 feet from the front property line to the Front Yard Setback Line, unless noted otherwise. The Front Façade Zone extends 10 feet from the Front Yard Setback Line. The front porch shall be placed as close as possible to the Front Yard Setback Line and may encroach into the Front and Side Street Setback as provided below.

Side Yard Setback

Minimum 5-foot setback from the side property line or 10 feet if adjacent to B, C, D, or E lot types.

Side Street Setback/Side Street Façade Zone

Structures shall be set back a minimum of 10 feet from the side street property line, unless noted otherwise. The Side Street Façade shall be defined by the side facades of the Main Body and any Rear Wings or Out Buildings. Wraparound porches are encouraged on the Main Body. Where there is no building structure, the Side Street Façade shall be delineated by a fence or hedge.

Rear Yard Setback

All residential buildings and structures shall be set back a minimum of 5 feet from the rear lane right-of-way or 15 feet from the centerline of the Lane. The height, location and nature of all accessory buildings and structures shall comply with the Marina Municipal Code, Section 17.06 General Zoning Regulations.

Encroachments

Consistent with Municipal Code Section 17.06.070(c), uncovered porches, or stairways, fire escapes or landing places may extend into any required front or rear yard not exceeding six feet, and into any required side yard not exceeding three feet. Covered porches on interior lots may extend into the required front yard not exceeding six feet and sixty square feet. Covered porches on corner lots may extend into any combination of the required front yard and the required exterior side yard not exceeding six feet and a total area of one hundred twenty square feet.

Out Building Requirements

Garages and carports shall be set back either 5 feet from the rear property line or a minimum of 13 feet. Garages may be either detached or attached to the Main Body. Garages opening onto public streets are not permitted.

C-3 Building Type “B” Lot Specifications

Building Type “B” Lot Size

Typical Lot Dimensions:

35’ x 75’ (2,625 sf)

Typical Corner Lot Dimensions:

40’ x 75’ (3,000 sf)

Main Body

The width of the Main Body of the house shall be a maximum of 25 feet for type “B” lots.

Front Yard Setback/Front Façade Zone

The depth of the Front Yard is typically 10 feet from the front property line to the Front Yard Setback Line, unless noted otherwise. The Front Façade Zone extends 10 feet from the Front Yard Setback Line. The front porch shall be placed as close as possible to the Front Yard Setback Line and may encroach into the Front and Side Street Setback as provided below.

Side Yard Setback

Minimum 5-foot setback from the side property line.

Side Street Setback/Side Street Façade Zone

Structures shall be set back a minimum of 10 feet from the side street property line, unless noted otherwise. The Side Street Façade shall be defined by the side facades of the Main Body and any Rear Wings or Out Buildings. Wraparound porches are encouraged on the Main Body. Where there is no building structure, the Side Street Façade shall be delineated by a fence or hedge.

Rear Yard Setback

All residential buildings and structures shall be set back a minimum of 5 feet from the rear lane right-of-way or 15 feet from the centerline of the Lane. The height, location and nature of all accessory buildings and structures shall comply with the Marina Municipal Code, Section 17.06 General Zoning Regulations.

Encroachments

Consistent with Municipal Code Section 17.06.070(c), uncovered porches, or stairways, fire escapes or landing places may extend into any required front or rear yard not exceeding six feet, and into any required side yard not exceeding three feet. Covered porches on interior lots may extend into the required front yard not exceeding six feet and sixty square feet. Covered porches on corner lots may extend into any combination of the required front yard and the required exterior side yard not exceeding six feet and a total area of one hundred twenty square feet.

Out Building Requirements

Garages and carports shall be set back either 5 feet from the rear property line or a minimum of 13 feet. Garages may be either detached or attached to the Main Body by a one-story rear wing. Garages opening onto public streets are not permitted.

C-3 Building Type “C” Lot Specifications

Building Type “C” Lot Size

Typical Lot Dimensions:

50’ x 100’ (5,000 sf)

Typical Corner Lot Dimensions:

55’ x 100’ (5,500 sf)

Main Body

The width of the Main Body of the house shall be a maximum of 40 feet for type “C” lots.

Front Yard Setback/Front Façade Zone

The depth of the Front Yard is typically 10 feet from the front property line to the Front Yard Setback Line, unless noted otherwise. The Front Façade Zone extends 10 feet from the Front Yard Setback Line. The front porch shall be placed as close as possible to the Front Yard Setback Line and may encroach into the Front and Side Street Setback as provided below.

Side Yard Setback

Minimum 5-foot setback from the side property line.

Side Street Setback/Side Street Façade Zone

Structures shall be set back a minimum of 10 feet from the side street property line, unless noted otherwise. The Side Street Façade shall be defined by the side facades of the Main Body and any Rear Wings or Out Buildings. Wraparound porches are encouraged on the Main Body. Where there is no building structure, the Side Street Façade shall be delineated by a fence or hedge.

Rear Yard Setback

All residential buildings and structures shall be set back a minimum of 5 feet from the rear lane right-of-way or 15 feet from the centerline of the Lane, except for garages which shall be set back either 5 feet from the rear property line or a minimum of 13 feet. The height, location and nature of all accessory buildings and structures shall comply with the Marina Municipal Code, Section 17.06 General Zoning Regulations.

Encroachments

Consistent with Municipal Code Section 17.06.070(c), uncovered porches, or stairways, fire escapes or landing places may extend into any required front or rear yard not exceeding six feet, and into any required side yard not exceeding three feet. Covered porches on interior lots may extend into the required front yard not exceeding six feet and sixty square feet. Covered porches on corner lots may extend into any combination of the required front yard and the required exterior side yard not exceeding six feet and a total area of one hundred twenty square feet.

Out Building Requirements

Garages and carports shall be set back either 5 feet from the rear property line or a minimum of 13 feet. Garages may be either detached or attached to the Main Body by a one-story rear wing. Garages opening onto public streets are not permitted.

C-3 Building Type “D” Lot Specifications

Building Type “D” Lot Size

Typical Lot Dimensions:

60’ x 100’ (6,000 sf)

Typical Corner Lot Dimensions:

65’ x 100’ (6,500 sf)

Main Body

The width of the Main Body of the house shall be a maximum of 50 feet for type “D” lots.

Front Yard Setback/Front Façade Zone

The depth of the Front Yard is typically 10 feet from the front property line to the Front Yard Setback Line, unless noted otherwise. The Front Façade Zone extends 10 feet from the Front Yard Setback Line. The front porch shall be placed as close as possible to the Front Yard Setback Line and may encroach into the Front and Side Street Setback as provided below.

Side Yard Setback

Minimum 5-foot setback from the side property line.

Side Street Setback/Side Street Façade Zone

Structures shall be set back a minimum of 10 feet from the side street property line, unless noted otherwise. The Side Street Façade shall be defined by the side facades of the Main Body and any Rear Wings or Out Buildings. Wraparound porches are encouraged on the Main Body. Where there is no building structure, the Side Street Façade shall be delineated by a fence or hedge.

Rear Yard Setback

All residential buildings and structures shall be set back a minimum of 20 feet from the rear property line. The height, location and nature of all accessory buildings and structures shall comply with the Marina Municipal Code, Section 17.06 General Zoning Regulations.

Encroachments

Consistent with Municipal Code Section 17.06.070(c), uncovered porches, or stairways, fire escapes or landing places may extend into any required front or rear yard not exceeding six feet, and into any required side yard not exceeding three feet. Covered porches on interior lots may extend into the required front yard not exceeding six feet and sixty square feet. Covered porches on corner lots may extend into any combination of the required front yard and the required exterior side yard not exceeding six feet and a total area of one hundred twenty square feet.

Out Building Requirements

Garages and carports shall be set back a minimum of 10 feet form the front property line. Architecture forward plan orientation with porte-cocheres and garages pushed to the rear are encouraged. Garages may be either detached or attached to the Main Body by a one-story rear wing.

C-3 Building Type “E” Lot Specifications

Building Type “E” Lot Size

Typical Lot Dimensions:
80’ x 130’ (10,400 sf)

Typical Corner Lot Dimensions:
85’ x 130’ (11,050 sf)

Main Body

The width of the Main Body of the house shall be a maximum of 60 feet for type “E” lots.

Front Yard Setback/Front Façade Zone

The depth of the Front Yard is typically 10 feet from the front property line to the Front Yard Setback Line, unless noted otherwise. The Front Façade Zone extends 10 feet from the Front Yard Setback Line. The front porch shall be placed as close as possible to the Front Yard Setback Line and may encroach into the Front and Side Street Setback as provided below.

Side Yard Setback

Minimum 5-foot setback from the side property line.

Side Street Setback/Side Street Façade Zone

Structures shall be set back a minimum of 10 feet from the side street property line, unless noted otherwise. The Side Street Façade shall be defined by the side Facades of the Main Body and any Rear Wings or Out Buildings. Wraparound porches are encouraged on the Main Body.

Rear Yard Setback

All residential buildings and structures shall be set back a minimum of 20 feet from the rear property line. The height, location and nature of all accessory buildings and structures shall comply with the Marina Municipal Code, Section 17.06 General Zoning Regulations.

Encroachments

Consistent with Municipal Code Section 17.06.070(c), uncovered porches, or stairways, fire escapes or landing places may extend into any required front or rear yard not exceeding six feet, and into any required side yard not exceeding three feet. Covered porches on interior lots may extend into the required front yard not exceeding six feet and sixty square feet. Covered porches on corner lots may extend into any combination of the required front yard and the required exterior side yard not exceeding six feet and a total area of one hundred twenty square feet.

Out Building Requirements

Garages and carports shall be set back a minimum of 10 feet from the front property line. Architecture forward plan orientation with porte-cocheres and garages pushed to the rear are encouraged. Garages may be either detached or attached to the Main Body by a one-story rear wing.

C-4 Architectural Styles

Great historical places throughout California such as Carmel or Santa Barbara are comprised of a dominant style that sets the tone and overall character of the community. Strategic definition and execution of these styles are paramount to a successfully detailed community. The architecture of Marina Heights should be an appropriate mixture of historic styles found in the region. The rich character and personality of Marina Heights will be achieved through the consistent application of the architectural styles portrayed within these guidelines.

Application of the architectural styles should be as authentic as possible regarding the use of detail, massing and form.

Examples of appropriate architectural styles are as follows:

- Cottage
- Craftsman
- Monterey
- California Ranch
- Spanish Colonial

Pure and contemporary adaptations of the appropriate styles are acceptable.

Inappropriate styles include:

- Colonial
- American Farmhouse
- Victorian

The mixture of these architectural styles are intended to promote a unique but cohesive community style. The adaptation of each style can produce a formal, symmetrical design; or an informal asymmetrical design. The beauty of Marina Heights will emerge from the integration of these styles, including the use of similar details, materials and colors, producing an authentic community personality.

Predominant District Styles

1. Village Center - Craftsman / Eclectic
2. Bluffs - Spanish
3. Oaks - Monterey / Ranch
4. Arroyos - Ranch / Spanish
5. Park Lanes - Cottage

Each District has a predominant architectural style with at least fifty percent of the homes following the District style to enhance its individual character and improve its identity and sense of place. The remaining homes are a mix of the other styles, promoting an eclectic and varied community.

The following real world reference images are taken from the regional vernaculars and locations near Marina Heights.



Architectural Styles

C-4 Cottage Style - Concept & Specifications

Cottage

The Cottage style captures a romantic and picturesque architecture found in Tudor and Norman country areas of Europe.

This style grew popular in the United States following WWI and can be found in cities throughout the country.

The Cottage, or Country Cottage style, is characterized by steep roof pitches, minimal fascias and the use of stucco as a primary exterior finish material. Stone, brick, wood siding, board & batten and shingles are popular exterior accent materials.

Design characteristics include:

- Gable, hip and dutch gable roof forms, accentuated with “bell-cast” or flared roof treatments at the eave
- Wide variety of roof dormer forms that break the fascia, continuing the wall plane below
- Stucco, brick or stone exterior material combination with wood siding accents
- Gable end venting in various styles
- Sculpted stucco walls
- Stucco recessed accents (pigeoniers, arched openings etc.)
- Half stucco chimneys with stone or brick on the lower portion
- Asymmetrical massing
- Steep pitched roof, 6:12 - 12:12, with minimal fascia



Cottage Style

C-4 Craftsman Style - Concept & Specifications

Craftsman

The Craftsman style evolved from the late 19th century English Arts & Crafts movement, during the Industrial Revolution.

California architects Bernard Maybeck and Green & Green continued developing this movement with their characteristic crafted detailing on the exterior as well as the interior of their home designs.

These intricately detailed buildings are characterized by the use of hand finished materials with a rusticated texture. The Craftsman style is identified as:

- Predominantly low pitched gabled roofs, with the occasional hipped or shed roof
- Deep overhangs accentuated with exposed and extended rafters
- Roof dormers
- 1 and 1 1/2 story massing (Bungalow style)
- Exterior wall materials with combination of wood shingles, siding, board & batten, stucco and foundation or wainscot using stone or brick
- Variety of wood column and beam detailing at porches with stone or brick pilaster base
- Multi-paned windows with wood or stucco trim surrounds
- Symmetrical massing and proportions



Craftsman Style

C-4 Monterey Style - Concept & Specifications

Monterey

The combination of the two story New England Colonial style with Spanish Colonial by Thomas Larkin, gave birth to the Monterey style. Using Spanish adobe construction this architecture is recognized by its dominate second floor roof covered balcony, cantilevered on exposed wood beams and wood columns to the roof.

The Monterey style is characterized by:

- Gable or gambrel roofs, typically low pitched 3:12 or 4:12 slope
- Tight rake and extended 12" eaves with exposed rafter tails
- Shutter accents at doors and windows with wood or stucco trim surrounds
- Stucco as the predominate finish with brick and siding used as accent materials
- Broad porches and balconies with exposed decorative wood detailing
- First and second stories frequently have different cladding materials, with wood being the common second story material



Monterey Style

C-4 Ranch Style - Concept & Specifications

California Ranch

Early California ranchers developed the first California Ranch styles in response to their lifestyle, available materials and environmental considerations.

The one story profile of these homes were influenced from Colonial, Spanish Colonial, Stick, Monterey and Spanish Eclectic architecture. However, the detailing of these styles were simplified when adapted to the California Ranch style.

California Ranch design characteristics include:

- Cladding materials of stucco, board & batten, shingles and horizontal siding
- Long horizontal gable roofs of 4:12 pitch & 24" minimum overhangs
- Porches along front & rear facades, typically with a shallow roof pitch creating a roof pitch break at the intersection of the main roof plane
- Decorative shutters at windows with wood trim surrounds
- Simple wood column and railing detailing at porches
- Gabled dormers
- Simple rectilinear forms, massing and scale



California Ranch Style

C-4 Spanish Style - Concept & Specifications

Spanish Colonial

Spanish Colonial, often referred to as Spanish Eclectic, borrows its detailing from various Spanish architectural styles, including Moorish, Gothic, Byzantine and Renaissance Spanish influences.

Key architectural elements developed in 1915 after the Panama-California Exposition imitate the more elaborate Spanish styles. These include:

- Low pitched roofs, 4:12 to 5:12, with minimal or no overhang, primarily gabled, with some hipped design
- Singular or multiple arched openings and recesses
- Smooth stucco exterior finish
- Asymmetrical massing
- Stucco or tile decorative gable end vents
- Projected window and door balconies, open or roofed with a variety of wood or wrought iron railings
- Round or square columns at one and two story porches
- Elaborate decorative wrought iron accents, lighting, hardware, balconies, and recesses
- Exposed shaped wood rafter tails



Spanish Style

D Landscape Patterns - Concept & Objectives

The primary goal of these Landscape Patterns is to create a landscape image and design for the entire project. This landscape image creates a sense of place and blends into the existing Oak Grove and Arroyo areas, as well as connects the five neighborhoods into a comprehensive whole. The project landscape is the vehicle that unifies all of the project neighborhoods and establishes an overall sense of community.

The following criteria establishes the essential characteristics that will promote and support these goals:

- The native vegetation in the Oak Grove and the Arroyo are to be retained and protected in place. Any damage to these areas is to be repaired and restored.
- Where possible, existing trees are to be designed into the overall project site design and relocated to these areas during the demolition and grading phases of the project.
- Transitional areas are to be designed and landscaped utilizing California natives and 'hybrids' to initiate 'weaving' of the existing natives and indigenous landscapes into the project site and design.
- Sustainable landscapes are to be encouraged to reduce the need for supplemental irrigation and maintenance, while successfully transitioning into the existing native plant communities.

- The overall community landscape image is a series of 'events' that will be created through the use of California native + Mediterranean trees, shrubs, grasses and understory plantings.

- These 'events' are to address and successfully realize the following site + landscape issues:

1. Completion of the landscape image as determined by the Master Developer Design Team.
2. Complete the creation of the 'sense of community' within each of the (5) neighborhoods.
3. Landscapes that are low maintenance and not high water requiring.
4. Lawn areas are to be limited in percentage and location – only in high visibility and use locations.
5. Landscapes that 'connect' to the region, community, neighborhood and project image based on the architectural style.
6. Landscape designs are to be developed that frame + control views, buffer the prevailing winds and enhance the community, neighborhood and each residence.

Landscape Patterns



D-1 Landscape Patterns - General Principles

The following General Principles identify landscape concepts integrated into the overall project that are to be continued through the neighborhoods and streetscapes to assure consistency in the project design, image, maintenance and water usage.

Specifically:

- Planting for the Future – All landscapes that are designed, approved and installed must be protected and maintained to assure that the ultimate image and vision of the community is realized.
- The seven principles of Xeriscape are to be applied to all landscapes designed and installed in this community. These include:
 1. Planning + design
 2. Soil analysis + preparation
 3. Practical / minimal turf areas
 4. Appropriate plant selection
 5. Efficient irrigation / appropriate watering methods
 6. Appropriate use of mulches
 7. Appropriate landscape maintenance
- The community plant palette has been established and is identified in section D-3. The designs, layouts and plant palettes for the community features are as indicated in that section. The designs and plant selections are to be followed and adhered to in order to assure that the Image of the community is realized upon build out and maturation of the installed landscapes.
- New Urbanism Planning Concepts:
 - Walkable Communities –
 1. sidewalks + trails throughout the community
 2. connections to adjacent neighborhoods + trail systems
 - Neighborhood parks within 800' radius of all homes.
 - Tree Lined streets and parkways throughout the community.
 - Traffic calming landscape features for reduced traffic speed and for pedestrian safety.



Landscape Patterns

D-2 Community Features - Design Concepts & Objectives

The Community Features for the Site and Landscape Designs are integral to the community design and the successful implementation of the project in general. The sequence of 'events' is how this community will be seen and experienced by residents and visitors. The following are the features that will result in the creation of the community image, but each feature will incorporate an image and function that is distinct and separate.

- **Community / Project Entry**
- **Secondary Entry**
- **Streetscapes**
- **Neighborhood Parks**
- **Roundabouts**
- **Landscape Palette**

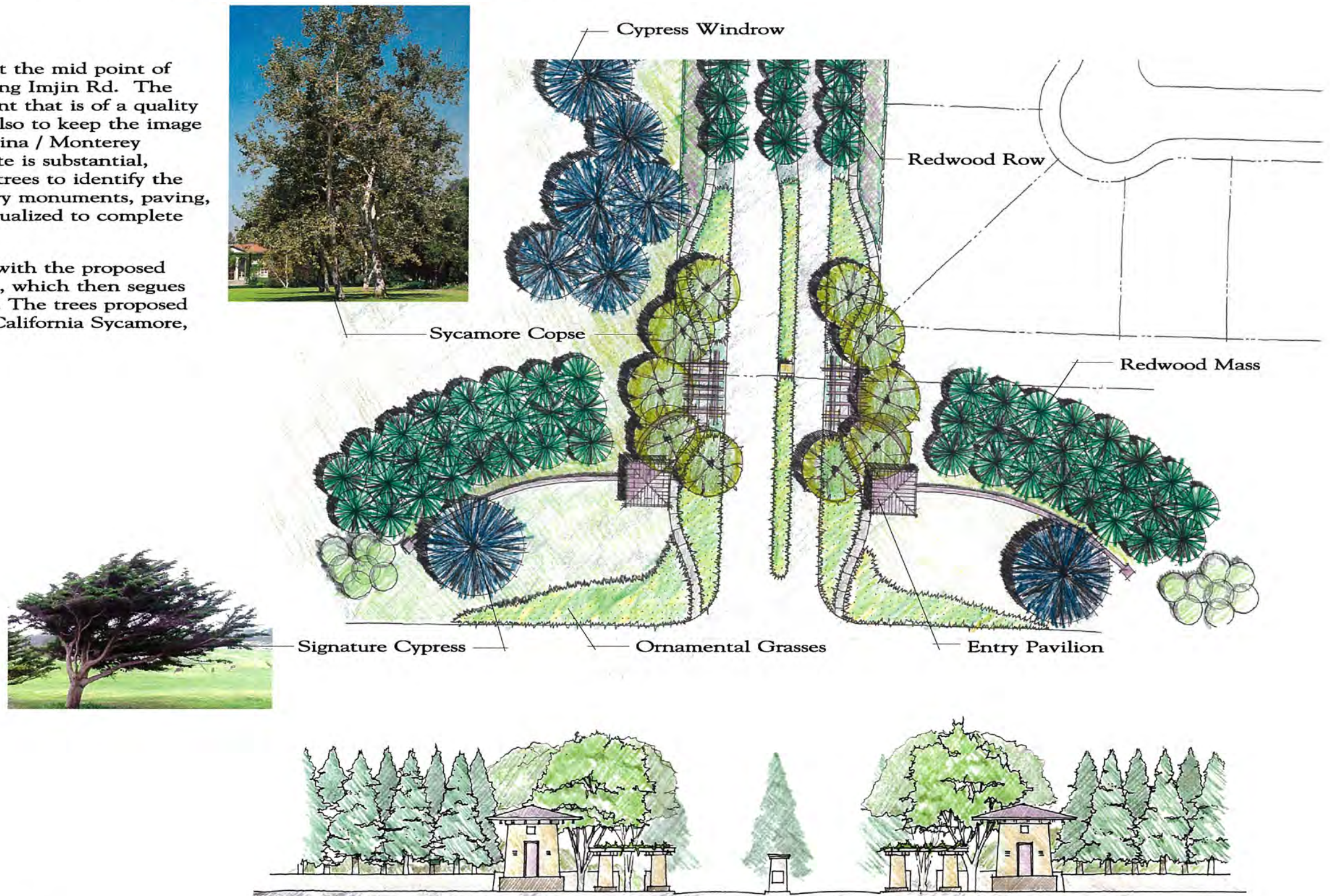


Community Features

D-2 Primary Entry - Design Concepts & Objectives

The primary Community Entry located at the mid point of the project area is a new intersection along Imjin Rd. The opportunity is to create an entry statement that is of a quality and scale for a project of this type, and also to keep the image consistent within the context of the Marina / Monterey peninsula area. The scale of the entry site is substantial, requiring the proposed use of large scale trees to identify the location and define the streetscape. Entry monuments, paving, lighting and detailing have been conceptualized to complete the design image.

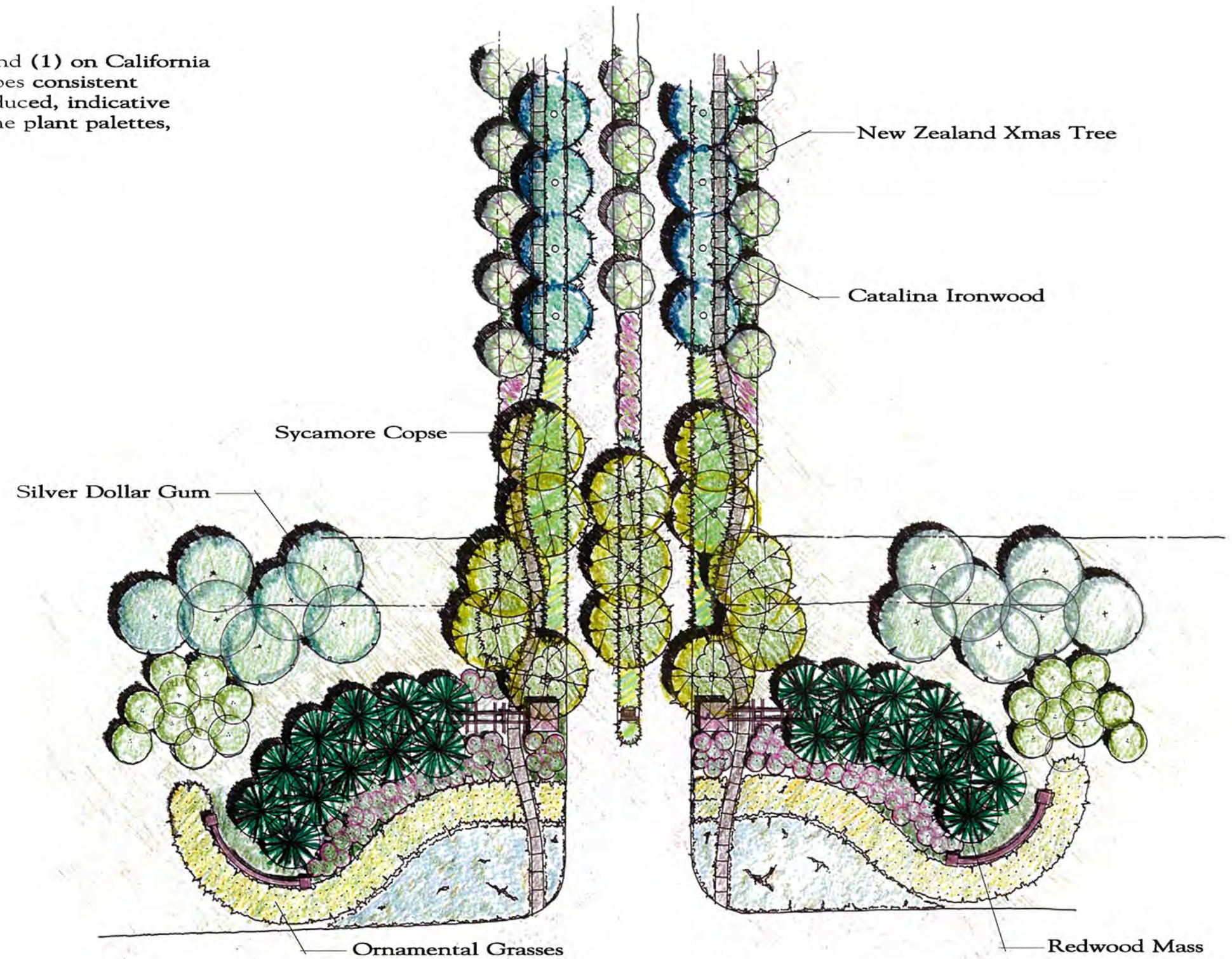
This is the initial event and interaction with the proposed landscape for the Marina Heights project, which then segues into the primary streets and roundabouts. The trees proposed for use in this area are Coast Redwood, California Sycamore, Monterey Pine and Monterey Cypress.



Primary Entry

D-2 Secondary Entry - Design Concepts & Objectives

The three (3) Secondary Entry locations, (2) on Imjin Rd. and (1) on California Ave., are also proposed to receive entry features and landscapes consistent with the primary entry. The scale of these entries will be reduced, indicative of a secondary entrance. These entry areas will have the same plant palettes, monument types, paving, lighting, etc. in a reduced scale.



Secondary Entry

D-2 Streetscapes - Design Concepts & Objectives

1. Main / Primary Street:

The main roadway has an expanded right of way to allow for the inclusion of center medians and parkways. Within these right of way areas, the roadways and sidewalks are allowed to flow through the multiple rows of trees and understory plantings. Where the opportunity allows, it is proposed that the sidewalks meander to change the exposure and experience for the pedestrian / bicyclist. The visual quality of these streets will be one of large Redwoods and Sycamores, defining the space, casting shadows and buffering the prevailing winds. This roadway also travels along the east side of the protected Oak Grove, taking advantage of this area as a visual attractant and a unique event within the project area. In this location, the center median is eliminated to allow for the homes fronting the street to see directly into the Oak grove.

2. Roundabouts:

The roundabout events occur at the main intersections of the project, the primary circulation streets and entrances into the neighborhoods. In addition to the traffic engineering and calming benefits, the landscape design proposes to utilize these features as opportunities to locate signature Monterey Cypress trees that currently exist on site. The intent is to relocate and use these specimens as high visibility receiving areas for the selected trees. The understory will also be a connection / transition for the street hierarchy that occurs at each roundabout.

3. Secondary Street (Abrams)

The secondary street has a streetscape design that continues from the project entries through the entire community. This street runs the entire distance of the Marina Heights project, traveling adjacent to two (2) of the park sites and a transition into the Arroyo open space component. Where homes front onto the street, a uniform pattern of street trees will occur. At the park sites, this pattern will transition to a more organic design and image. At the Arroyo, the existing natural landscape will be retained and possibly embellished with some of the relocated on-site trees.

4. Neighborhood Streets:

In the five (5) neighborhoods, the main structure of the community landscape will be the street trees and front yard landscaping. The streetscapes will typically be formal in appearance, with street trees located in each yard and understory plantings occurring at the base of each tree. With the concern over excessive irrigation and maintenance an issue for the project, the project design is to have either decomposed granite or a paving system to define the planters in the parkways, between the curb and sidewalk, and to allow for movements from parked vehicles onto the properties. Where the neighborhoods and the park meet, the landscape will allow for the park landscaping to migrate into the neighborhood, extending the image and scale of the park and transitioning the landscape image from one use into the other.

5. Pedestrian walkways (Mews):

The pedestrian walkways are linkages that occur throughout the community, allowing for direct pedestrian movement. The opportunities for these landscaped corridors is to embellish these walkways and have them enrich the neighborhood and provide buffers between the adjacent homes. Due to the linear configuration of these features, a landscape of appropriate scale will be designed and implemented.

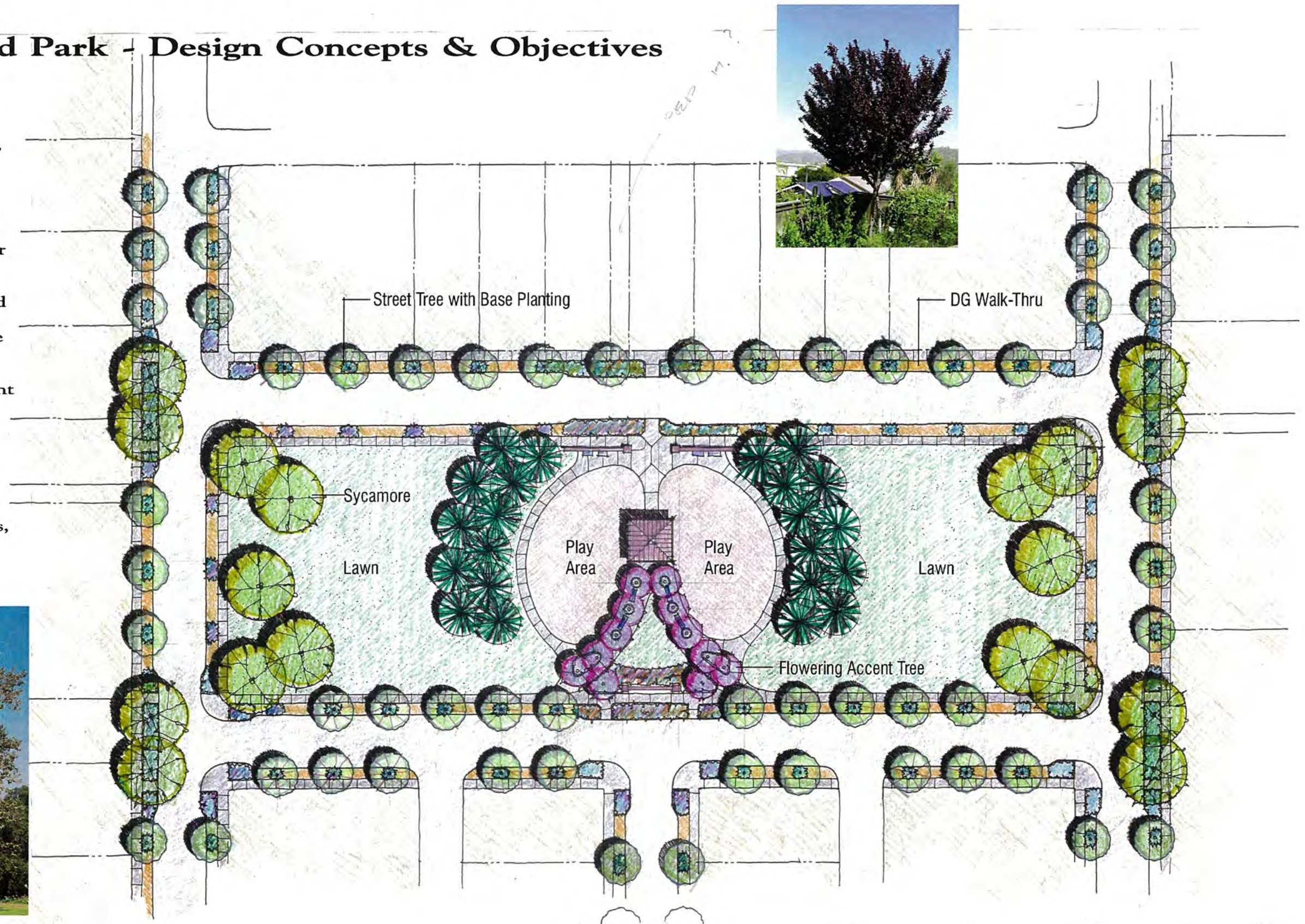
Streetscapes



D-2 Neighborhood Park - Design Concepts & Objectives

For each of the neighborhood parks, a unique and distinct design will be implemented. The image and detailing of the parks will have a direct correlation to the theme and name of the neighborhoods. The five parks will function as the center of the neighborhood, while having varying scale of spaces and layout. Also, as stated in the 'Neighborhood Streets' description, the park landscapes are envisioned to migrate outward across the streets into the neighborhood. The intent is to 'mesh' the park site with the adjacent neighborhood through the use of trees and landscape.

The typical park program is to have either play area and / or open lawn for free play, perimeter trees, site features such as seating walls, benches, trash receptacles, bike racks, and trellises.



District Park

D-2 Typical Roundabout - Design Concepts & Objectives

The roundabout events occur at the main intersections of the project, the primary circulation streets and entrances into the neighborhoods. In addition to the traffic engineering and calming benefits, the landscape design proposes to utilize these features as opportunities to locate signature Monterey Cypress trees that currently exist on site. The intent is to relocate and use these specimens as high visibility receiving areas for the selected trees. The understory will also be a connection / transition for the street hierarchy that occurs at each roundabout.



Roundabout

D-3 Landscape Palette - Design Concepts & Objectives

The following is a list of plant material that has been selected for use in the community to assure that the concepts and general principles for the project are met.

Indigenous Trees:

Cupressus macrocarpa	Monterey Cypress
Pinus radiata	Monterey Pine
Quercus agrifolia	Coast Live Oak
Sequoia sempervirens	Coast Redwood

Native Trees:

Alnus rhombifolia	White Alder
Arbutus menziesii	Madrone
Lyonothamnus floribundus asplenifolius	Catalina Ironwood
Pinus torreyana	Torrey Pine
Platanus racemosa	California Sycamore
Populus fremontii	Fremont Cottonwood
Quercus species	Oak
Schinus molle	California Pepper
Umbellularia californica	California Bay Laurel

Coastal Trees:

Agonis flexuosa	Peppermint Tree
Geijera parviflora	Australian Willow
Leptospermum species	Tea Tree
Melaleuca species	Paperbark
Metrosideros excelsus	New Zealand Christmas Tree



Cupressus macrocarpa (Monterey Cypress)



Pinus radiata (Monterey Pine)



Quercus agrifolia (Coast Live Oak)



Lyonothamnus floribundus asplenifolius (Catalina Ironwood)



Sequoia sempervirens (Coast Redwood)



Platanus racemosa (California Sycamore)



Metrosideros excelsus (New Zealand Christmas Tree)

Plant Palette

D-3 Landscape Palette - Design Concepts & Objectives

Trees (continued)

Eucalyptus:

Eucalyptus ficifolia
Eucalyptus maculata
Eucalyptus polyanthemos

Red Flowering Gum
Spotted Gum
Silver Dollar Gum

Ornamental Trees:

Acacia baileyana
Albizia julibrissin
Arbutus x 'Marina'
Callistemon viminalis
Cedrus deodora
Cupressus sempervirens
Jacaranda acutifolia
Koelreuteria bipinnata
Laurus nobilis
Olea europaea 'Swan Hill'
Pyrus Species
Prunus Species
Tristania conferta

Bailey Acacia
Silk Tree
Madrone Hybrid
Weeping Bottlebrush
Deodar Cedar
Italian Cypress
Jacaranda
Chinese Flame Tree
Sweet Bay
Fruitless Olive
Ornamental Pear
Flowering Plum
Brisbane Box



Eucalyptus polyanthemos (Silver Dollar Gum)



Acacia baileyana (Bailey Acacia)



Tristania conferta (Brisbane Box)



Arbutus x 'Marina' (Madrone Hybrid)



Prunus species (Flowering Plum)



Arctostaphylos species (Manzanita)



Ceanothus species (Wild Lilac)

Plant Palette

D-3 Landscape Palette - Design Concepts & Objectives

Shrubs:

Indigenous Shrubs:

Archtostaphylos species
Artemesia species
Baccharis species
Ceanothus species
Encelia californica
Eriogonum giganteum
Eriogonum parvifolium
Garrya elliptica
Lupinus chamissionis
Rhamnus californica
Salvia mellifera

Manzanita
California Sagebrush
Coyote Brush
Wild Lilac
California Encelia
St. Catherine's Lace
Seacliff Buckwheat
Silktassel
Dune Lupine
Coffeeberry
Black Sage

Native + Mediterranean Shrubs:

Acacia species
Anigozanthos species
Artemesia species
Cistus species
Comarostaphylos diversifolia
Convolvulus cneorum
Coprosma species
Echium fastuosum
Grevillia species
Hakea laurina
Lavandula species
Leptospermum species
Limonium perezii
Mahonia species
Melaleuca species
Nerium oleander
Pittosporum species
Rhus ovata
Ribes species
Rosmarinus species
Salvia species
Westringia species

Acacia
Kangaroo Paw
California Sage
Rockrose
Summer Holly
Bush Morning Glory
Mirror Plant
Pride of Madeira
Grevillea
Sweet Hakea
Lavender
Tea Tree
Sea Lavender
Mahonia
Paperbark
Oleander
Pittosporum
Sugar Bush
Gooseberry
Rosemary
Sage
Westringia



Rhamnus californica (Coffeeberry)



Acacia species
(Acacia)



Artemisia species (California Sage)



Echium fastuosum (Pride of Madeira)



Leptospermum species
(Tea Tree)



Westringia species (Westringia)



Helictotrichon sempervirens
(Blue Oat Grass)



Sesleria species (Moor Grass)



Stipa species (Feather Grass)

Plant Palette

D-3 Landscape Palette - Design Concepts & Objectives

Ornamental Shrubs:

Buxus japonica ‘microphylla’
Dodonaea viscosa
Ligustrum japonicum
Photina ‘Fraeri’
Raphiolepis indica ‘clara’

Japanese Boxwood
Hopseed Bush
Privet
Photinia
India Hawthorn

Ornamental Grasses:

Calamagrostis species
Carex species
Festuca species
Helictotrichon sempervirens
Juncus species
Leymus species
Miscanthus species
Muhlenbergia rigens
Pennisetum ‘rubrum’
Sesleria species
Stipa species

Reed Grass
Sedge
Fescue
Blue Oat Grass
Rush
Blue Wild Rye
Maidenhair Grass
Deergrass
Burgundy Fountain Grass
Moor Grass
Feather Grass



Rhamnus californica (Coffeeberry)



Acacia species
(Acacia)



Artemisia species (California Sage)



Echium fastuosum (Pride of Madeira)



Leptospermum species
(Tea Tree)



Westringia species (Westringia)



Helictotrichon sempervirens
(Blue Oat Grass)



Sesleria species (Moor Grass)



Stipa species (Feather Grass)

Plant Palette

D-3 Landscape Palette - Design Concepts & Objectives

Groundcovers:

Acacia species	Acacia
Achillea species	Yarrow
Arctostaphylos species	Manzanita
Artemesia species	California Sagebrush
Baccharis species	Coyote Brush
Ceanothus species	Wild Lilac
Convolvulus mauritanicus	Ground Morning Glory
Coprosma species	Mirror Plant
Cotoneaster species	Cotoneaster
Lantana species	Lantana
Lonicera japonica 'halliana'	Hall's Honeysuckle
Myoporum species	Myoporum
Osteospermum fruticosum	Trailing African Daisy
Rosmarinus species	Rosemary
Verbena species	Verbena

Succulents:

Aeonium species	Aeonium
Agave species	Agave
Aloe Species	Aloe
Cephalophyllum 'Red Spike'	Red Spike Iceplant
Cotyledon species	Cotyledon
Crassula species	Jade
Drosanthemum species	Ice Plant
Echiveria species	Hen + Chicks
Lampranthus species	Ice Plant
Sedum species	Stonecrop
Senecio species	Groundsel



Arctostaphylos species (Manzanita)



Artemisia species (California Sagebrush)



Baccharis species (Coyote Brush)



Ceanothus species (Wild Lilac)

Plant Palette



Marina Heights

Community Design Guidelines

Created in accordance with the resolutions approved on March 3, 2004 and the ordinances adopted on March 16, 2004 by the City of Marina City Council.

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A Guide for the Creation of Marina Heights